



B-575

**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

JANUARY 11, 2022  
**LETTER OF DENIAL**

Palvinder Kaur  
151 Church Street  
Freeport, NY 11520

RE: **165 Church Street, Freeport, NY**

**Zoning District – Residence A**

**Sec. 62 Blk. 54 Lot 33**

**Building Permit Application #20212476**

**Description– Construct a new 3097 sq. ft. 2-story single family dwelling with unfinished basement and a 426 sq. ft. detached garage**

RECEIVED  
2022 JAN 20 P 2:35  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

**Village Ordinance §210-6A.** No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

**Village Ordinance §210-40.** Lot width. No building shall be constructed on any lot whose width is less than 50 ft. at any point between the side lines from the front property line to the rear building line of the structure. The application submitted proposes a new home which has a property width of 49 ft. at the rear of the house. This application will need a variance for having 1 ft. less width than required.

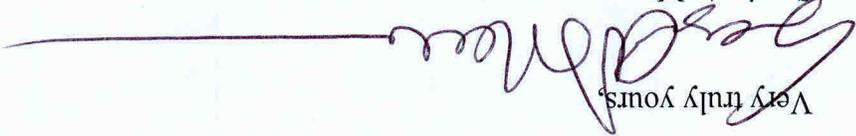
Please be further advised that if you intend to appeal this decision, you must make application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. For your convenience, enclosed please find an application, together with an instruction sheet for filing, which includes the current fee schedule. The completed applications, together with the required documentation and fee, are to be submitted to the Village Clerk's Office.

If you should have any questions or require additional information with reference to the Zoning Board

RE: 165 Church Street, Freeport, NY

Application, please contact the Village Clerk's Office at 377-2300. In the event that you do not make application within the allotted sixty (60) days, this Letter of Denial will expire and the Building Permit Application in conjunction with same will be cancelled.

Very truly yours,



Sergio A. Mauras

Superintendent of Buildings

Jonathan Smith, Building Inspector

/cd

encl.

c: Village Clerk

Francisco Perez

SITE PLAN APPROVAL NEEDED

Yes:  No:

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VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. #20212476

Location: 165 Church Street, Freeport, NY

Applicant: Palvinder Kaur

Description: Construct a new 3097 sq. ft. 2-story single family dwelling with unfinished basement and a 426 sq. ft. detached garage

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

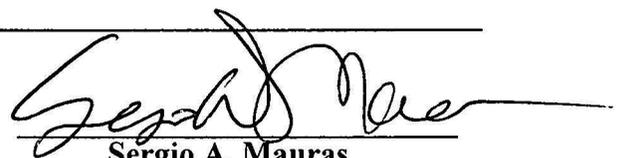
REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:  
(only if positive determination)

Dated: January 11, 2022

  
Sergio A. Mauras  
Superintendent of Buildings

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DEPARTMENT OF BUILDINGS  
FREEPORT, NY

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.



SEC. 62 BLK. 54 LOT. 33

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter  
Of  
the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No.

COMPLY WITH  
ORIGINAL NOTES

The application of Palvinder Kaur

respectfully states and alleges:

Strike out  
inapplicable  
phrase

1. That the applicant (resides at) (has its principal office for the conducting of its business at)  
151 Church Street, Freeport, New York 11520

State whether  
applicant is owner,  
lessee, or has option  
or contract. If other  
than owner, state  
briefly terms of  
agreement.

2. That the premises affected by this application is located at Land Map of Nassau County  
165 Church Street Sec. 62 Blk. 54 Lot(s) 33  
and that the interest which the applicant has in the property concerned is that of Construct new 2-Story 1-Family Residence

3. That (the applicant) (the applicant's) duly authorized Palvinder Kaur on or about the  
10 day of October 2021, filed in the office of the Department of Buildings of the Village of  
Freeport, New York, an application for a Building Permit. Documents filed with said application were  
as follows:

Construct a New 3,097 sq. ft. 2-Story Single family dwelling with  
unfinished basement and a 426 sq. ft. detached garage.

Obtain reason for  
denial from  
Department of  
Buildings.

4. That on or about the 11 day of January, 2022, the Department of Buildings denied said  
application; upon information and belief that the reason for said denial was as follows:  
No compliance with Village Ordinance 210-6A and 210-40:

Describe by  
construction and  
number of stories. If  
none, so state.

5. That the nature of the improvements now upon said premises is as follows:  
New 2-Story wood frame with vinyl siding 1-Family Residence.

State nature of use of  
property. If a  
business, give brief  
description.

6. That said premises are now being used as follows: Vacant lot (9,726 s.f.)

Describe fully and  
clearly the use  
desired.

7. That the applicant seeks authority to make use of said premises as follows:  
1-Family Residence

Strike out whichever  
word is not  
applicable. Follow  
language in  
ordinance.

8. Upon information and belief that a (permit) (variance) for such use may be granted by this Board by  
virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the  
State of New York That other than the subject variance the proposed construction  
is in compliance with all other zoning requirements with a proposed  
lot size of 9,726 s.f. exceeding zoning lot size requirements.

Refer where possible  
to paragraphs and  
section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the  
application involves a subdivision of property, describe the existing property:  
Than subject property site has been occupied and used for residential building since  
decades, such construction was demolished a couple years ago.

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If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

10. That the grounds for this application are as follows: Proposed Lot width less than 50 ft. (49 ft.) at the point of side lines from the front property line to the rear building line of the structure

11. That any deed restrictions running with the land prohibiting the desired use are as follows: None

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous proceeding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: January 20, 2022.

[Signature]

BY: PALVINDER KAOR  
ITS: THE PROP. OWNER / APP.

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York )  
County of Nassau ) ss:

The applicant Palvinder Kaur named in the foregoing application, being duly sworn, depose and say that She read the foregoing application subscribed by herself and know the contents thereof; and that the same is true to her own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters She believe is to be true.

Sworn to before me this 17 day  
of Jan, 2022.

[Signature] ✓  
Signature of Applicant

**MARRY ANN OJEDA** Notary Public  
Notary Public, State of New York  
No. 010J6307527  
Qualified in Nassau County  
Commission Expires July 07, 2022

**Notice  
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

01/17/2022, 2022.  
Date Year

[Signature]  
Signature

**Affidavit of Owner**

To be completed only if the owner is not the applicant.

State of New York )  
County of Nassau ) ss:

I \_\_\_\_\_ being duly sworn, depose and say:

That he/she (the owner of \_\_\_\_\_) (is the \_\_\_\_\_ of \_\_\_\_\_ the property concerned is correct to the best of the knowledge of deponent \_\_\_\_\_.)

That the owner \_\_\_\_\_ consents to the granting of the authority sought in the above application.

Sworn to before me this \_\_\_\_\_ day  
of \_\_\_\_\_, 20 \_\_\_\_\_.

\_\_\_\_\_  
Signature

Notary Public \_\_\_\_\_

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617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

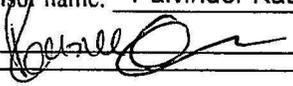
**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
Name of Action or Project: <b>New 2-Story with attached 1-car garage frame with Vinyl siding 1-Family Residence.</b>							
Project Location (describe, and attach a location map): <b>NO. 165 on <sup>EAST</sup> West side of Church Street @ 239.2 ft. South of Smith street, Freeport, N.Y. 11520.</b>							
Brief Description of Proposed Action: <b>Construct new (3,097 sf. inc. 2nd. fl.) 2-Story with (426 s.f.) detached 1 1/2-car garage Wood frame with Vinyl siding 1-Family Residence to existing vacant lot.</b>							
Name of Applicant or Sponsor: <b>Palvinder Kaur</b>		Telephone: <b>(516)943-4171</b> E-Mail: <b>palvik16@yahoo.com</b>					
Address: <b>151 Church Street</b>							
City/PO: <b>Freeport</b>		State: <b>New York</b>	Zip Code: <b>11520</b>				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;"> </td> <td style="text-align: center;">✓</td> </tr> </table>	NO	YES		✓
NO	YES						
	✓						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;">✓</td> <td style="text-align: center;"> </td> </tr> </table>	NO	YES	✓	
NO	YES						
✓							
3. a. Total acreage of the site of the proposed action?		0.22 acres					
b. Total acreage to be physically disturbed?		0.22 acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.22 acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
9 Urban 9 Rural (non-agriculture) 9 Industrial 9 Commercial 9 Residential (suburban) 9 Forest 9 Agriculture 9 Aquatic 9 Other (specify): _____ 9 Parkland							

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 Freeport, NY Dept.



18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	✓	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	✓	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	✓	
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Palvinder Kaur</u>		Date: <u>10/14/2021</u>
Signature: <u></u>		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities? <small>Freeport, NY Dept.</small>		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	✓	
11. Will the proposed action create a hazard to environmental resources or human health?	✓	

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

# DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 2021247  
Filing Date 10-14-21

## Application for Erection of Buildings or Alterations

**IMPORTANT** Applicant to complete all items in sections I, II, III, IV, V.

<b>I. LOCATION OF BUILDING</b>	AT (LOCATION) <u>165</u> <u>Church Street</u>	ZONING DISTRICT	<u>Res. "A"</u>
	(No.) (Street)		
	BETWEEN <u>On East side of Church Street</u> at <u>239.2'</u> South of <u>Smith Street</u>		
	(Cross Street) AND (Cross Street)		
	SECTION <u>6</u> BLOCK <u>54</u> LOT <u>33</u>	APROX. LOT SIZE <u>50</u> x <u>199</u>	LOT AREA <u>9,726</u> s.f.

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**II. TYPE AND COST OF BUILDING - All applicants complete Parts A-D**

<p><b>A. TYPE OF IMPROVEMENT</b></p> <p>1 <input type="checkbox"/> New building</p> <p>2 <input checked="" type="checkbox"/> Addition-Alteration (If residential, enter number of new housing units added. If non-residential, non-_____)</p> <p>3 <input type="checkbox"/> Swimming Pool</p> <p>4 <input type="checkbox"/> Repair (Replacement)</p> <p>5 <input type="checkbox"/> Bulkhead (New, repair)</p> <p>6 <input type="checkbox"/> Fence</p> <p>7 <input type="checkbox"/> Moving (Relocation)</p>	<p><b>B. PROPOSED OR EXISTING USE</b></p> <p><b>RESIDENTIAL</b></p> <p>11 <input checked="" type="checkbox"/> One Family</p> <p>12 <input type="checkbox"/> Two families</p> <p>13 <input type="checkbox"/> Apartment - Enter No. of Units _____</p> <p>14 <input type="checkbox"/> Transient hotel, motel, or _____ enter No. of Units _____</p> <p>15 <input type="checkbox"/> Garage or Accessory Structure</p> <p>16 <input type="checkbox"/> Other - Specify _____</p> <p><b>NON RESIDENTIAL - Complete Part 'E'</b></p> <p>17 <input type="checkbox"/> Office, bank, professional</p> <p>18 <input type="checkbox"/> Store, mercantile</p> <p>19 <input type="checkbox"/> Church, other religious</p> <p>20 <input type="checkbox"/> Hospital, institutional</p> <p>21 <input type="checkbox"/> Other - Specify _____</p> <p>22 <input type="checkbox"/> Other - Specify _____</p>
<p><b>C. COST</b></p> <p>10 TOTAL COST OF IMPROVEMENT \$ <u>225,000.00</u></p>	<p><b>D. DESCRIPTION OF PROJECT</b></p> <p><u>Construct new (3,097 sf. inc. 2nd fl.) 2-Story with (426 s.f.) detached 1 1/2-car garage Wood frame with Vinyl siding 1-Family Residence to existing vacant lot.</u></p>

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DEPT. OF BUILDINGS  
VILLAGE OF FREEPORT, N.Y.

**III. IDENTIFICATION - To be completed by all applicants**

	NAME	MAILING ADDRESS - Number, street, city and state, zip	TEL. NO.
1. Owner or Lessee	<u>PALVINDER KAUR</u>	<u>151 Church Street</u> <u>Freeport New York 11520</u>	<u>(516)</u> <u>943-4171</u>
2. Contractor			
3. Architect or Engineer	<u>Francisco Perez</u>	<u>1503 91st. Street, North Bergen New Jersey 07047</u>	<u>(201)</u> <u>978-9009</u>

<p><b>IV. OWNER - CONTRACTOR STATEMENT</b></p> <p>Building permit is issued subject to the provisions of Section 57 of the worker's compensation law.</p> <p>Worker's Compensation Certificate No. _____ Company _____ Exp. Date _____</p> <p>Contractor or Owner <u>Palvinder Kaur</u> (Print)</p> <p>Address <u>151 Church Street, Freeport, NY 11520</u></p> <p>Phone <u>(516) 943-4171</u></p> <p>State of New York County of Nassau</p> <p><u>Palvinder Kaur</u> being duly sworn, says that <u>She</u> (He or She) is the contractor or Owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of <u>Her</u> (His or Her) knowledge and belief and agrees to conform to all applicable laws of jurisdiction.</p> <p>Sworn to before me this <u>14th</u> day of <u>October</u> 20<u>21</u></p> <p><u>Carolyn Dean</u> Notary Public. County, N.Y.</p> <p><u>Carolyn Dean</u> Notary Public, State of New York Qualified in Nassau County Commission Expires November 21, 20<u>22</u></p>	<p><b>V. FLOOD ZONE</b></p> <p>IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE? YES _____ NO <input checked="" type="checkbox"/></p> <p>IF YES, WHICH ZONE? _____</p> <p>IS PROJECT TO REPAIR FLOOD DAMAGE? YES _____ NO <input checked="" type="checkbox"/></p> <p><b>PROJECT DESCRIPTION</b></p> <p>Total/First Fl. Square Feet <span style="border: 1px solid black; padding: 2px;">1,673</span></p> <p>Upper Fls. Square Feet <span style="border: 1px solid black; padding: 2px;">1,424</span></p> <p># of Fixtures <span style="border: 1px solid black; padding: 2px;">14</span></p> <p># of Floors <span style="border: 1px solid black; padding: 2px;">2</span></p> <p>Occup. Type <span style="border: 1px solid black; padding: 2px;">1-Family</span></p>
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**VI. VALIDATION (Official Use Only)**

<p>Building Permit Number _____</p> <p>Building Permit Issued _____</p> <p>Building Permit Fees \$ _____</p>	<p style="text-align: center;">Approved by: _____</p> <p style="text-align: center;">Superintendent of Buildings</p>
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GENERAL NOTES 1

- 1. All work shall be done in strict accordance with provisions of local, state, and federal codes, laws, ordinances, and regulations wherever applicable.
2. Each contractor shall be held to have visited the site and to have verified all existing conditions prior to submission of bid.
3. In all cases, drawings shall not be scaled for information. Figured dimensions and conditions must be verified in the field.
4. Contractor shall verify and be responsible for all field dimensions and job conditions, and shall notify the Architect of any discrepancies, conflicts, and/or omissions which would interfere with the satisfactory completion of the work. Should he fail to follow this procedure and continue with the work, he shall assume responsibility and liability arising therefrom.
5. All items of work identified on the drawings by name, note, or material designation are new, unless otherwise noted.
6. All new materials and installations shall be in accordance with manufacturer's latest printed specifications, and with all applicable code requirements.
7. All work shall be performed in accordance with best standard trade practices. Each trade shall cooperate with the Owner and other trades to facilitate job scheduling and completion.
8. Proprietary names identifying items of work are used to designate the standard of construction. Items of equal quality may be substituted for the Architect's review.
9. Each contractor shall be responsible for any damage to adjoining remaining areas as a result of his work, and shall repair damaged surfaces to their pre-existing conditions or as may be required to complete the entire scope of work.
10. Indications of work to be removed are general only, and are not intended to show all items which may require removal. Such items shall be removed, relocated, and/or reinstalled as required for installation of new work.
11. Existing equipment and materials to be removed, which are not required to be relocated or retained by the Owner, shall become the property of the Contractor and removed from the premises.
12. At the completion of each workday, each trade shall be responsible for cleaning up their work. Rubbish removal shall be done in a dust-inhibitive fashion, and the job site shall be free of all debris and clean upon completion.
13. Dry-wall Construction:
a. Provide sizes and types as shown on the drawings, taped and spackled with three (3) coats and sanded smooth.
b. Provide all metal corner beads, stops, edge trim, casing, beads, etc. as required to finish all drywall surfaces with flush, level edges.
c. Use Firecode "X" gypsum board where required to obtain fire ratings per N.Y.S. Building Codes. See Partition Types and Plans for exact locations.
14. Alterations to existing work shall be patched and finished, as necessary, to match existing contiguous surfaces or new finishes shown.
15. Clean all floors, walls, doors, misc. metals, glass, etc. leaving job free of dust and debris, prior to project completion.
16. All existing floor slabs which are damaged as a result of any demolition and new work are to be restored as required to match and be level with contiguous surfaces.
17. Flame spread of all interior finishes shall meet or exceed Class "B" (ASTM-E-84) or Class "I" (Radiant Panel Test) requirements.
18. All mechanical and electrical work shall be in full conformance with the Building Codes of N.Y. State, and all other applicable codes and regulations.
19. Plumbing work shall be installed, by a plumber licensed with the Village of Freeport, in accordance with New York State and National Plumbing Codes.
20. Electrical work shall be installed by an electrician licensed in Nassau County, in accordance with New York State and National Electrical Codes. A Fire Underwriter's Laboratory certification shall be obtained for all electrical work, and supplied to the Owner and the Architect.
21. All cabinetry and case-work to be fabricated and installed in conformance with the N.Y.S. Building Code.
22. During demolition work, properly protect all existing work scheduled to remain. Provide any shoring, bracing, and temporary partitions as required to protect adjoining existing areas so that the owner can continue daily operations with minimal interruptions.
23. Soil pressure assumed at 3,000 Lbs. per sq. Ft..
24. All new construction is to conform to the latest Energy Conservation Construction Code of N.Y. State, effective August 5, 2007.

GENERAL CODE NOTES 2

- 1. SEE DRAWING A-4 FOR NEW DOOR AND WINDOW SCHEDULES.
2. SEE DRAWING C-1 AND C-2 FOR THE RESIDENTIAL CODE OF NEW YORK STATE GENERAL CONSTRUCTION DETAILS, FASTENING/ANCHORING, STRAPPING, SCHEDULES.
3. NEW SMOKE ALARM DETECTOR TO BE INSTALLED AT EACH SLEEPING ROOM, HALLWAY & BASEMENT. ALL SMOKE DETECTORS TO BE INTERCONNECTED IN ACCORDANCE WITH SECTION R303 AND POWER SOURCE FOR SMOKE DETECTORS IS TO COMPLY WITH SECTION R303.2 OF THE NYS RESIDENTIAL CODE. (TYP)
4. NEW CARBON MONOXIDE DETECTOR IS TO BE INSTALLED, LISTED AND LABELED AS COMPLYING WITH 2024-2027 STANDARD AND TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS, AND PER PLUMBING SECTION R 314.
5. MINIMUM DUCT INSULATION IS TO BE IN ACCORDANCE WITH TABLE 503.3.3 OF THE ENERGY CONSERVATION CODE OF NEW YORK STATE.
6. PLEASE CONFIRM THAT ALL APPLIANCES WILL BE DIRECTLY VENTED TO THE OUTSIDE. SIZING OF VENTING SYSTEMS IS TO COMPLY WITH SECTION G2421 (904) FURTHERMORE FUELE CROSS SECTIONAL AREA IS TO COMPLY WITH REQUIRED EXTERIOR AIR INTAKE IS TO COMPLY WITH SECTION R202.5, OF R.C. O. N.Y.S.
7. MOISTURE VAPOR RETARDERS ARE TO BE INSTALLED ON THE WARM-1-WINTER SIDE OF THE INSULATION IN ALL FRAMED WALLS, FLOORS AND ROOF/Ceilings COMPRISING ELEMENTS OF THE BUILDING THERMAL ENVELOPE, IN ACCORDANCE WITH SECTION R309 OF R.C. O. N.Y.S.
8. PIPE INSULATION FOR THE WATER DISTRIBUTION SYSTEMS IS TO COMPLY WITH TABLE 503.3.3 OF THE ENERGY CONSERVATION CONSTRUCTION CODE. SEE TABLE ON DUG-G-3 FOR MORE INFORMATION WATER DISTRIBUTION TO BE "L" COPPER OR BETTER. VENTS TO BE P.V.C. SCHEDULE 40 OR BETTER. DRAINS TO BE BLACK IRON PIPE OR BETTER.
9. ELECTRICAL EQUIPMENT WIRING AND INSTALLATION ARE TO COMPLY WITH CHAPTER 33 THROUGH 41 OF R.C. O. N.Y.S. WIRE INSULATION TO BE RHW OR BETTER (BDO C MAX. CONDUCTOR TEMP.) ALL GARAGE, OUTDOOR UNDERFLOOR SPACES TO BE PROVIDED WITH GFI PROTECTION IN ACCORDANCE WITH SECTION E 306.2 OF R.C. O. N.Y.S.
10. THE WIRING SYSTEM OF THE PREMISES IS TO BE GROUNDED AT THE WATER SERVICE OR WITH A GROUNDING ELECTRODE CONNECTED, IN ACCORDANCE WITH SECTION E307, SIZED IN ACCORDANCE WITH SECTION E309.3. THE ROD ELECTRODE IS TO BE MADE OF ZINC COATED IRON OR STEEL, SHALL HAVE 3/8" MINIMUM DIAMETER AND SHALL BE A MINIMUM OF 8 FT. LONG. NON-FERROUS ROD SHALL BE 1/2" MINIMUM DIAMETER IN ACCORDANCE WITH SECTION E 309.8 OF R.C. O. N.Y.S.
11. CIRCUIT BREAKERS AND OTHER ELECTRICAL DEVICES ARE TO BE SIZED TO PROTECT THE FEEDER IN EACH PARTICULAR BRANCH CIRCUIT.
12. A MINIMUM OF ONE 20 AMPERE BRANCH CIRCUIT IS TO BE PROVIDED TO SUPPLY THE BATHROOM RECEPTACLE OUTLETS, SUCH CIRCUITS ARE TO HAVE NO OTHER OUTLET.
13. CIRCUIT RATINGS TO BE IN ACCORDANCE WITH SECTION E36.2, GROUNDING SHALL INTERRUPTER PROTECTION IS TO BE PROVIDED FOR BATHROOM CIRCUITS. ALL CIRCUITS LISTED IN SECTION E36.2 OF R.C.O.N.Y.S.
14. STAIRWAY ILLUMINATION IS TO BE IN ACCORDANCE WITH R303.6. THE LIGHT SWITCH IS TO BE LOCATED AT THE TOP AND AT THE BOTTOM OF EACH STAIRWAY, IN ACCORDANCE WITH SECTION R303.6.1 OF R.C. O. N.Y.S.
15. DUELLING IDENTIFICATION IS TO PROVIDED IN ACCORDANCE WITH SECTION R321 OF R.C. O. N.Y.S.
16. ALL MECHANICAL SYSTEMS INSTALLED SHALL COMPLY WITH CHAPTER 12 THROUGH CHAPTER 33 OF R.C.O.N.Y.S.
17. PLUMBING SYSTEMS INSTALLED SHALL COMPLY WITH CHAPTER 25 THROUGH CHAPTER 34 OF R.C.O.N.Y.S.
18. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHUBS AND SHOWERS, GLAZING IN ANY PART OF A BUILDING WALL ENCLING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" (54" MIN) MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE

LOCATION MAP (N.T.S.)



PROPOSED 2-STORY FRAME WITH VINYL 1-FAMILY RESIDENCE

CHURCH STREET, FREEPORT, N.Y. 11520
SEC. 62 BLK 54 LOT 33

RESIDENTIAL CODE OF NEW YORK STATE - 2020

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

Table with columns: GROUND SNOWLOAD, WIND SPEED, SEISMIC DESIGN CATEGORY, WEATHERING, FROST LINE DEPTH, TERMITES, DECAY, WINTER DESIGN TEMP, ICE SHIELD UNDER-LAYMENT REQUIRED, FLOOD HAZARDS, AIR FREEZING INDEX. Values include: 20 psf, 120 mph, B, SEVERE, 3 FT., MODERATE TO HEAVY, SLIGHT TO MODERATE, NASSAU - 19, YES, NASSAU - 498.

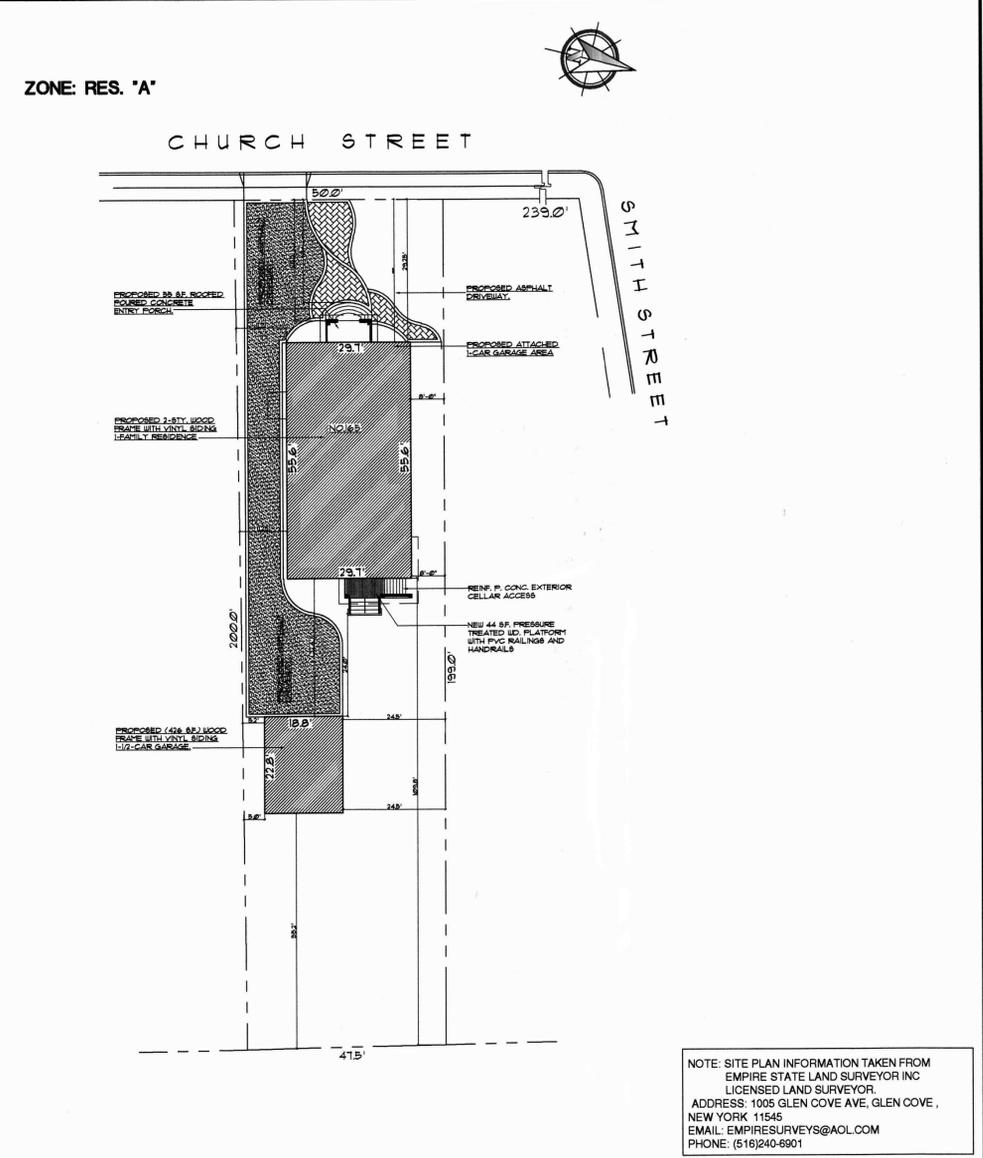
GENERAL STRUCTURAL NOTES

ALLOWABLE WOOD STRESSES:
CONSTRUCTION GRADE DOUGLAS FIR - SOUTH #1
Fc = 1300 PSI
Ft = 675 or 525 PSI IF IN 4' WIDTH (COMPRESSION PARALLEL TO GRAIN)
Fc = 800 PSI (COMPRESSION PARALLEL TO GRAIN)
Ft = 245 PSI (COMPRESSION PERPENDICULAR TO GRAIN)
Fv = 90 PSI (HORIZONTAL SHEAR)
REFERENCES:
BUILDING CODE OF NEW YORK STATE
RESIDENTIAL CODE OF NEW YORK STATE
AMERICAN FOREST & PAPER ASSOCIATION (AF&PA) - 2021 EDITION
TIMBER CONSTRUCTION MANUAL (AISC)
MANUAL OF STEEL CONSTRUCTION (AISC)
AMERICAN CONCRETE INSTITUTE (ACI)
CONCRETE
1. Design materials and methods of construction shall comply with the Building Code Requirements for Reinforced Concrete ACI 318-09 of the American Concrete Institute. Compressive strength at 28 days (f'c) for reinforced concrete in footings and slabs shall be 3500 psi.
2. Concrete and reinforcing materials shall conform to the following standards:
A. Portland cement as per ASTM C150-04.
B. Air-entraining Admixtures shall conform to ASTM C-260-T1 & Section R 402.2 of R.C. of N.Y.S.
C. Concrete aggregates as per ASTM C33-04.
D. Water shall be clean and free from injurious amounts of oils, acids, alkalis, salt, organic materials and deleterious substances.
E. Reinforced reinforcing bars shall conform to ASTM A615-02(5) Grade 60.
F. Welded smooth wire fabric for concrete reinforcement shall conform to ASTM A185-79 and A82-79.
3. All bars shall be securely held in proper position while placing concrete. If required, additional bars or stirrups shall be provided by the contractor to that effect.
4. Minimum concrete cover of reinforcement shall be as follows:
A. Footings and other principal structural members cast against ground, 3".
B. Concrete, after removal of forms exposed to weather or in contact with ground to be 2" for bars larger than #5, and 1 1/2" for #5 or smaller.
C. Slabs and walls not exposed to ground or weather to be 3/4" and beams and girders to be 1 1/2".
5. All dowels, anchor bolts, embedded steel, electrical conduits, pipe sleeves, waterstops, inserts, grounds and all other embedded items shall be in place before placement of concrete.

2018 IECC CODE NOTES

2018 IECC, Section R403.3 Mechanical system piping insulation (Mandatory)
Mechanical system piping capable of carrying fluids above 105 F (41 C) or below 55 F (13 C) shall be insulated to a minimum of R-3.
Protection of piping insulation
1. Piping from the water heater to kitchen outlets.
4. Piping located outside the conditio space.
5. Piping from the water heater to a distribution manifold.
6. Piping located under a floor slab.
7. Buried piping.
8. Supply and return piping in recirculation systems other than demand recirculation systems.
9. Piping with run lengths greater than the maximum run lengths for the nominal pipe diameter given in Table 403.4.2. All remaining piping shall be insulated to at least R-3 or meet the run length requirements of Table R403.4.2.
2018 IECC Electrical Power and Lighting System
Section R404.1 Lighting Equipment.
Not less than 75 percent of the permanently installed lighting fixtures to be high efficacy lamps as required.

PLOT PLAN LOT SIZE: 9,726 S.F. (0.22 ACRE) SCALE: 1"=15'



BUILDING CODE OF NYS 2020 ANALYSIS

CONSTRUCTION CLASSIFICATION: TYPE VB- WOOD FRAME
FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS: AS PER TABLE 601-NO FIRE RESISTANCE RATING REQUIRED FOR ANY BUILDING ELEMENTS.
CHAPTER 11 - ACCESSIBILITY (SECTION 1103)
1103.2.4 DETACHED ONE AND TWO FAMILY DWELLINGS AND ACCESSORY STRUCTURES, AND THEIR ASSOCIATED SITES AND UTILITIES AS APPLICABLE IN SECTION 101.2, ARE NOT REQUIRED TO BE ACCESSIBLE.

ZONING CALCULATIONS

ZONING: PER VILLAGE OF FREEPORT (ZONED RES- 'A')
BUILDING HEIGHT: 35' OR 3 STORIES MAX. HEIGHT)
BUILDING AREAS:
DETACHED GARAGE: PROPOSED: 426 S.F.
CELLAR: PROPOSED: 1,652 S.F.
CELLAR BATHROOM: PROPOSED: 64 S.F.
FIRST FLOOR: PROPOSED: 1,673 S.F.
SECOND FLOOR: PROPOSED: 1,424 S.F.
ROOFED OVER PORCHES & DECKS: PROPOSED: 49 S.F.
OPEN DECKS: PROPOSED: 0 S.F.
ACCESSORY STRUCTURES: PROPOSED: 0 S.F.
INGROUND POOL: PROPOSED: 0 S.F.
ABOVE GROUND POOL: PROPOSED: 0 S.F.
TOTAL BUILDING AREA: 3,941 S.F. (INCLD. FIRST FL., SECOND FL., ACCESSORIES BUILDING AND SHEDS)
LOT COVERAGE: 30% MAX.=4,126 x 0.30=2,411 S.F.
ACTUAL COVERAGE: 2,411 x 2,911 S.F.= 25 %
(ACTUAL COVERAGE INCLUDES 1ST FL., PORCHES AND ACCESSORY STRUCTURES)

SYMBOL LIST

- North Arrow
Detail No. DETAIL DESIGNATION Drawing No.
Section Number SECTION Drawing No.
New Window Number Designation (See Window Schedule Sheet WC-2).
New Door Number Designation (See Door Schedule Sheet DC-2).
Furniture Designation.
Partition Type Designation.
Fire Extinguisher (Shall hang)
Exhaust Fan.
Existing Construction to Remain.
Existing Construction to be Removed (S.D.M.).
New Drywall Partition.
Existing Door & Frame to Remain.
Existing Door & Frame to Remove

PROPERTY INFORMATION

Table with columns: COUNTY TAX MAP NO., SITE DATA, ITEM, AS REQUIRED BY ZONING, %, EXIST./PROPOSED, %, OCCUPANCY TYPE, CONSTRUCTION TYPE, FIRE HAZARD CLASSIFICATION.

DRAWINGS LIST

- 1.- T-1 TITLE/INFORMATION SHEET, SITE PLAN GENERAL NOTES & LOCATION MAP
2.- C-1 NEW YORK STATE CODE - REQUIREMENTS - DETAILS
3.- C-2 NEW YORK STATE CODE - REQUIREMENTS - DETAILS
4.- A-1 PROPOSED CELLAR/FOUNDATION AND FIRST FLOOR PLANS
5.- A-2 PROPOSED 2ND. FLOOR & ROOF FRAMING PLANS
6.- A-3 PROPOSED FRONT & RIGHT SIDE ELEVATIONS
7.- A-4 PROPOSED LEFT SIDE AND REAR ELEVATIONS
8.- C-1 DETACHED 1-1/2 GARAGE PLAN

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REVISIONS

Table with columns: NO., DATE, DESCRIPTION. Contains three revision entries.

ISSUED TO NO. DATE

Table with columns: NO., DATE. Empty table for tracking issued drawings.

APPLICATION NO.

APPLICANT/OWNER

PALVINDER KAUR
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PHONE: (516)943-4171
EMERGENCY CONTACT:
NAME: MIGUEL RAMIREZ
PHONE: (631)704-6601

PROJECT TITLE

PROPOSED 2-STORY FRAME WITH VINYL 1-FAMILY RESIDENCE

165 CHURCH STREET
FREEPORT, N.Y. 11520
SEC. 62 BLK 54 LOT 33

DRAWING TITLE

TITLE INFORMATION
PLOT PLAN, LOCATION MAP AND SYMBOL LIST AND ENERGY CALC.

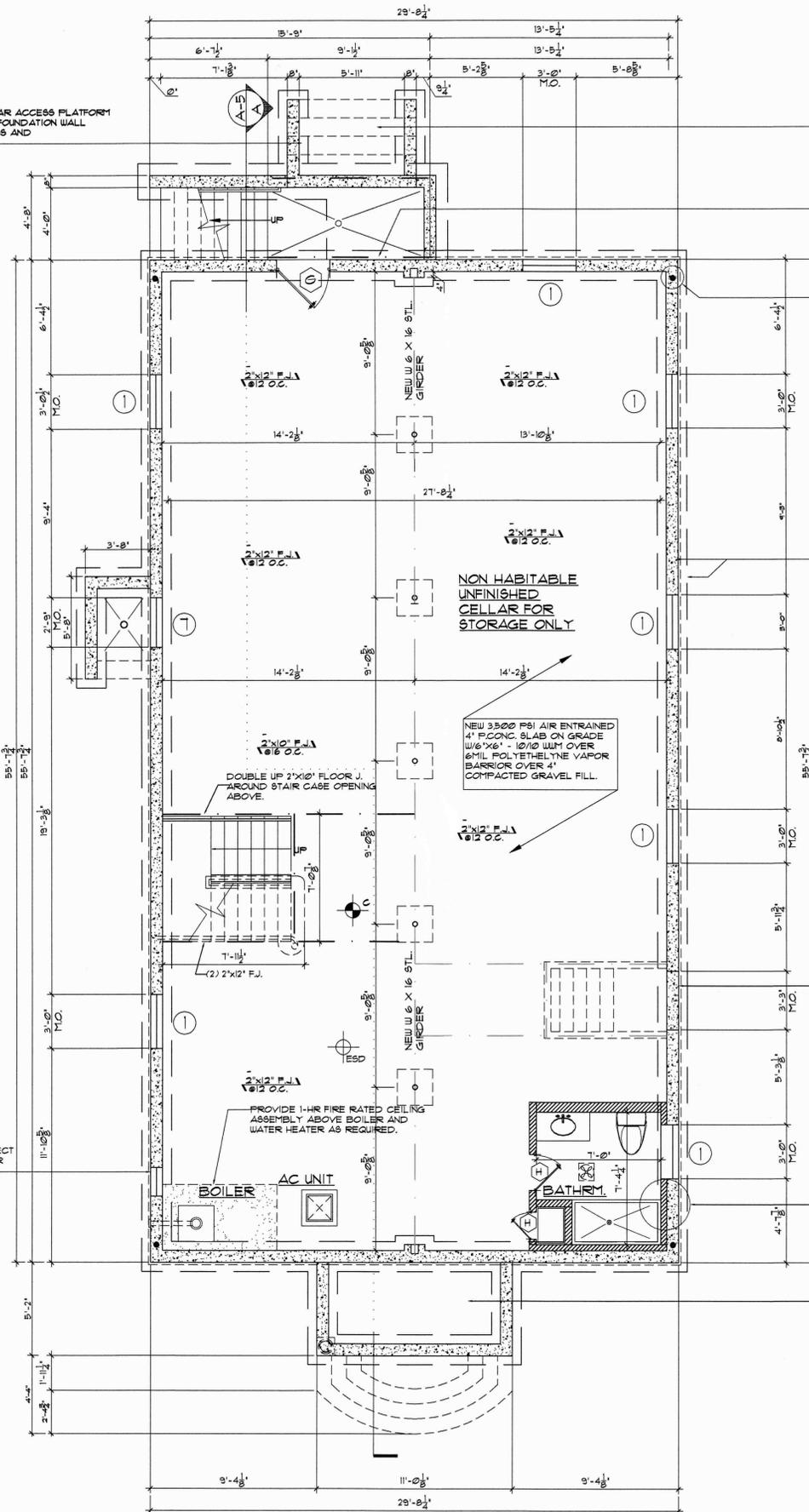
DRAWN BY: MIGUEL RAMIREZ
CHECKED BY: FP
DATE: JUNE 2021
SCALE: AS SHOWN
DRAWING NO. T-1
PROJECT NO. 1
8





NEW WATER PROOF REAR ACCESS PLATFORM OVER FOURED CONG. FOUNDATION WALL PROVIDE PVC RAILINGS AND HANDRAILS(TYP.)

NEW 16" W X 12" H GALV. VENT LOUVER WITH INSECT SCREEN FOR FRESH AIR INTAKE



**A CELLAR FOUNDATION PLAN**  
SCALE: 1/4"=1' (AREA=1693 SF)

F. CONC. STOPS AS PER SECTION R-311-R312.

NEW 2"x10" T. WD. LEDGER BOARD W/1/4" LAG BOLT 1 1/2" MIN. INTO STRUCTURE @ 16' O.C. (TYP.)  
SHEAR WALL SEGMENTS REQUIRED. SEE SHEETS C1 & C2 FOR HOLD-DOWN DETAILS (AREA SHOWN HATCHED THUS, TYP.)  
HOLD-DOWN CONNECTION 'SIMPSON' HUD4 (TYP.)

EXTERIOR WALL CONSTRUCTION OF VINYL SIDING OVER TYVECK VAPOR BARRIER OVER 1" RIGID INSUL. (R-5) OVER 1/2" CDX FLUID. SHEATHING OVER 2"x4" STUDS @ 16' O.C. G.C. PROVIDE HURRICANE TIES AT JUNCTION W/ EXTERIOR WALLS. PROVIDE 3 1/2" SOLID SPRAY FOAM INSUL. BET. STUDS. (R-19-RS) BETWEEN STUDS. FINISH INTERIOR W/1/2" GYP. BD. SEE WALL TYPE LEGEND ON PLAN A-3. TYP. SHOWN HATCHED THUS.)

NEW 8" REINFORCED FOURED CONCRETE FOUND. WALL OVER 2" W. X 12" DP. FOURED CONCRETE FOOTING. APPLY EXTERIOR DAMP-PROOF ASPHALT COATING AT ALL FOOTING AND WALL FOUNDATION BELOW GRADE LEVEL AS REQUIRED BY CODE. SEE WALL TYPE LEGEND ON PLAN A-3. (TYP. SHOWN HATCHED THUS.)

NEW 3500 PSI AIR ENTRAINED 4" F.CONC. SLAB ON GRADE W/6"x6" - 10/10 W/M OVER 6MIL POLYETHYLENE VAPOR BARRIER OVER 4" COMPACTED GRAVEL FILL.

G.C. TO DROP TOP OF FOUND. WALL FOR SIDE ACCESS DOOR AT FIRST FL. ABOVE.

8" LOAD BEARING F. CONCRETE FOUNDATION WALL WITH INTERIOR FURRED OUT CONSISTING OF (1) LAYER OF 1/2" GYP. BD. FASTENED TO 2"x4" WD. STUDS @ 16" O.C. WITH 3 1/2" BATT INSUL. (R-13) IN BETWEEN (TYP. AT BATHROOM AREA ONLY).

NEW 3500 PSI AIR ENTRAINED 4" F.CONC. SLAB ON GRADE W/6"x6" - 10/10 W/M OVER 6MIL POLYETHYLENE VAPOR BARRIER OVER 4" COMPACTED GRAVEL FILL.

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**REVISIONS**

NO.	DATE	DESCRIPTION
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2		
3		

ISSUED TO	NO.	DATE

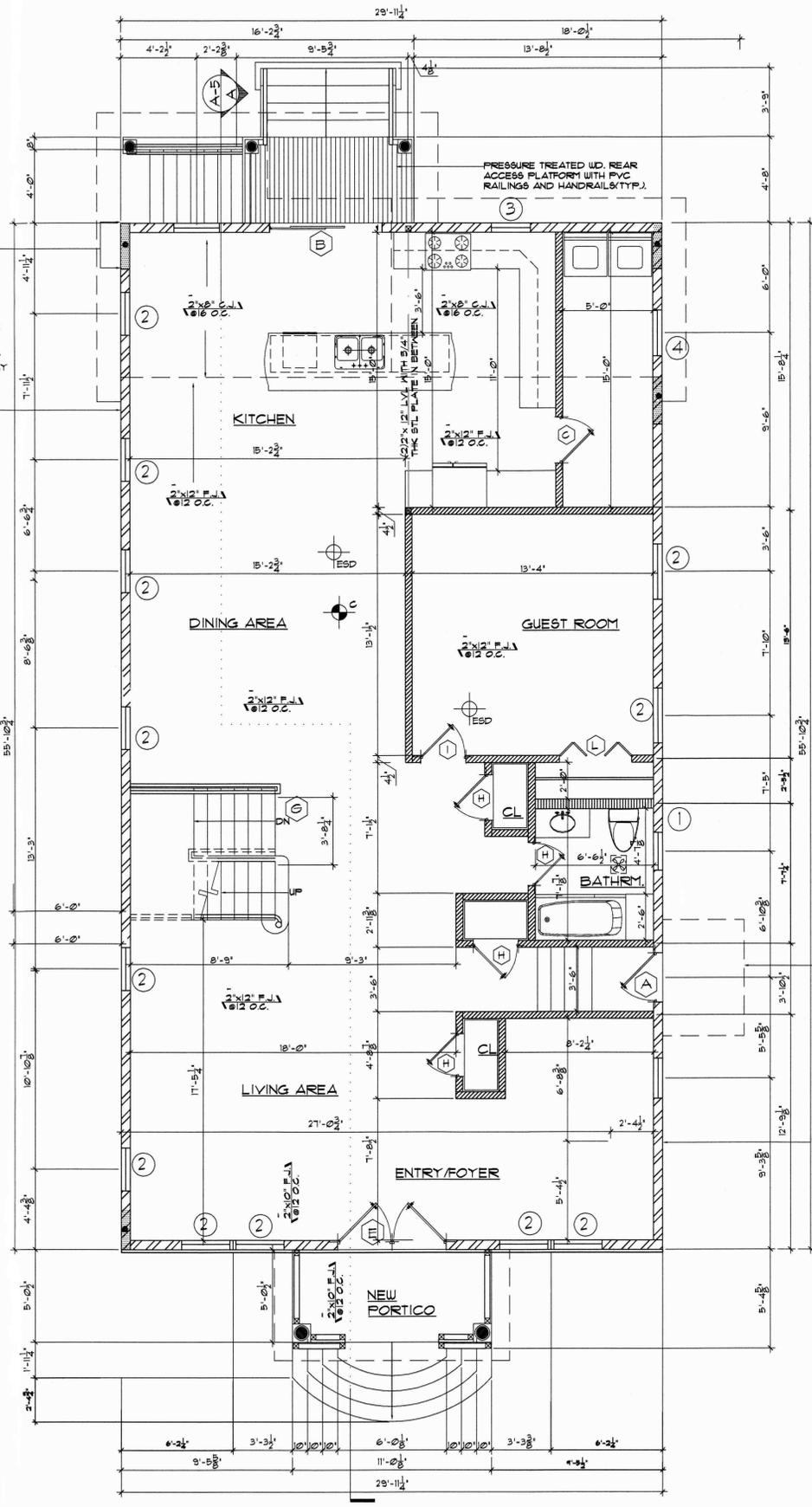
**APPLICATION NO.**

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(516)943-4171  
EMERGENCY CONTACT:  
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PHONE:  
(631)704-6601

**PROJECT TITLE**  
**PROPOSED 2-STORY FRAME WITH VINYL 1-FAMILY RESIDENCE**  
165 CHURCH STREET  
FREEPORT, NY 11520  
SEC. 62 BLK 54 LOT 33

**DRAWING TITLE**  
CELLAR FOOTING FOUNDATION AND FIRST FLOOR PLANS

<b>DRAWN/DESIGN BY:</b> MIGUEL RAMIREZ	<b>DRAWING NO.</b> <b>A-1</b>
<b>CHECKED BY:</b> FP	<b>PROJECT NO.</b> 4
<b>DATE:</b> JUNE 2021	<b>SCALE:</b> AS SHOWN
<b>SCALE:</b> AS SHOWN	<b>8</b>

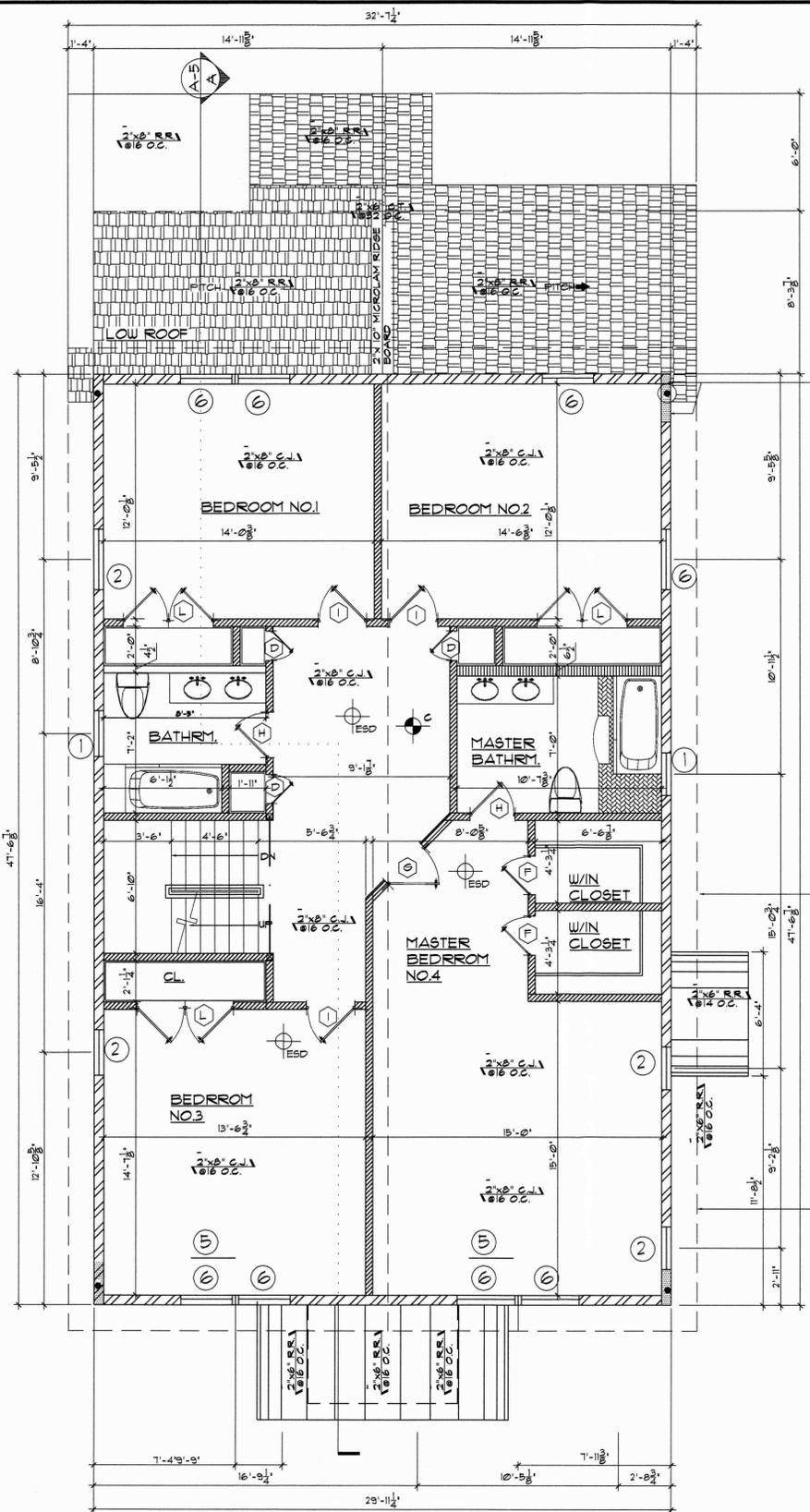


**B FIRST FLOOR PLAN**  
SCALE: 1/4"=1' (AREA=1673 SF)

OUTLINE OF ROOF STRUCTURE OVER SIDE ENTRANCE ABOVE (TYP. U.O.N.)

OUTLINE OF 2ND. FLOOR ABOVE.

RECEIVED  
JUN 20 2021  
MIGUEL RAMIREZ  
PROJECT ENGINEER  
FREEPORT, NY



**A SECOND FLOOR PLAN**  
SCALE: 1/4"=1' (AREA=1424 SF.)

SHEARWALL SEGMENTS REQ'D. SEE DWS DETAIL ON THIS PLAN. (AREA SHOWN HATCHED THUS.)

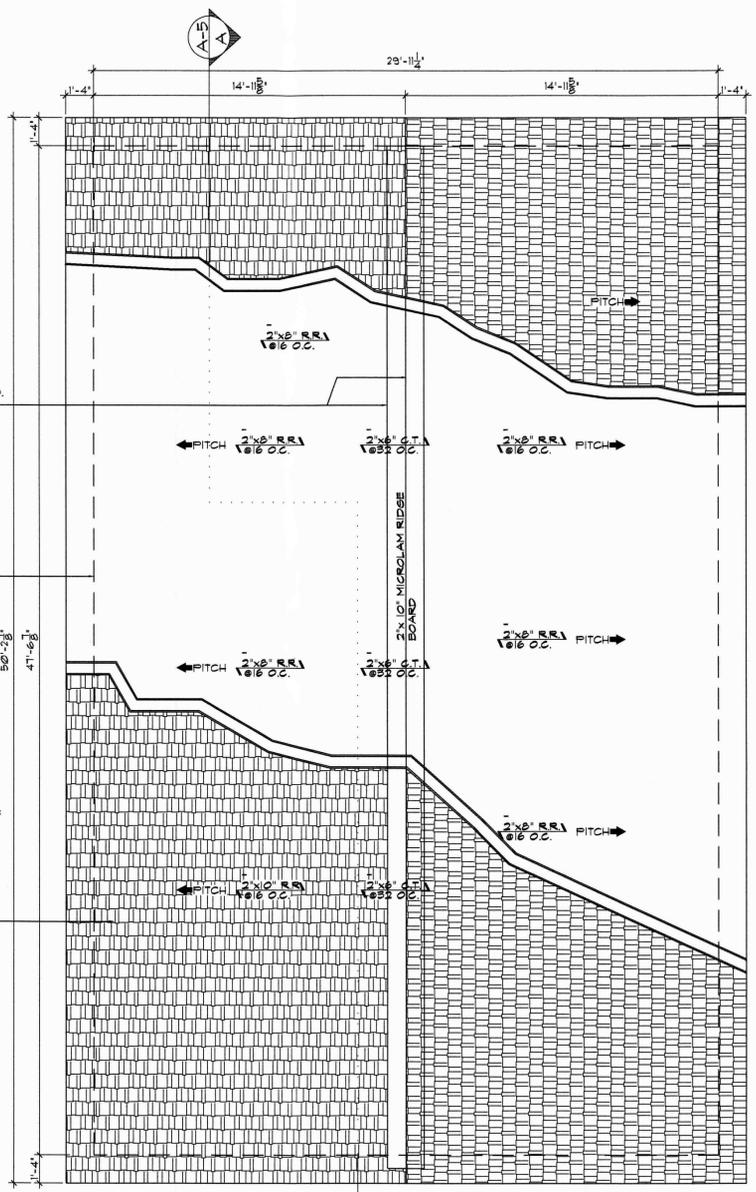
OUTLINE OF 14" WIDE CONTINUOUS RIDGE VENT. PROVIDE MIN. 1" AIR GAP BOTH SIDE OF RIDGE BOARD. (TYP.)

OUTLINE OF ROOF WALL BELOW. (TYP. U.O.N.)

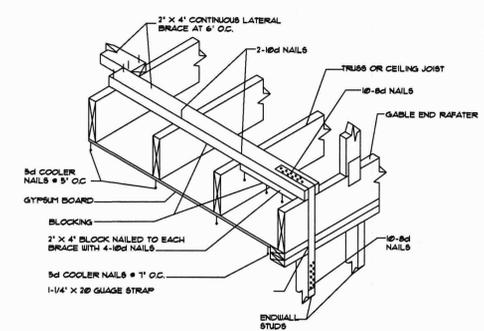
24x48" ATTIC ACCESS LADDER G.C. TO DOUBLE UP CLG. J. AROUND CLG. OPENING.

ROOF CONSTRUCTION TO BE SELF-SEALING FIBERGLASS REINF. ROOF SHINGLES OVER 30 LB. ROOF FELTS OVER 5/8" CDX FLUID SHEATHING OVER 2"x8" ROOF RAFTERS @ 16" O.C. (TYP.) (PROVIDE HURRICANE TIES AT JUNCTION W/ EXTERIOR WALLS. COLOR: MIDNIGHT BLUE BY CERTAINTED MANUFACTURER (TYP.))

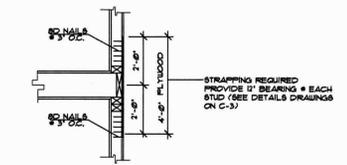
OUTLINE OF ROOF STRUCTURE ABOVE. (TYP. U.O.N.)



**B ROOF FRAMING PLAN**  
SCALE: 1/4"=1' (AREA=1268 SF.)



**CEILING BRACING GABLE ENDWALL**



**LOAD PATH/FLOOR FRAMING DETAIL**

**WINDOW SCHEDULE 1,2,, (NEW)**

NUMBER	ROUGH OPENING DIM.	WINDOW MODEL	STYLE	QTY.
1	2'-8 5/8" W x 1'-7 1/4" H	2811	AWNING	6
2	2'-8 1/8" W x 4'-9 1/4" H	28846	DOUBLE-HUNG	14
3	2'-2 1/8" x 3'-1 1/4" H	28210	DOUBLE-HUNG	3
4	3'-2 1/8" x 3'-6"	3832	DOUBLE-HUNG	3
5	6'-0" W x 24" HT	APCW4924	SPECIALTY WINDOW	2
6	3'-2 1/8" W x 4'-9 1/4" H	3846	DOUBLE-HUNG	5
7	2'-6 1/8" x 3'-6 1/4" H	CA-2636	DOUBLE-HUNG	1
TOTAL QUANTITY NEEDED FOR THIS JOB				34

- WINDOWS MEET EGRESS REQUIREMENTS (SEE CARPENTRY NOTES) PROVIDE AT LEAST (1) WINDOW (OR DOOR) IN EACH HABITABLE SPACE FOR EMERGENCY ESCAPE IN CONFORMANCE WITH N.Y.S. CODE SEC. R301 MIN. OPENING OF 5.7 SQ. FEET (5.0 SQ. FEET @ GRADE LEVEL WHEN GRADE TO BILL IS LESS THAN 44" OR LESS) W/ MINIMUM NET HEIGHT 24" AND MINIMUM NET WIDTH OF 20" (OPERATION W/O NEED FOR TOOLS) BOTTOM OF OPENING @ 44" MAXIMUM AFF.
- ALL WINDOW MODEL NUMBERS SHOWN ARE ANDERSEN WINDOW 400 SERIES BRAND, U.O.N. (NOTE: G.C. CAN SUBSTITUTE WITH ANOTHER WINDOW MANUF. AS LONG AS IT MEETS THE SAME CODE REQUIREMENTS.
- ALL WINDOWS MUST BE ANDERSEN "LOW E"
- FOR ALL EXISTING WINDOWS TO REMAIN, SEE PLANS.
- ALL WINDOWS TO MEET 110 MPH WIND CRITERIA WITH CODE REQUIRED GLAZING.

**LIGHT, VENTILATION AND HEATING**

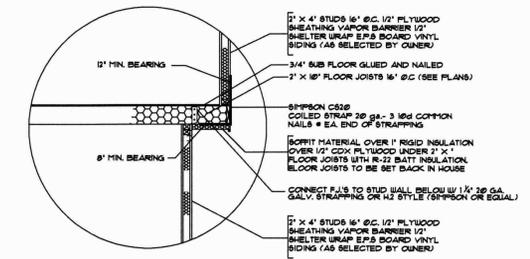
USE	AREA (ft <sup>2</sup> )	WIDTH	AVERAGE CEILING	MINIMUM CEILING	NATURAL* LIGHT	NATURAL VENTILATION*
LIVING	120	7'-0"	7'-6"	5'-0"	8% FLOOR AREA	4% FLOOR AREA
DINING	70	7'-0"	7'-6"	5'-0"	8% FLOOR AREA	4% FLOOR AREA
KITCHEN	50	N.A.	7'-6"	5'-0"	8% FLOOR AREA	4% FLOOR AREA
BEDROOM	70	7'-0"	7'-6"	5'-0"	8% FLOOR AREA	4% FLOOR AREA
BATHROOM	N.A.	N.A.	7'-0"	5'-0"	3 SQUARE FEET	1-1/2 SQUARE FEET
BASEMENT	-	-	7'-0"	5'-0"	-	-

\* See sections R303.1 & R303.3 for mechanical ventilation and artificial light.

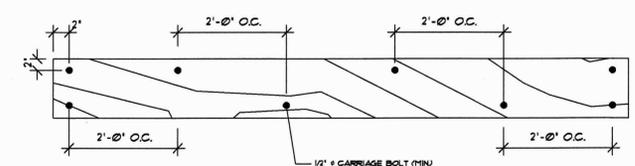
**DOOR SCHEDULE (NEW)**

SYMBOL	DOOR SIZE	DESCRIPTION	QTY.
A	3'-0" x 6'-8"	1/2-HR FIRE RATED, INSULATED ALUMINUM DOOR WITH VISION GLASS	2
B	8'-0" x 6'-8"	VINYL CLAD WD. SLDR. DOOR	1
C	2'-8" x 6'-8"	FIRE-FIN. SCUD, paneled door	1
D	1'-6" x 6'-8"	FIRE-FIN. SCUD, paneled door	0
E	5'-0" x 6'-8"	SCUD paneled door w/ side lights	1
F	2'-0" x 6'-8"	FIRE-FIN. SCUD, paneled door	1
G	32" x 6'-8"	FIRE-FIN. SCUD paneled door	1
H	2'-4" x 6'-8"	FIRE-FIN. SCUD paneled door	2
I	2'-6" x 6'-8"	FIRE-FIN. SCUD, paneled door	4
J	3'-0" x 6'-8"	FIRE-FIN. HCLD. BI-FOLD DOOR	0
K	(22'-6" x 6'-8"	FIRE-FIN. SCUD BI-FOLD DOOR	2
L	(22'-0" x 6'-8"	FIRE-FIN. HCLD. BI-FOLD DOOR	4
M	8'-0" W x 7'-0"	FIRE-FIN. VINYL-INSULATED GARAGE DOOR	1
TOTAL QUANTITY NEEDED FOR THIS JOB			20

- FOR ALL EXISTING DOORS TO REMAIN, SEE PLANS.
- "SCUD" DENOTES - SOLID-CORE WOOD
- "HCLD" DENOTES - HOLLOW-CORE WOOD



(TYP) CANTILEVER DETAIL



(TYP) BOLT PATTERN FOR FLITCH PLATE

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**REVISIONS**

NO.	DATE	DESCRIPTION
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**ISSUED TO NO. DATE**

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**APPLICATION NO.**

**APPLICANT/OWNER**  
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(516)943-4171  
EMERGENCY CONTACT:  
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**PROJECT TITLE**  
**PROPOSED 2-STORY FRAME WITH VINYL 1-FAMILY RESIDENCE**

165 CHURCH STREET  
FREEPORT, NY 11520  
SEC. 62 BLK 54 LOT 33

**DRAWING TITLE**  
**SECOND FL., ROOF FRAMING PLANS, CONST. DETAIL & NOTES**

<b>DRAWN/DESIGN BY:</b> MIGUEL RAMIREZ	<b>DRAWING NO.</b> <b>A-2</b>
<b>CHECKED BY:</b> FP	<b>PROJECT NO.</b> 5
<b>DATE:</b> JUNE 2021	<b>SCALE:</b> AS SHOWN
<b>SCALE:</b> AS SHOWN	<b>9</b>

RECEIVED  
JUN 20 2021

**FRANCISCO PEREZ, PE**  
Professional Engineer  
1503 91st. Street  
North Bergen, NJ 07047  
Phone: (201)908-9009  
E-mail: fperez.eng@gmail.com



CONSULTANT



WEST BABYLON, N.Y. 11704  
OFF: (631) 900-2445  
DEL: (631) 704-6601  
E-MAIL: MARDRAFTING@GMAIL.COM

**REVISIONS**

NO.	DATE	DESCRIPTION
1		
2		
3		

ISSUED TO	NO.	DATE

APPLICATION NO.

APPLICANT/OWNER

**PALVINDER KAUR**  
ADDRESS:  
**151 CHURCH STREET**  
**FREEPORT, N.Y. 11520**  
PHONE:  
**(516)943-4171**  
EMERGENCY CONTACT:  
NAME: MIGUEL RAMIREZ  
PHONE:  
**(631)704-6601**

PROJECT TITLE

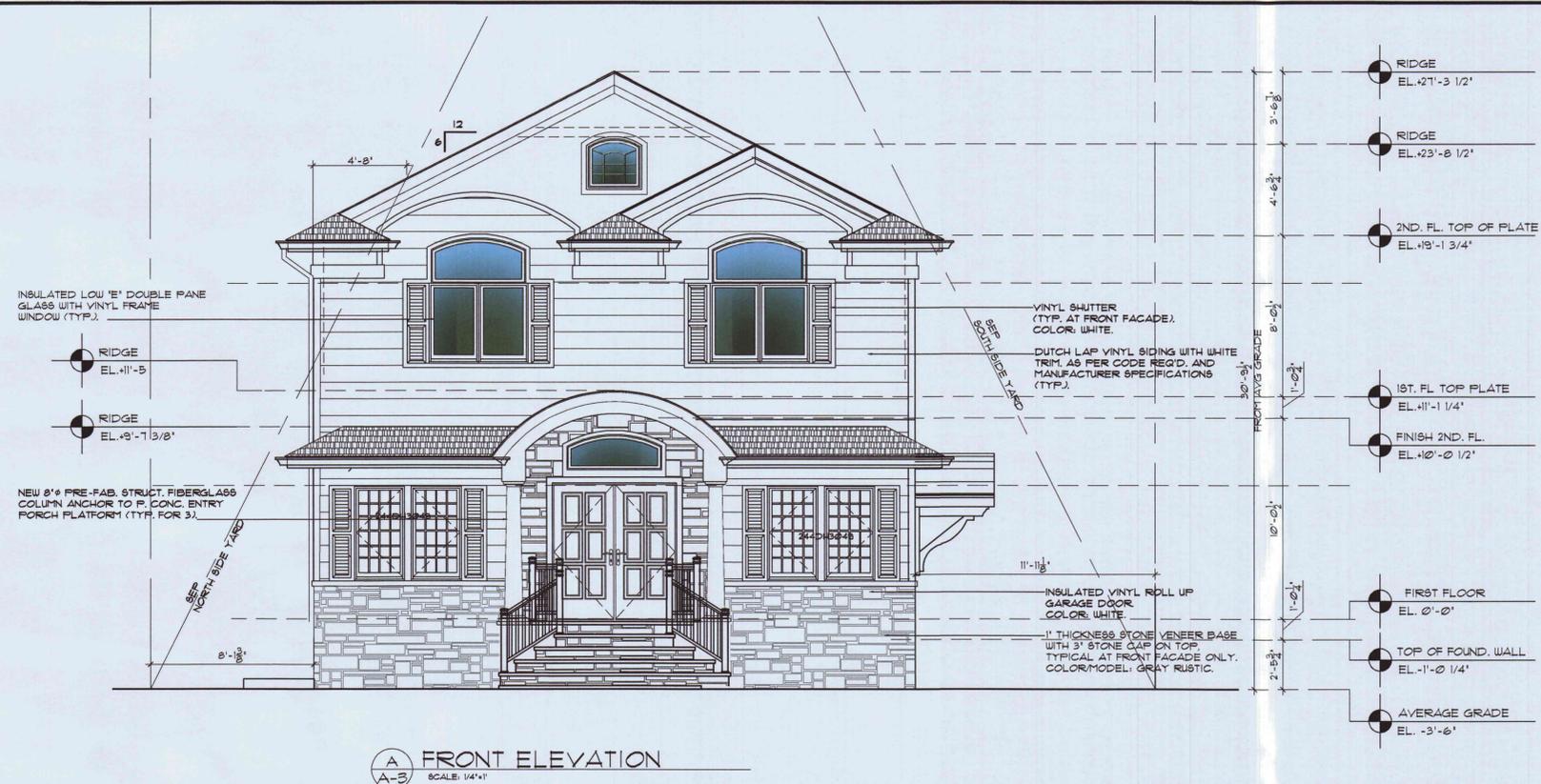
**PROPOSED 2-STORY**  
**FRAME WITH VINYL**  
**1-FAMILY RESIDENCE**

165 CHURCH STREET  
FREEPORT, NY 11520  
**SEC. 62 BLK 64 LOT 33**

DRAWING TITLE

**FRONT & RIGHT SIDE**  
**ELEVATIONS, DOOR AND**  
**WINDOW SCHEDULES**

DRAWN/DESIGN BY: MIGUEL RAMIREZ CHECKED BY: FPF DATE: JUN 2021 SCALE: AS SHOWN	DRAWING NO. <b>A-3</b> PROJECT NO. 6 202109 9
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**A FRONT ELEVATION**  
SCALE: 1/4"=1'

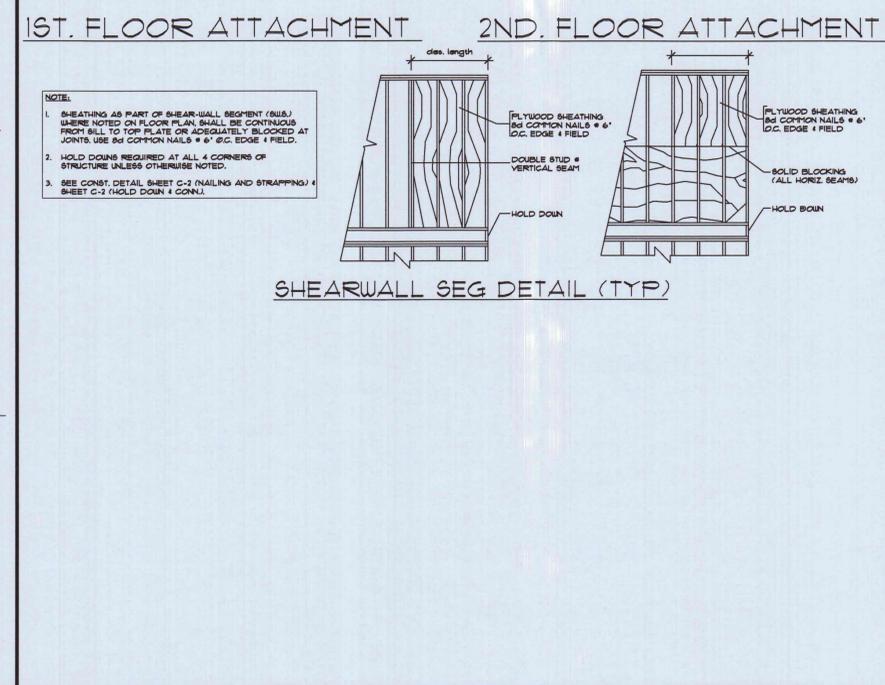
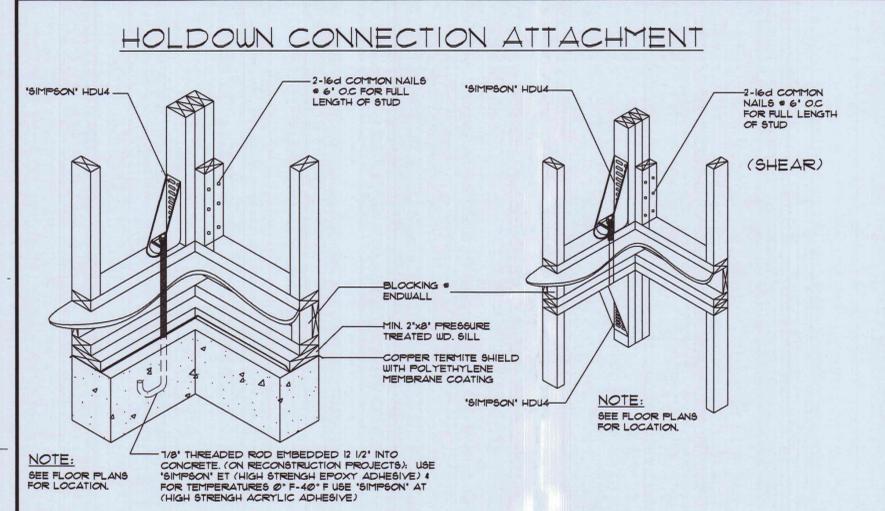
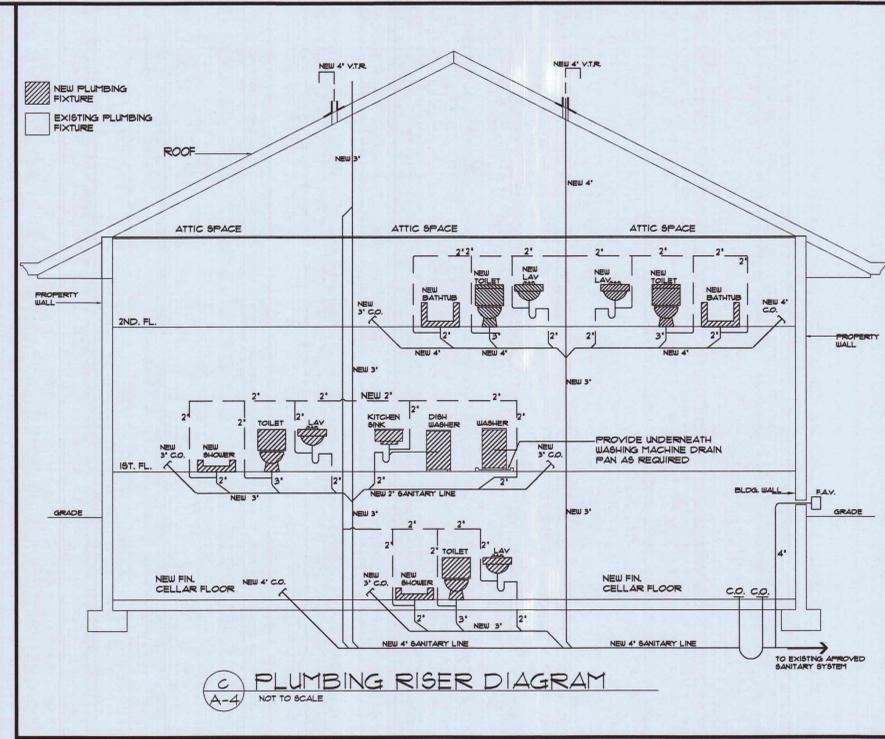
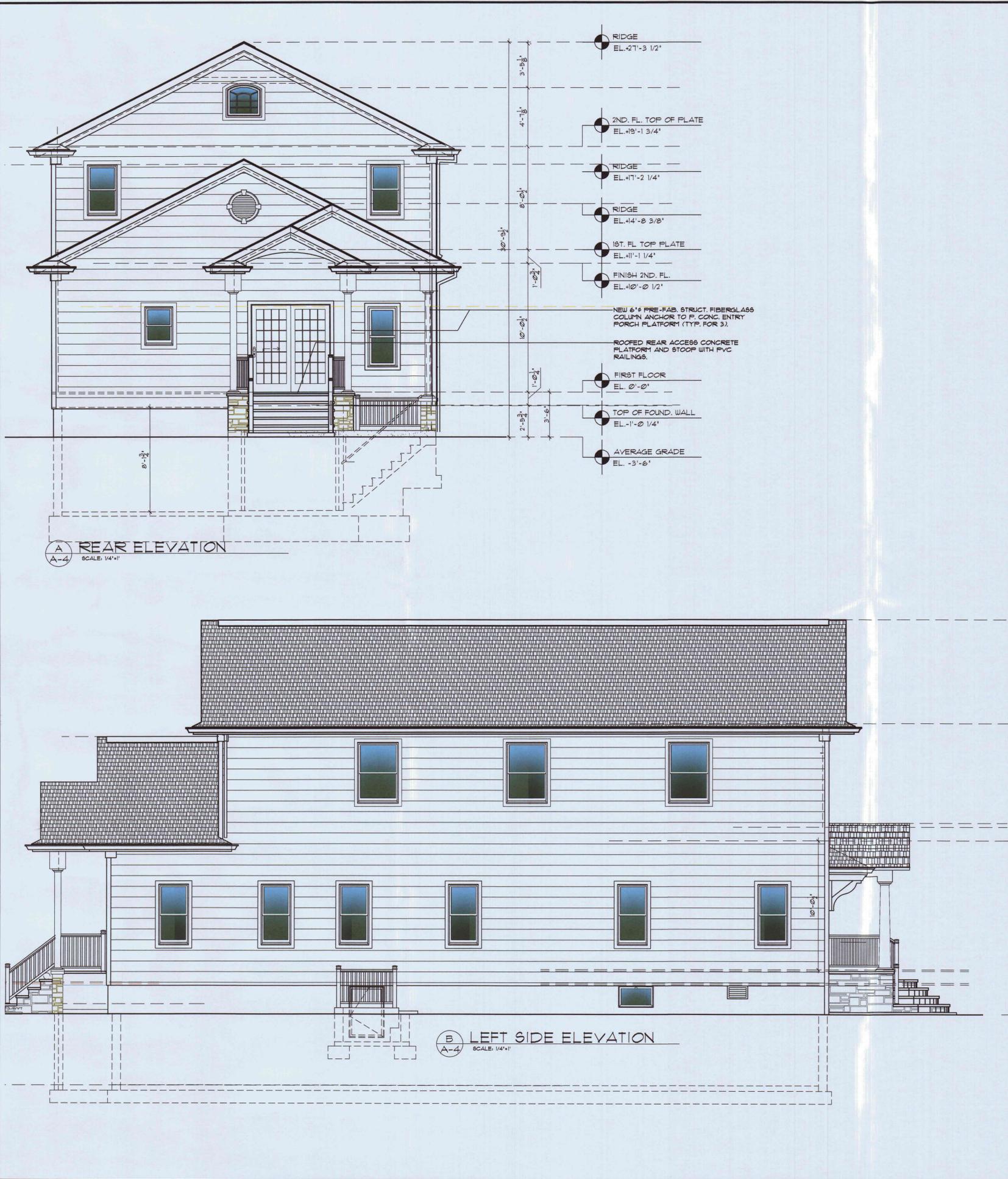


**B RIGHT SIDE ELEVATION**  
SCALE: 1/4"=1'

**INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT**  
(PER TABLE R402.1.1)

FENESTRATION U-FACTOR	SKYLIGHT <sup>(b)</sup> U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT <sup>(c)</sup> WALL R-VALUE	SLAB <sup>(d)</sup> R-VALUE & DEPTH	CRAWL SPACE <sup>(e)</sup> WALL R-VALUE
	0.55	0.40	49	20 or 13+5 <sup>h</sup>	8/13	19	10/13	10, 2 FT.	10/13

For SI 1 foot= 304.8mm.  
a. R-Values are minimums. U-Factors and SHGC are maximums. R-19 shall be permitted to be compressed into a 2x6 cavity.  
b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.  
c. The first R-value applies to continuous insulation, the second to framing cavity insulation; either insulation meets the requirement.  
d. R-5 shall be added to the required slab edge R-values for heated slabs.  
e. There are no SHGC requirements in the Marine zone.  
f. Or insulation sufficient to fill the framing cavity, R-19 minimum.  
g. "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percent or less of the exterior, insulation sheathing is not required where structural sheathing is used.  
If structural sheathing covers more than 25 percent of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.



**FRANCISCO PEREZ, PE**  
 Professional Engineer  
 1503 91st. Street  
 North Bergen, NJ 07047  
 Phone: (201)908-9009  
 E-mail: fperez.eng@gmail.com



**CONSULTANT**  
**MAR DRAFTING**  
 RESIDENTIAL & COMMERCIAL DESIGN  
 33 LAMONT PLACE  
 WEST BABYLON, N.Y. 11704  
 OFF: (631) 925-2445  
 DEL: (631) 704-6601  
 E-MAIL: MARDRAFTING@GMAIL.COM

**REVISIONS**

NO.	DATE	DESCRIPTION
1		
2		
3		

ISSUED TO	NO.	DATE

**APPLICATION NO.**

**APPLICANT/OWNER**  
**PALVINDER KAUR**  
 ADDRESS:  
**151 CHURCH STREET**  
**FREEPORT, N.Y. 11520**  
 PHONE:  
**(516)943-4171**  
 EMERGENCY CONTACT:  
 NAME: MIGUEL RAMIREZ  
 PHONE:  
**(631)704-6601**

**PROJECT TITLE**  
**PROPOSED 2-STORY**  
**FRAME WITH VINYL**  
**1-FAMILY RESIDENCE**

165 CHURCH STREET  
 FREEPORT, NY 11520  
 SEC. 62 BLK 54 LOT 33

**DRAWING TITLE**  
 REAR & LEFT SIDE  
 ELEVATIONS, DOOR AND  
 WINDOW SCHEDULES

<b>DRAWN/DESIGN BY:</b> MIGUEL RAMIREZ	<b>DRAWING NO.</b> <b>A-4</b>
<b>CHECKED BY:</b> FP	<b>PROJECT NO.</b> 7
<b>DATE:</b> JUN 2021	202103
<b>SCALE:</b> AS SHOWN	9

RECEIVED  
 JUN 20 2021  
 VILLAGE OF FREEPORT, NY

**FRANCISCO PEREZ, PE**  
Professional Engineer  
1503 91st Street  
North Bergen, NJ 07047  
Phone: (201)908-9009  
E-mail: fperez.eng@gmail.com



CONSULTANT



33 LAMONT PLACE  
WEST BABYLON, N.Y. 11704  
OFF: (631) 500-2445  
DEL: (631) 704-6601  
E-MAIL: MARDRAFTING@GMAIL.COM

**REVISIONS**

NO.	DATE	DESCRIPTION
1		
2		
3		

ISSUED TO	NO.	DATE

APPLICATION NO.

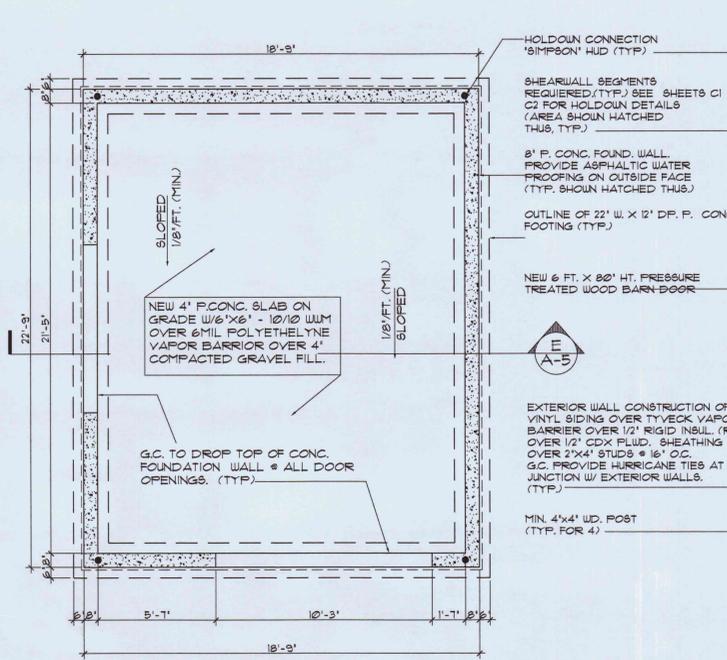
APPLICANT/OWNER  
**PALVINDER KAUR**  
ADDRESS:  
**151 CHURCH STREET**  
**FREEPORT, N.Y. 11520**  
PHONE:  
**(516)943-4171**  
EMERGENCY CONTACT:  
NAME: MIGUEL RAMIREZ  
PHONE:  
**(631)704-6601**

PROJECT TITLE  
**PROPOSED 2-STORY**  
**FRAME WITH VINYL**  
**1-FAMILY RESIDENCE**

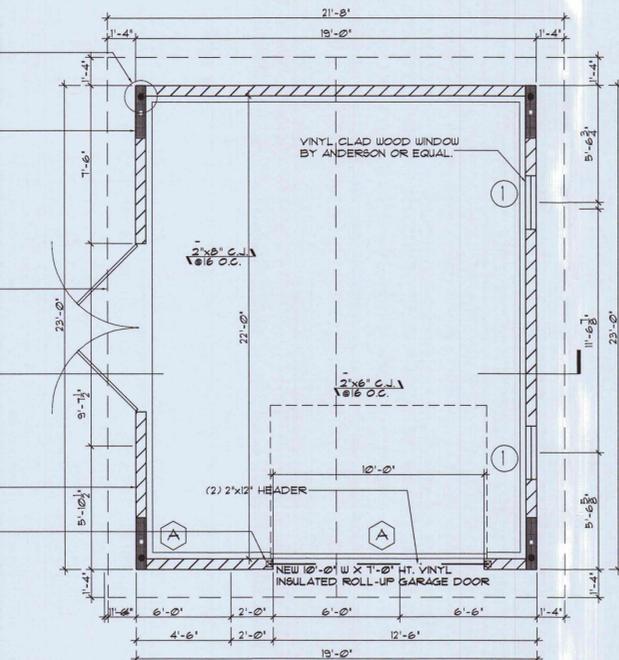
165 CHURCH STREET  
FREEPORT, NY 11520  
**SEC. 62 BLK 64 LOT 33**

DRAWING TITLE  
**CELLAR FOOTING**  
**FOUNDATION AND FIRST**  
**FLOOR PLANS**

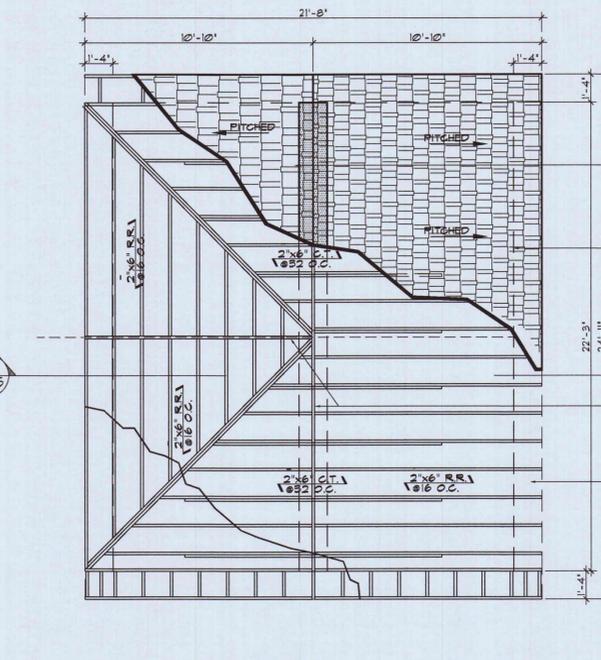
DRAWN/DESIGN BY: MIGUEL RAMIREZ	DRAWING NO. <b>G-1</b>
CHECKED BY: FP	PROJECT NO. 8
DATE: JUNE 2021	202106
SCALE: AS SHOWN	8



**A PROP. GARAGE FOUND/FLOOR PLAN**  
SCALE: 1/4"=1'  
(AREA: 426 SF.)



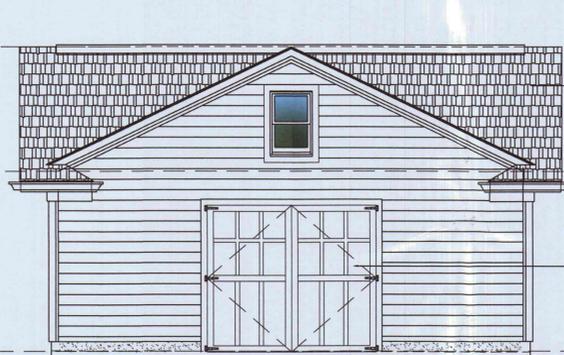
**B PROP. GARAGE FLOOR PLAN**  
SCALE: 1/4"=1'



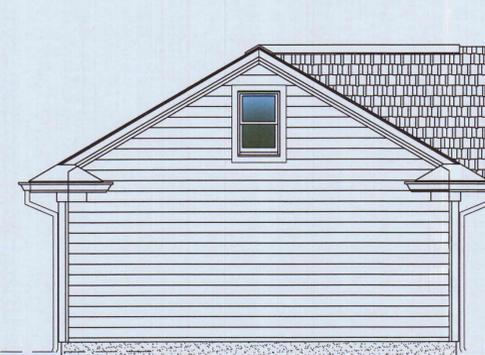
**C PROP. GARAGE ROOF FRAMING PLAN**  
SCALE: 1/4"=1'



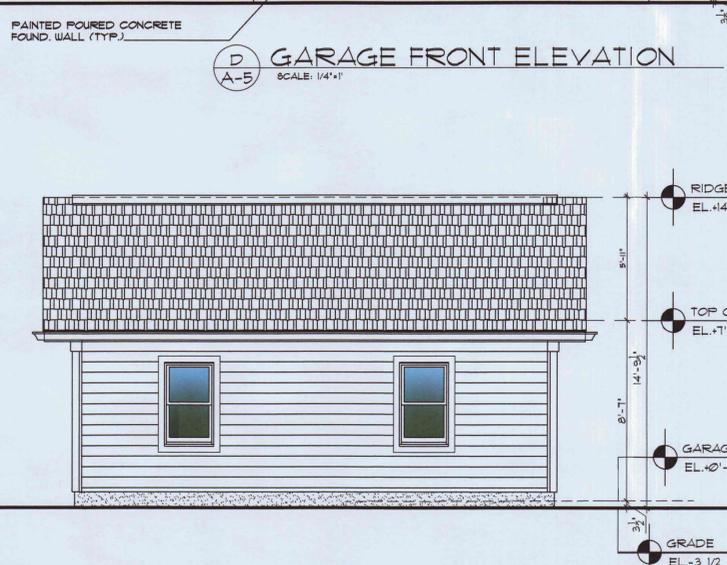
**D GARAGE FRONT ELEVATION**  
SCALE: 1/4"=1'



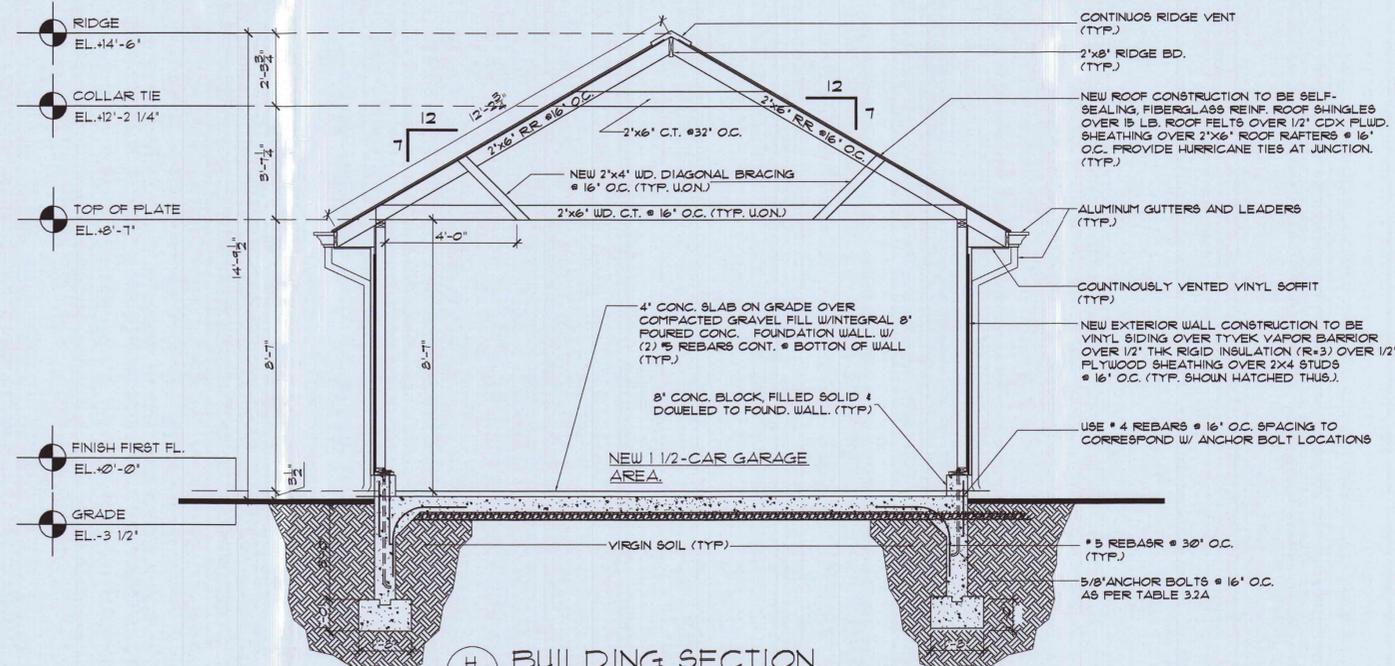
**E GARAGE LEFT SIDE ELEVATION**  
SCALE: 1/4"=1'



**F GARAGE REAR ELEVATION**  
SCALE: 1/4"=1'



**G GARAGE RIGHT SIDE ELEVATION**  
SCALE: 1/4"=1'



**H BUILDING SECTION**  
SCALE: 3/8"=1'-0"

RESOLUTION NO. 10467-22

WHEREAS, the NASSAU COUNTY PLANNING COMMISSION, at its regular meeting held on Feb. 17, 2022, reviewed as provided by law, the following zoning matters:

<u>MUNICIPALITY</u>	<u>LOCAL CASE NO.</u>	<u>APPLICANT</u>	<u>SEC.</u>	<u>BLK.</u>	<u>LOT(S)</u>
Freeport	2022-5	Cary Commons, LLC	54	319	96-100,102-104 226,227
Valley Stream	4071/4072	Centro Cristiano El Elyon Church	37	128	441
Hempstead Village	2060	Stel, Inc.	34	358	9
TOB Plainview (with letter)	P-2-2022	Manetto Hills Associates 116, LLC	12	381	64

THEREFORE, BE IT RESOLVED, that the NASSAU COUNTY PLANNING COMMISSION recommends that the referring agency take action as it deems appropriate, the Commission having no modifications

Pursuant to Section 239-m of the General Municipal Law, the referring municipality shall file a report indicating its decision with the NASSAU COUNTY PLANNING COMMISSION within thirty (30) days of final action.

The resolution herein was, in accordance with all applicable laws, duly considered moved and adopted by the following vote:

Marty Glennon, Chair- aye  
Jeffrey Greenfield, 1<sup>st</sup> Vice Chair - aye  
Leonard Shapiro, 2<sup>nd</sup> Vice Chair- aye  
Neal Lewis, 3<sup>rd</sup> Vice Chair - aye  
Jerome Blue - aye  
Ronald Ellerbe - aye  
Rick Shaper - aye  
Lisa Warren - aye

The Chair declared the resolution duly adopted.

Resolution of the NASSAU COUNTY PLANNING COMMISSION adopted: 2/17/22



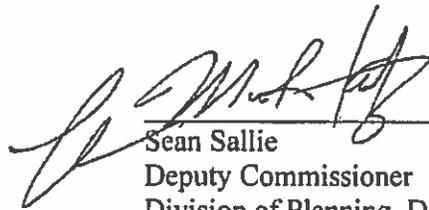
STATE OF NEW YORK    )  
  ) SS:  
COUNTY OF NASSAU    )

I, Sean Sallie, Deputy Commissioner of the NASSAU COUNTY DEPARTMENT OF PUBLIC WORKS, DIVISION OF PLANNING, do hereby certify that I have compared the proceeding with the original resolution passed by the PLANNING COMMISSION of Nassau County, New York on 2/17/22

on file in my office and recorded in the record of proceeding of the PLANNING COMMISSION of the County of Nassau and do certify the same to be a correct transcript therefrom and the whole said original.

I further certify that the Resolution herein above-mentioned was passed by the concurring affirmative vote of the PLANNING COMMISSION of the County of Nassau.

IN WITNESS WHEREOF, I have hereunto set my hand,  
This 17<sup>th</sup> day of Feb.  
In the year two thousand and twenty-two

  
\_\_\_\_\_  
Sean Sallie  
Deputy Commissioner  
Division of Planning, Department of Public Works



JESSICA A. LEIS, ESQ.  
JLEIS@FORCHELLILAW.COM

FORCHELLI  
DEEGAN  
TERRANA

RECEIVED

2022 JAN 28 A 12:30

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

January 24, 2022

Inc. Village of Freeport  
Zoning Board of Appeals  
46 North Ocean Avenue  
Freeport, New York 11520

Att: Robin Cantelli, Secretary to ZBA

**RE: Cary Commons LLC  
128 Cary Place, Freeport, NY 11520  
Section 54, Block 319, Lots 96-100, 102-104, & 226-227**

Dear Ms. Cantelli:

Enclosed for filing with the Zoning Board of Appeals are the following:

- 1) Twelve (12) copies of the Letter of Denial;
- 2) Two (2) original ZBA Applications, plus ten (10) copies;
- 3) Twelve (12) copies of the Legal Addendum & Certificate of Occupancy;
- 4) Twelve (12) copies of the Department of Buildings Recommendation and the Short Environmental Assessment Form;
- 5) Twelve (12) copies of the Application for Erection of Buildings;
- 6) Twelve (12) sets of photographs; and
- 7) One (1) original signed and sealed, plus eleven (11) copies of the Proposed Demising Plan, Architectural Survey of Parcel 1, Architectural Survey of Parcel 2, and Architectural Survey of Parcel 3; and
- 8) Twelve (12) Proposed Subdivision Initial Schematic Zoning Study.

Also enclosed, please find a check, addressed to the Village of Freeport in the amount of \$875.00, as and for the filing fee. Kindly place this matter on the Board's next available agenda and hearing calendar.

Should you have any questions or comments regarding this matter, please do not hesitate to contact the undersigned. Thank you for your assistance.

Very truly yours,

FORCHELLI DEEGAN TERRANA LLP

By: Jessica A. Leis  
JESSICA A. LEIS

Enc.



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

JANUARY 4, 2022

**AMENDED LETTER OF DENIAL**

Cary Commons, LLC  
Richard Rauff  
24 Stymus Avenue  
Bethpage, NY 11715

RE: **128 Cary Place, Freeport, NY**  
**Zoning District – Marine Industrial**  
**Sec. 54 Blk. 319 Lot 96-100,102-104, 226&227**  
**Building Permit Application #20212014**  
**Description– Use variance – Use marine industrial property as a residential use**

RECEIVED  
2022 JAN 28 A 12: 30  
VILLAGE OF FREEPORT, NY  
CLERK'S OFFICE

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

**Village Ordinance §210-6A.** No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

**Village Ordinance §210-117B. – Prohibited uses.** The application submitted looks to use the property as a residential use. Residential use is prohibited in this zone. The application will need a variance to use the property as a residential use.

Please be further advised that if you intend to appeal this decision, you must make application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. For your convenience, enclosed please find an application, together with an instruction sheet for filing, which includes the current fee schedule. The completed applications, together with the required documentation and fee, are to be submitted to the Village Clerk's Office.

**RE: 128 Cary Place, Freeport, NY**

If you should have any questions or require additional information with reference to the Zoning Board Application, please contact the Village Clerk's Office at 377-2300. In the event that you do not make application within the allotted sixty (60) days, this Letter of Denial will expire and the Building Permit Application in conjunction with same will be cancelled.

Very truly yours,

*Jonathan Smith*

Jonathan Smith  
Building Inspector

/cd  
encl.  
c: Village Clerk

SITE PLAN APPROVAL NEEDED

Yes: \_\_\_\_\_ No  X

RECEIVED  
2022 JAN 28 A 12:30  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



SEC. 54 BLK. 319 LOT. 96-100  
102-104  
226-227

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter  
Of  
the Application of

Cary Commons LLC

To The Board of Appeals of the Village of Freeport, New York

Index No. \_\_\_\_\_

COMPLY WITH ORIGINAL NOTES

The application of Cary Commons LLC

respectfully states and alleges:

Strike out inapplicable phrase

1. That the applicant (~~resides at~~) (has its principal office for the conducting of its business at) 24 Stymus Avenue, Bethpage, NY 11714

State whether applicant is owner, lessee, or has option or contract. If other than owner, state briefly terms of agreement.

2. That the premises affected by this application is located at 128 Cary Place, Freeport Land Map of Nassau County  
Sec. 54 Blk. 319 Lot(s) 96-100, 102-104 & 226-227  
and that the interest which the applicant has in the property concerned is that of owner of the  
subject property.

Obtain reason for denial from Department of Buildings

3. That (the applicant) (the applicant's duly authorized Attorney) on or about the 2nd day of February 20 21, filed in the office of the Department of Buildings of the Village of Freeport, New York, an application for a Building Permit. Documents filed with said application were as follows:  
Application for Erection of Buildings or Alterations (3 separate forms); Short Environmental Review Form;  
Proposed Demising Plan; and 3 Architectural Surveys for proposed Parcels 1, 2 and 3, prepared by Barry M. Fahrer.

Describe by construction and number of stories. If none, so state.

4. That on or about the 4th day of January, 20 22, the Department of Buildings denied said application; upon information and belief that the reason for said denial was as follows: prohibited uses in that residential uses are being proposed and the Marine Industrial District prohibits said use. A variance is needed to use the property for residential uses.

State nature of use of property. If a business, give brief description.

5. That the nature of the improvements now upon said premises is as follows: Currently improved with one-story ranch dwelling (to remain), and a garage and containers to be removed.

Describe fully and clearly the use desired.

6. That said premises are now being used as follows: unoccupied residential dwelling.

Strike out whichever word is not applicable. Follow language in ordinance.

7. That the applicant seeks authority to make use of said premises as follows: change of use to use the property as a residential use for future potential subdivision.

Refer where possible to paragraphs and section by numbers.

8. Upon information and belief that a (~~permit~~) (variance) for such use may be granted by this Board by virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the State of New York Village Ordinance Sections 210-6A and 210-117B.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the application involves a subdivision of property, describe the existing property:  
See Legal Addendum which is made a part hereof.

RECEIVED  
2022 JUN 28 A 12:30  
VILLAGE OF FREEPORT, NY

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

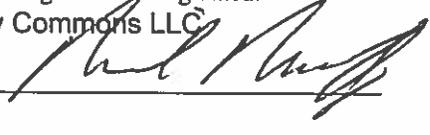
10. That the grounds for this application are as follows: See Legal Addendum which is made a part hereof.

11. That any deed restrictions running with the land prohibiting the desired use are as follows: Not Applicable.

12. That (the applicant has made no previous application to this Board for the authority sought herein) ~~(upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous proceeding before this Board).~~

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: January 21, 2022

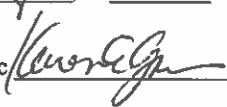
Cary Commons LLC  


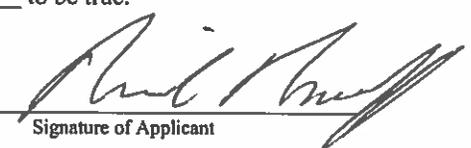
BY: Richard Rauff  
ITS: Member

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York )  
County of Nassau ) ss:

The applicant Richard Rauff, Member of Cary Commons LLC named in the foregoing application, being duly sworn, depose and say that I Forchelli Deegan Terrana LLP read the foregoing application subscribed by \_\_\_\_\_ and know the contents thereof; and that the same is true to my own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters I \_\_\_\_\_ believe them to be true.

Sworn to before me this 21 day  
of January, 2022  
Notary Public 

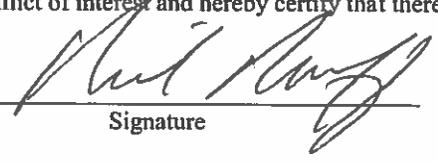
  
Signature of Applicant

KAREN E GAVIN  
Notary Public-State of New York  
No. 01GA4718805  
Qualified in Nassau County  
Commission Expires Oct. 31, 2022

**Notice  
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

January 21, 2022  
Date Year

  
Signature

**Affidavit of Owner**

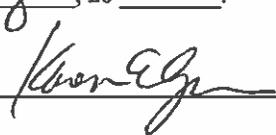
To be completed only if the owner is not the applicant.

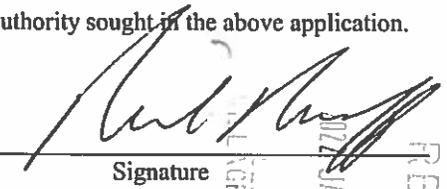
State of New York )  
County of Nassau ) ss:

I Richard Rauff being duly sworn, depose and say:

That he/she (the owner of \_\_\_\_\_) (is the Member) of Cary Commons LLC the property concerned is correct to the best of the knowledge of deponent Richard Rauff.)

That the owner Cary Commons LLC consents to the granting of the authority sought in the above application.

Sworn to before me this 21 day  
of January, 2022  
Notary Public 

  
Signature

RECEIVED  
JAN 28 A 12:30  
CLERK'S OFFICE  
PLANNING DEPARTMENT  
PLANNING OFFICE  
PLANNING DEPARTMENT  
PLANNING OFFICE  
PLANNING DEPARTMENT

**Legal Addendum to Application to Board of Appeals of the Village of Freeport  
Application of Cary Commons LLC  
Premises: 128 Cary Place, Freeport, New York**

The premises is located within the Village's Marine Industrial District. The applicant is seeking a change of use of the property, to utilize it as residential uses in connection with a future potential subdivision.

The existing parcel is a 17,390.1 square foot property comprised of ten grouped tax lots. The property is improved with a one-story ranch dwelling, a garage and storage containers, all of which are presently unoccupied.

Should this application for a use variance be approved, the applicant would seek to subdivide the property into three residential lots, with Parcel 1 totaling 5,948.6 SF, Parcel 2 totaling 5,910.6 SF and Parcel 3 totaling 5,530.9 SF. The existing one-story dwelling would remain on Parcel 2, and the garage and storage containers would be removed. Parcels 1 and 3 would also be developed with residential uses.

In order to apply for a subdivision of the property and create three residential lots, a variance of Village Code Section 210-117.B is required, which provides that any use not specifically permitted shall be prohibited.

Village Code Section 210-116.K permits residential uses in two delineated instances: (1) apartments in connection with a commercial or mercantile building, or (2) residences that existed at the time of the adoption of Chapter 210, which are ultimately deemed to be conforming.

The Certificate of Occupancy (attached) for the existing dwelling on proposed Parcel 2 is dated July 28, 1952, and Chapter 210 of the Village's Code was adopted on November 3, 1952, so the existing dwelling to be maintained is a conforming use, pursuant to Village Code Section 210-116.K(2). We are now seeking the variance to maintain that residential use on the entire parcel, which we would later seek to subdivide into three lots.

When comparing the proposed Parcel 2 to the more restrictive dimensional and bulk requirements provided in Village Code Article V-Residence A Districts, the proposed parcel and existing dwelling thereon is compliant with lot area, street frontage, lot width, lot coverage, minimum floor area, maximum floor area ratio, height, front yard depth, rear yard depth, and side yards width. Further, regarding the proposed Parcel 1 and Parcel 3, the zoning charts on the Architectural Surveys demonstrate that each proposed lot is compliant with the lot area, street frontage and lot width requirements of Village Code Article V-Residence A Districts. A Schematic Zoning Study was also prepared by Russell C. Jordan Architect, which shows that the building envelopes for proposed Parcel 1 and Parcel 3 can accommodate dwellings that are compliant with lot coverage, minimum floor area, maximum floor area ratio, front yard depth, rear yard depth, and side yards width.

Through testimony at the public hearing, the applicant will demonstrate that the proposed residential use is an overall improvement of the site, and in conformance with Village Law Section 7-712-b, will preserve and protect the character of the neighborhood and the health, safety and welfare of the community.

# Incorporated Village of Freeport

## DEPARTMENT OF BUILDINGS

CERTIFICATE OF OCCUPANCY NO. 1744

Date July 28, 1952

THIS CERTIFIES that the building located at N/S Gary Place 401.971  
W/O West End Avenue known as 128 Gary Place  
 erected  
~~under~~ under a Permit No. 352 Application No. 362

Dated October 2, 1951, conforms substantially to the approved plans on file with this office and any approved amendments thereto, and to the requirements of the laws governing building construction and zoning ordinance and to the variance, if any, granted by the Board of Appeals, if and as hereinafter noted, applicable to a building of its class and kind; and

CERTIFIES FURTHER that the building is of Frame  
 construction within the meaning of the building code and may be used and occupied as a  
Residence building as hereinafter qualified, in a Industrial  
 district under zoning ordinance of the Village of Freeport subject to all the privileges, requirements, limitations and conditions by law or as hereinafter specified.

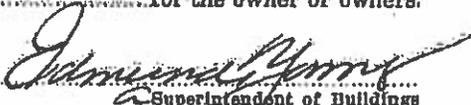
Story	Live Loads Lbs. per Sq. Ft.	Persons Accommodated			USE
		Male	Female	Total	
one	40			1 family	Residence and detached garage

VARIANCE granted by the Board of Appeals by a resolution adopted

none

This certificate is issued to Kenneth Bedall

Address 128 Gary Place, Freeport for the owner or owners.

  
 Superintendent of Buildings

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

     The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. #20212014

Location: 128 Cary Place, Freeport, New York

Applicant: Richard Rauff, Cary Commons, LLC

Description: Use variance – Use marine industrial property as a residential use

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

Dated: January 4, 2022 - Amended

*Sergio A. Mauras*  
Sergio A. Mauras  
Superintendent of Buildings

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**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

## Short Environmental Assessment Form

### Part 1 - Project Information

#### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

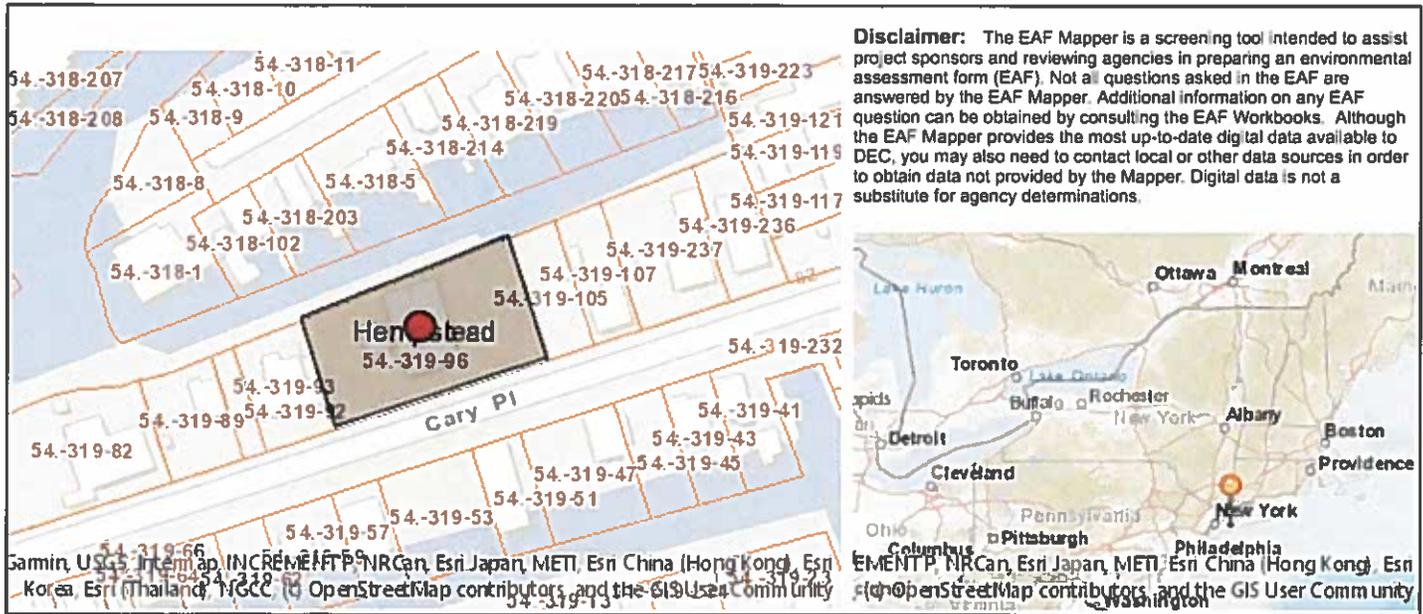
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FREEPORT, NY

Part 1 – Project and Sponsor Information			
Name of Action or Project: Subdivision of 128 Cary Place			
Project Location (describe, and attach a location map): 128 Cary Place, Freeport, NY 11520			
Brief Description of Proposed Action: Change of use to use property as a residential use for future potential subdivision.			
Name of Applicant or Sponsor: Richard Rauff, c/o Forchelli Deegan Terrana		Telephone: 516-248-1700 E-Mail: JLeis@Forchellilaw.com	
Address: 333 Earle Ovington Blvd, Suite 1010			
City/PO: Uniondale		State: New York	Zip Code: 11553
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Nassau County Planning Commission-Subdivision Approval			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ .4 acres b. Total acreage to be physically disturbed? _____ 0 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ .4 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a. A permitted use under the zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

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Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	Yes

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 VILLAGE OF FINEPORT, NY

Project: 2022-5

Date: 3/24/22

**Short Environmental Assessment Form  
Part 2 - Impact Assessment**

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project: 2022-5  
Date: 3/24/22

### Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Freeport Zoning Board

Name of Lead Agency

Ms. Rosa Rhoden

Print or Type Name of Responsible Officer in Lead Agency

Signature of Responsible Officer in Lead Agency

3/24/22

Date

Chairperson

Title of Responsible Officer

Signature of Preparer (if different from Responsible Officer)

PRINT FORM

# DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y. APPLICATION NO. \_\_\_\_\_

Filing Date \_\_\_\_\_

## Application for Erection of Buildings or Alterations

**IMPORTANT – Applicant to complete all items in sections: I, II, III, IV, V**

<b>I. LOCATION OF BUILDING</b>	AT (LOCATION) <u>128 Cary Place</u>	(No.)	(Street)	ZONING DISTRICT <u>Marine Industrial</u>
	BETWEEN <u>331.97' west of West End Avenue</u>			
	(Cross Street)	AND	(Cross Street)	
	SECTION <u>54</u>	BLOCK <u>319</u>	LOT <u>226 &amp; 227</u>	APPROX. LOT SIZE <u>180</u> x <u>96</u> LOT AREA <u>17390.1 sf</u>

**II. TYPE AND COST OF BUILDING – All applicants complete Parts A - D.**

<p><b>A. TYPE OF IMPROVEMENT</b></p> <p>1     New building</p> <p>2     Addition-Alteration (If residential, enter number of new housing units added. If non-state name _____)</p> <p>3     Swimming Pool</p> <p>4     Repair (replacement)</p> <p>5     Sulkhead (New, Repair)</p> <p>6     Fence</p> <p>7     Moving (relocation)</p> <p>* Subdivision of land</p>	<p><b>B. PROPOSED OR EXISTING USE</b></p> <table style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> <p><b>RESIDENTIAL</b></p> <p>11 <input checked="" type="checkbox"/> One Family</p> <p>12     Two families</p> <p>13     Apartment - Enter No. of Units _____</p> <p>14     Transient hotel, motel, or dormitory - Enter No. of Units _____</p> <p>15     Garage or Accessory Structure</p> <p>16     Other - Specify _____</p> </td> <td style="width: 50%; vertical-align: top;"> <p><b>NON RESIDENTIAL - Complete Part "E"</b></p> <p>17     Industrial</p> <p>18     Office, bank, professional</p> <p>19     Stores, mercantile</p> <p>20     Church, other religious</p> <p>21     Hospital, institutional</p> <p>22     Other - Specify _____</p> </td> </tr> </table>	<p><b>RESIDENTIAL</b></p> <p>11 <input checked="" type="checkbox"/> One Family</p> <p>12     Two families</p> <p>13     Apartment - Enter No. of Units _____</p> <p>14     Transient hotel, motel, or dormitory - Enter No. of Units _____</p> <p>15     Garage or Accessory Structure</p> <p>16     Other - Specify _____</p>	<p><b>NON RESIDENTIAL - Complete Part "E"</b></p> <p>17     Industrial</p> <p>18     Office, bank, professional</p> <p>19     Stores, mercantile</p> <p>20     Church, other religious</p> <p>21     Hospital, institutional</p> <p>22     Other - Specify _____</p>
<p><b>RESIDENTIAL</b></p> <p>11 <input checked="" type="checkbox"/> One Family</p> <p>12     Two families</p> <p>13     Apartment - Enter No. of Units _____</p> <p>14     Transient hotel, motel, or dormitory - Enter No. of Units _____</p> <p>15     Garage or Accessory Structure</p> <p>16     Other - Specify _____</p>	<p><b>NON RESIDENTIAL - Complete Part "E"</b></p> <p>17     Industrial</p> <p>18     Office, bank, professional</p> <p>19     Stores, mercantile</p> <p>20     Church, other religious</p> <p>21     Hospital, institutional</p> <p>22     Other - Specify _____</p>		

<p><b>C. COST</b></p> <p>1D TOTAL COST OF IMPROVEMENT \$ <u>N/A</u></p>	<p><b>D. DESCRIPTION OF PROJECT</b></p> <p><u>Change of use to use property as a residential use for future potential subdivision. Use Variance Required.</u></p>
---	---

**III. IDENTIFICATION – To be completed by all applicants**

NAME	MAILING ADDRESS – Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee Richard Rauff Cary Commons LLC	24 Styms Avenue Bethpage, NY 11714	516-316-2419
2. Contractor		
3. Architect or Engineer		

**IV. OWNER - CONTRACTOR STATEMENT**

Building permit is issued subject to the provisions of Section 57 of the Workmen's Compensation Law.

Workmen's Compensation Certificate No. \_\_\_\_\_ Company \_\_\_\_\_ Exp. Date \_\_\_\_\_

Attorney for Owner:  
Contractor or Owner Forchelli Deegan Terrana LLP  
(Print)

Address 333 Earle Ovington Blvd., Suite 1010  
Uniondale, New York 11553

Phone 516-248-1700

State of New York  
County of Nassau  
N/A

\_\_\_\_\_, being duly sworn, says that \_\_\_\_\_ is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of \_\_\_\_\_ knowledge and belief and agrees to conform to all applicable laws of this jurisdiction.  
(He or She) (His or Her)

Sworn to before me this \_\_\_\_\_ day  
of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
Notary Public, County, N.Y.

*James A. [Signature]*  
\_\_\_\_\_  
Attorney for Owner

**V. FLOOD ZONE**

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?  
YES  NO \_\_\_\_\_  
IF YES, WHICH ZONE? AE

IS PROJECT TO REPAIR FLOOD DAMAGE?  
YES \_\_\_\_\_ NO

**PROJECT DESCRIPTION**

Total/First Floor Square Feet

Upper Floor Square Feet

# of Fixtures

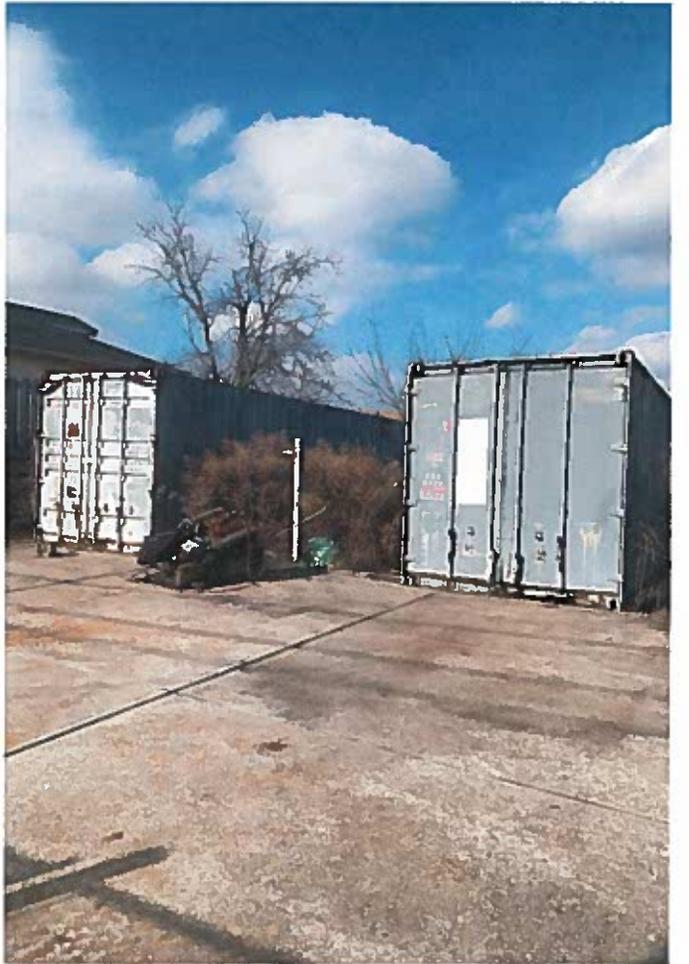
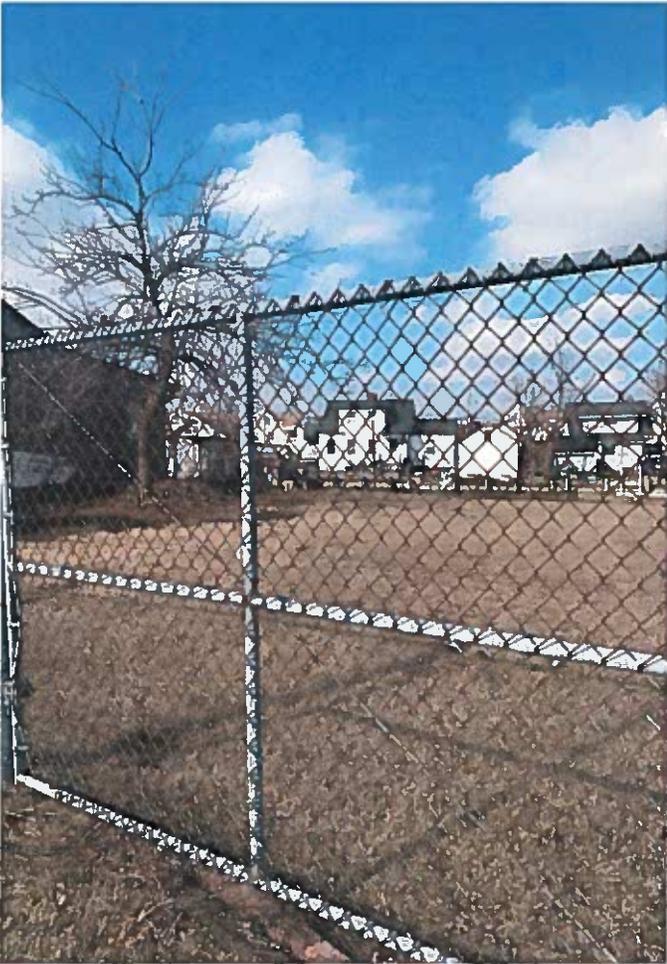
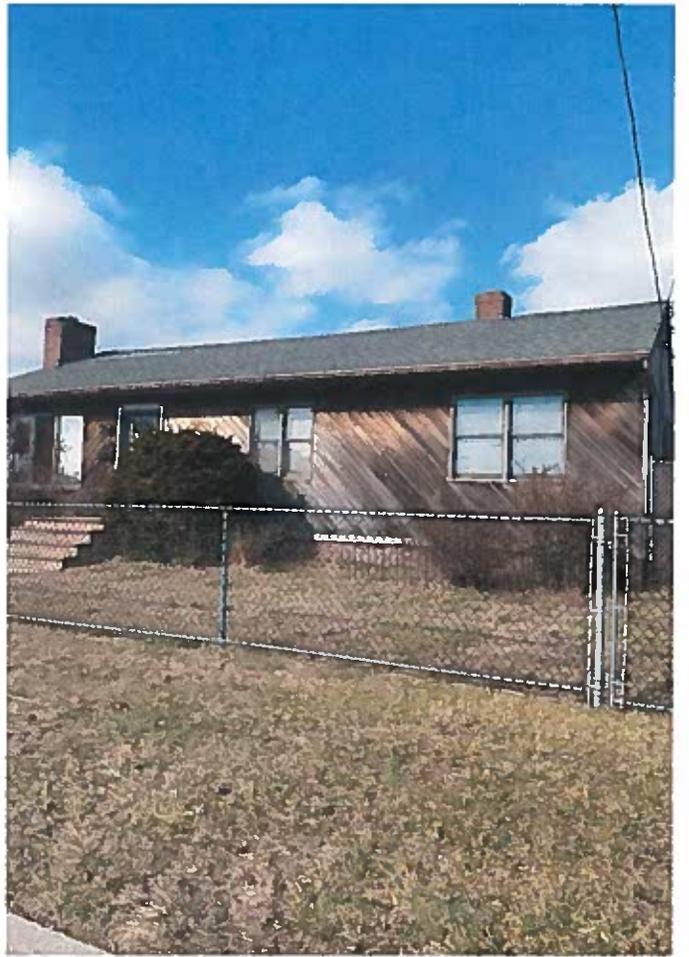
# of Floors

Occup. Type

**VI. VALIDATION (Official Use Only)**

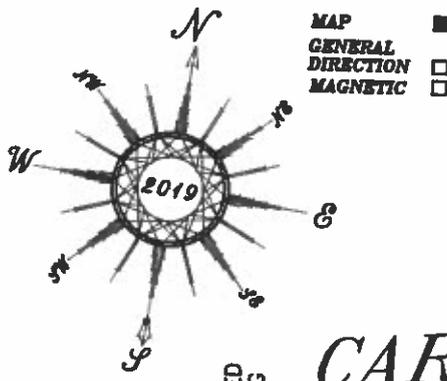
<p>Building Permit Number _____</p> <p>Building Permit Issued _____</p> <p>Building Permit Fee \$ _____</p>	<p>Approved by: _____</p> <p>Superintendent of Buildings</p>
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 FREEPORT, NY

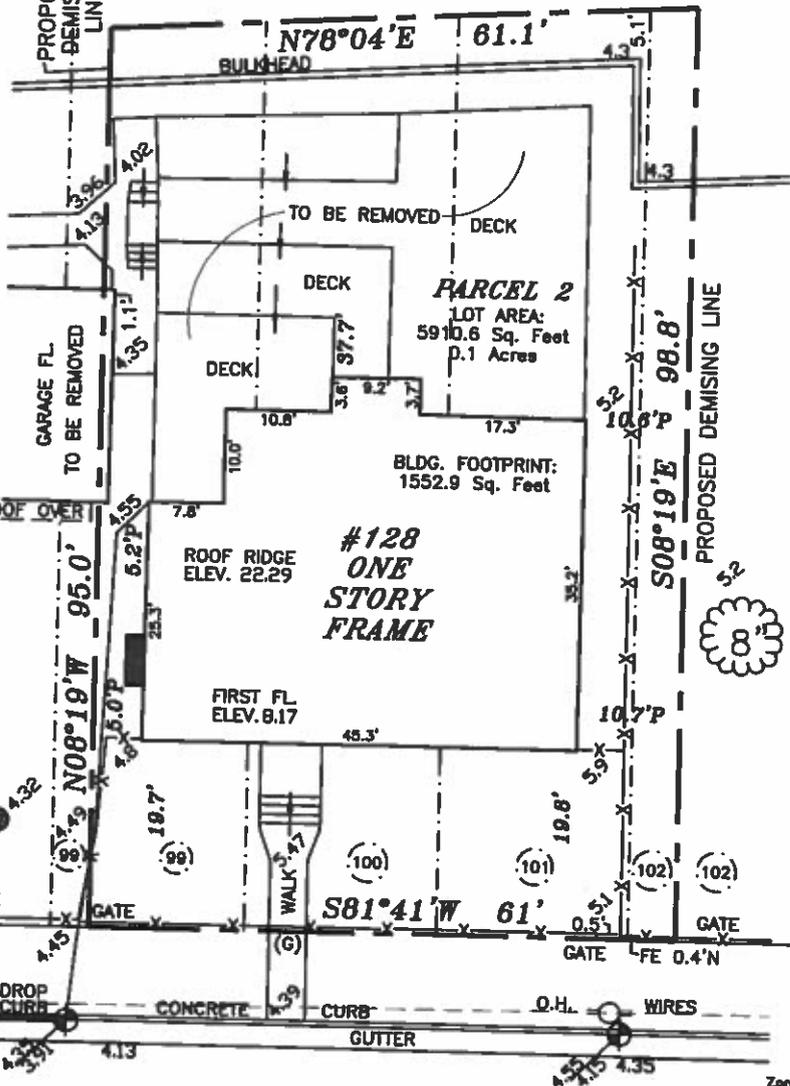


# ARCHITECTURAL SURVEY

10 5 0 10 20  
SCALE 1"=20'



## CARY CANAL



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 TOWN'S OFFICE  
 VILLAGE OF FREEPORT, NY  
 BLOCK 319  
 WEST END AVENUE

PROPERTY LINE A.O. = AWNING OVER O.H. = OVER HEAD A.W. = AREA WAY FENCES: METAL X IRON WOOD POST & RAIL VINYL

### LEGEND

- WOOD UTILITY POLE ———— ○
- UTILITY/LIGHT POLE ———— ○
- TREE WITH DIAMETER ———— ○
- EXISTING GRADE ————

## CARY PLACE

AVERAGE 200' FRONT YARD SETBACK 14.4'

ELEVATIONS SHOWN ON THIS PLAT HAVE BEEN DEVELOPED USING A NETWORKED GPS SYSTEM AND ARE CONSISTENT WITH NAVD 1988

NOTE: 5.0'P = PROPOSED FINAL BUILDING OFFSET DIMENSIONS & ELEVATIONS AS PER CLIENTS REQUEST AND SHOULD NOT BE EXCEEDED.

CALL UFPO TWO WORKING DAYS BEFORE DIGGING! 1-800-962-7982 OR 811  
NON-MEMBERS MUST BE CONTACTED SEPARATELY.



EASEMENTS, IF ANY, NOT SHOWN.

UNLESS OTHERWISE NOTED, PHYSICAL MONUMENTS HAVE NOT BEEN SET.

This survey is intended to be used for Building Department purposes only and is subject to whatever a more complete title search may reveal. Use of this survey for any other purpose may result in problems for which the surveyor will not be liable. Unauthorized alteration to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law. Only copies from the original of this survey marked with an original of the land surveyor's embossed seal shall be considered to be valid true copies. Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveyors adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run only to the person for whom the survey was prepared, and on his behalf to the title company, and to the assignees of the lending institution. Certification was prepared, and on his behalf to the title company.

Zoning Chart (Parcel 2)  
Village of Freeport - Residence A District

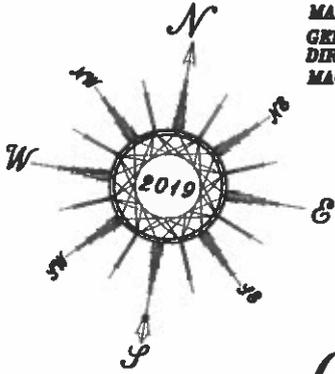
	Required	Provided
Lot Area	5,000 S.F.	5,910.8 S.F.
Street Frontage	50 feet	61 feet
Lot Width	50 feet	61 feet
Lot Coverage	30 %	28.3%
Minimum Floor Area	800 S.F.	1,552.9 S.F.
Height	35 feet or 3 stories	22.29 feet and 1-story
Front Yard Depth	20 feet	19.7 feet
Rear Yard Depth	20 feet	37.7
Side Yard Width	5 feet Aggregate: 15.25 feet	5 feet; 10.6 feet Aggregate: 15.25 feet

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# ARCHITECTURAL SURVEY

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SCALE 1"=20'

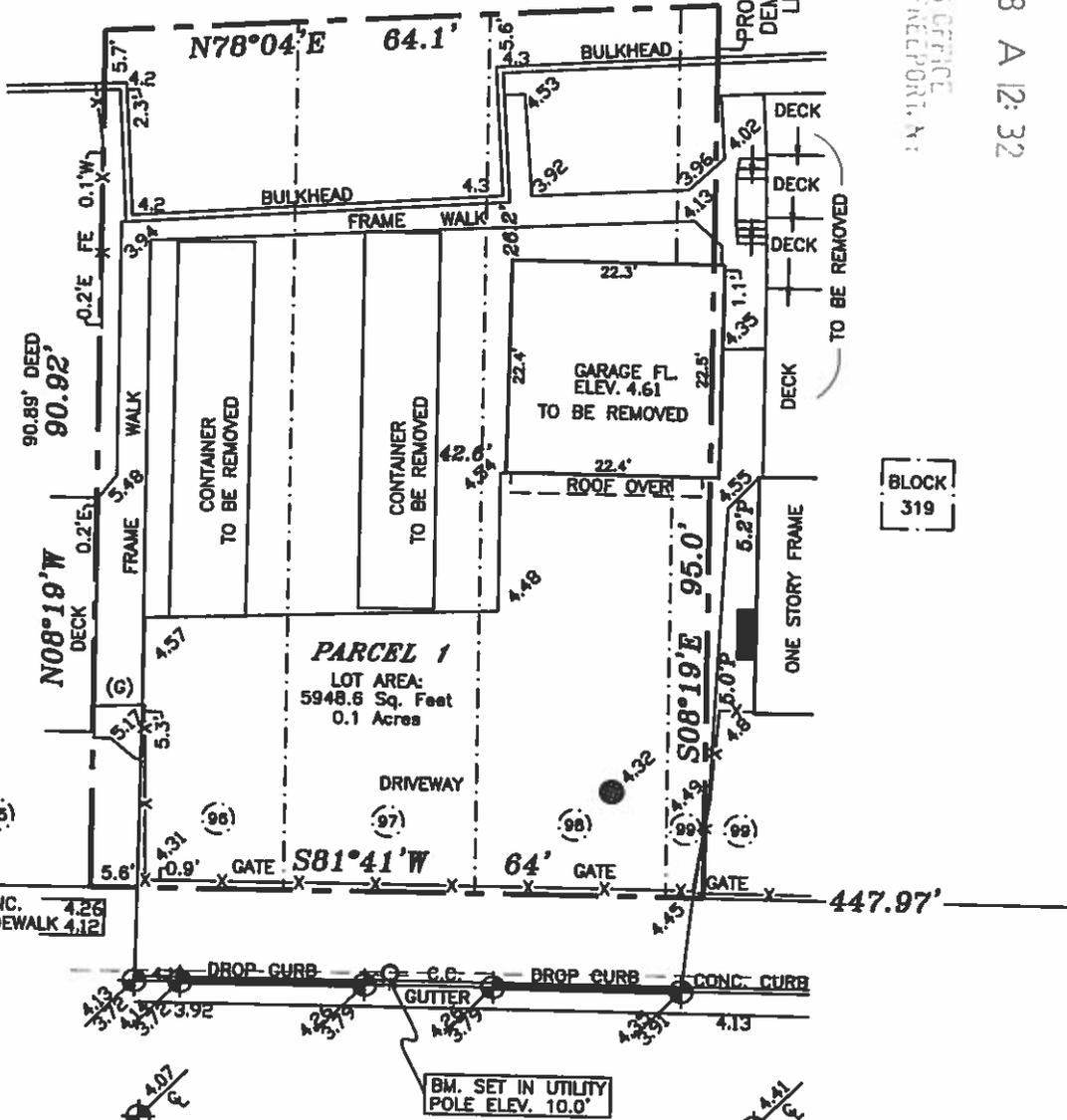
MAP  
GENERAL DIRECTION  
MAGNETIC



## CARY CANAL

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VILLAGE OF FREEPORT, NY

WEST END AVENUE



BLOCK 319

### LEGEND

- WOOD UTILITY POLE
- UTILITY/LIGHT POLE
- TREE WITH DIAMETER
- EXISTING GRADE

## CARY PLACE

AVERAGE 200' FRONT YARD SETBACK 14.4'

Zoning Chart (Parcel 1)  
Village of Freeport - Residence A District

	Required	Provided
Lot Area	5,000 S.F.	5,948.6 S.F.
Street Frontage	50 feet	64 feet
Lot Width	50 feet	64 feet

ELEVATIONS SHOWN ON THIS PLAT HAVE BEEN DEVELOPED USING A NETWORKED GPS SYSTEM AND ARE CONSISTENT WITH NAVD 1988

CALL UPFO TWO WORKING DAYS BEFORE DIGGING! 1-800-962-7962 OR 811  
NON-MEMBERS MUST BE CONTACTED SEPARATELY.



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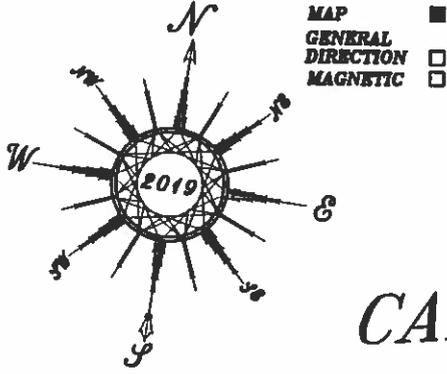
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PROPERTY LINE A.O. = ARMING OVER O.H. = OVER HEAD A.W. = AREA WAY FENCES: METAL X IRON WOOD VINYL POST & RAIL

UTILITY POLE LOT # TAX MAP LOT # 515 = FILED MAP LOT # C.D. = CELLAR DOOR G.R.C. = GRANITE BLOCK CURB

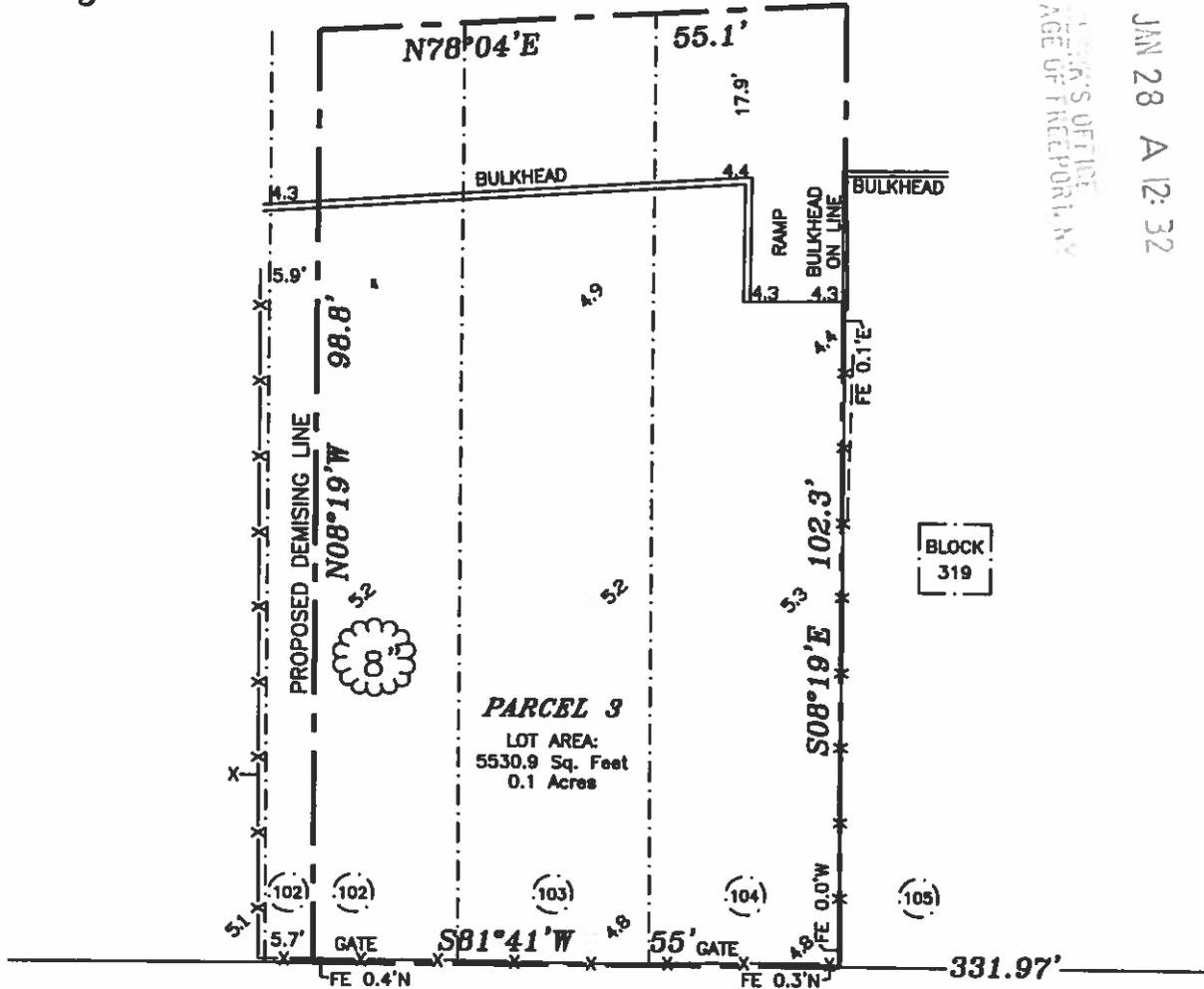
# ARCHITECTURAL SURVEY

10 5 0 10 20  
SCALE 1"=20'



## CARY CANAL

RECEIVED  
 2022 JAN 28 A 12: 32  
 VILLAGE OF FREEPORT, NY  
 WEST END AVENUE



### LEGEND

WOOD UTILITY POLE	
UTILITY/LIGHT POLE	
TREE WITH DIAMETER	
EXISTING GRADE	

## CARY PLACE

AVERAGE 200' FRONT YARD SETBACK 14.4'

Zoning Chart (Parcel 3)  
Village of Freeport - Residence A District

	Required	Provided
Lot Area	5,000 S.F.	5,530.9 S.F.
Street Frontage	50 Feet	55 Feet
Lot Width	50 Feet	55 Feet

ELEVATIONS SHOWN ON THIS PLAT HAVE BEEN DEVELOPED USING A NETWORKED GPS SYSTEM AND ARE CONSISTENT WITH NAVD 1988

CALL UFPO TWO WORKING DAYS BEFORE DIGGING! 1-800-962-7962 OR 811  
NON-MEMBERS MUST BE CONTACTED SEPARATELY.

EASEMENTS, IF ANY, NOT SHOWN.

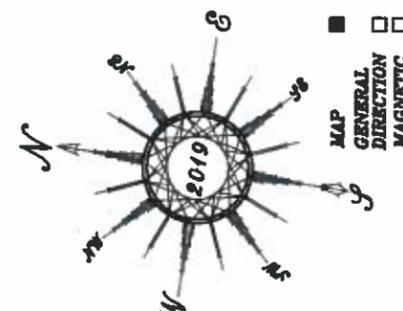


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ALL RIGHTS RESERVED

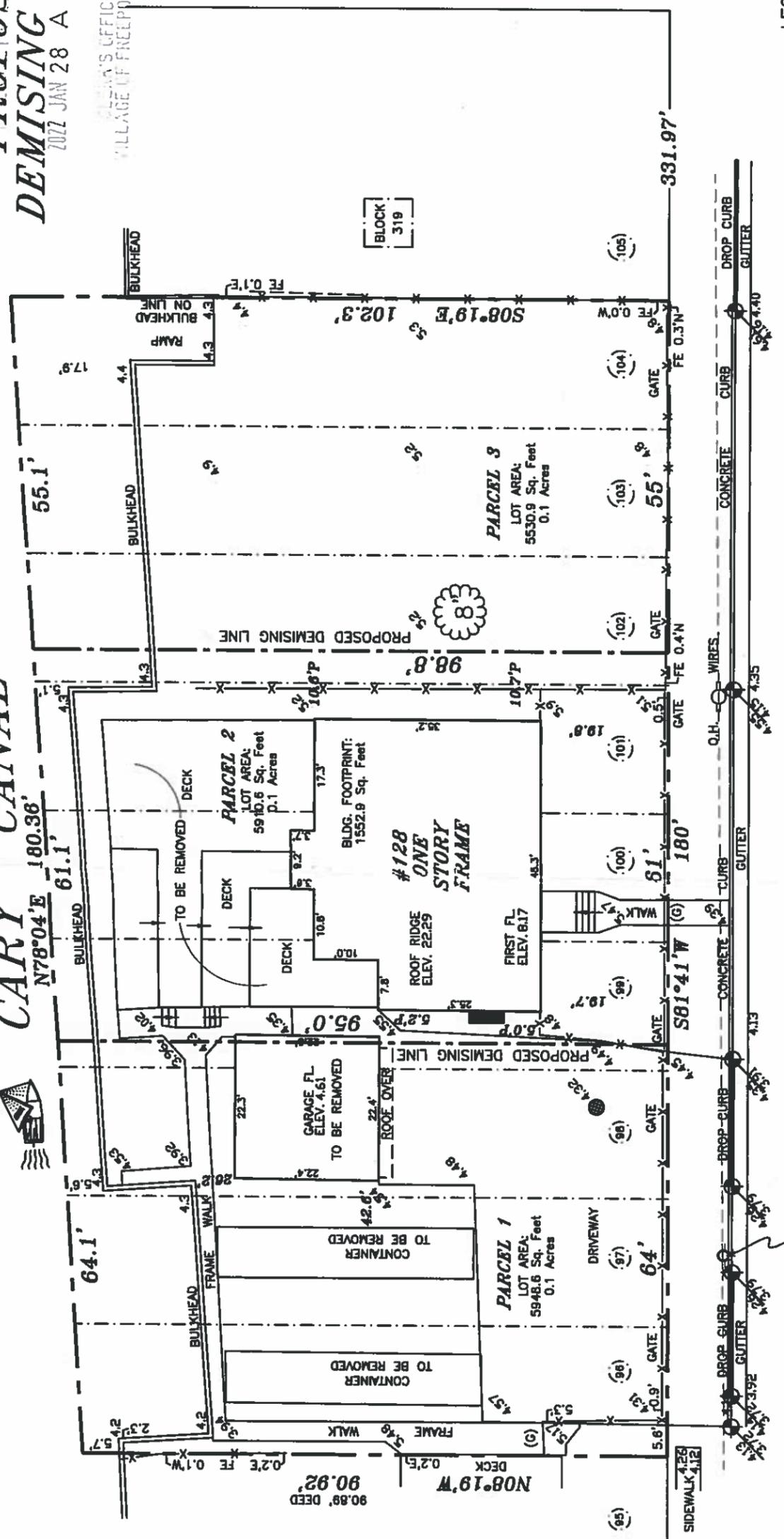
UNLESS OTHERWISE NOTED, PHYSICAL MONUMENTS HAVE NOT BEEN SET.  
This survey is intended to be used for Building Department purposes only and is subject to whatever a more complete title search may reveal. Use of this survey for any other purpose may result in problems for which this surveyor will not be liable.  
"Unauthorized alteration to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law"  
"Only copies from the original of this survey marked with an original of the land surveyor's embossed seal shall be considered to be valid true copies."  
"Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run only to the person for whom the survey was prepared, and on his behalf to the title company, government agency and various institutions noted herein and to the satisfaction of the local government."

REFERENCE: MAP OF WEST END HARBOR ... FILED AS COUNTY MAP # 643/C-8536 06/09/1984

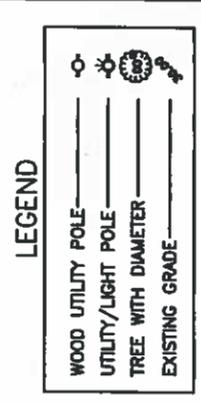
**PROPOSED DEMISING PLAN**  
2017 JAN 28 A 12:31



**CARY CANAL**  
N78°04'E 180.36'



**CARY PLACE**  
AVERAGE 200' FRONT YARD SETBACK 14.4'



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STATE OF NEW YORK  
BARRY M. FAHRER  
NEW YORK STATE  
LICENSED LAND SURVEYOR  
No. 49851

206 CHURCH STREET  
FREEPORT NEW YORK 11520  
(516) 623-2069  
FAX (516) 623-0626

REVISED 11/12/2020 DEMISING PLAN  
DATE SURVEYED 10/07/2019  
FREEPORT  
COUNTY OF: NASSAU

SECTION No. 54  
TAX BLOCK No. 319

CERTIFIED TO:  
RICH RAUFF  
CARY COMMONS LLC  
OMNI TITLE AGENCY  
COMMONWEALTH LAND TITLE INSURANCE COMPANY

LOT No. 96-100, 102-104 & 226-227  
COUNTY OF: NASSAU

DATE SURVEYED 10/07/2019  
FREEPORT  
COUNTY OF: NASSAU

SECTION No. 54  
TAX BLOCK No. 319

JOB # 20190551  
TITLE No.

NOTE: 5.0'P = PROPOSED FINAL BUILDING OFFSET DIMENSIONS & ELEVATIONS AS PER CLIENTS REQUEST AND SHOULD NOT BE EXCEEDED.

BLDG. FOOTPRINT: 1552.9 Sq. Feet  
GARAGE FOOTPRINT: 501.4 Sq. Feet  
LOT AREA: 17390.1 Sq. Feet  
LOT COVERAGE 11.8%

ELEVATIONS SHOWN ON THIS PLAN HAVE BEEN DEVELOPED USING A NETWORKED GPS SYSTEM AND ARE CONSISTENT WITH NAVD 1988

CALL UP TO TWO WORKING DAYS BEFORE DIGGING! 1-800-982-7962 OR 811  
NON-MEMBERS MUST BE CONTACTED SEPARATELY.

UNLESS OTHERWISE NOTED, PHYSICAL MONUMENTS HAVE NOT BEEN SET.  
This survey is intended to be used for the following purposes only and is subject to delivery a more complete title and is subject to delivery a more complete title and is subject to delivery a more complete title.  
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COPIES WITH OUT A RED SIGNATURE & UNRECORDED SEAL ARE COUNTERFEITS.  
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L.S.T. = LANDSCAPE TIE    X = WOOD    POST & RAIL    VINYL    V = GATE





## INC. VILLAGE OF FREEPORT

### Department of Buildings

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

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CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

February 8, 2022  
**LETTER OF DENIAL**

La Donna Taylor  
158 N. Ocean Avenue  
Freeport, NY 11520

**RE: Address: 158 N. Ocean Avenue, Freeport, NY**  
**Zoning District: Residence A      Sec 55 Blk 262 Lot 212**

**Building Permit Application #20222571**

**Description: Fire repairs, Construct a new 94 sq. ft. first floor rear addition,**  
**42 sq. ft. vestibule & new 735 sq. ft. second floor addition**

Dear Sir/Madam:

Your application has been reviewed by the Building Department and it has been determined that the above captioned building permit application must be denied for the following reason(s):

**1) Village Ordinance §210-6A. "Conformity required":** No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located. The proposed plan that you have submitted indicates that the property will not be in conformity.

**2) Village Ordinance §210-39A. Sky exposure.** No building shall penetrate the sky exposure plane. The application submitted shows a second story addition which penetrates the sky exposure plane. A variance will be required to penetrate the sky exposure plane.

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-2202** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. **Only after this initial appointment should the additional copies be made.**

**RE: 158 N. Ocean Avenue, Freeport, NY**

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,



Sergio A. Mauras  
Superintendent of Buildings  
Jonathan Smith, Building Inspector

Enclosure

cc: Village Clerk  
Rudolph S. Shatarah, P.E.

**SITE PLAN APPROVAL NEEDED**

Yes:  X  No:

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VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

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Project :

Building Permit App. #20222571

CLERK'S OFFICE  
OF FREEPORT, NY

Location: 158 N. Ocean Avenue, Freeport, NY

Applicant: LaDonna Taylor

Description: Fire Repairs, Construct a new 94 sq. ft. first floor rear addition, 42 sq. ft. vestibule and new 735 sq. ft. second floor addition

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_  
\_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

\_\_\_\_\_

Dated: February 8, 2022



Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.



SEC. 55 BLK. 262 LOT. 212

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter  
Of  
the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No. \_\_\_\_\_

COMPLY WITH ORIGINAL NOTES

The application of Ladonna Taylor

respectfully states and alleges:

Strike out inapplicable phrase

1. That the applicant (resides at) has its principal office for the conducting of its business at 158 North Ocean Ave Freeport NY 11520

State whether applicant is owner, lessee, or has option or contract. If other than owner, state briefly terms of agreement.

2. That the premises affected by this application is located at 158 North Ocean Ave Freeport Land Map of Nassau County Sec. 55 Blk. 262 Lot(s) 212 and that the interest which the applicant has in the property concerned is that of owner

3. That (the applicant) the applicant's duly authorized \_\_\_\_\_ on or about the 12 day of January 2022 filed in the office of the Department of Buildings of the Village of Freeport, New York, an application for a Building Permit. Documents filed with said application were as follows:

Plans & Building Application

Obtain reason for denial from Department of Buildings.

4. That on or about the 8 day of February 2022 the Department of Buildings denied said application; upon information and belief that the reason for said denial was as follows: \_\_\_\_\_

SKY exposure

Describe by construction and number of stories. If none, so state.

5. That the nature of the improvements now upon said premises is as follows: 94 sqft. first floor rear addition, 42 sqft vestibule & new 733 sqft second floor addition

State nature of use of property. If a business, give brief description.

6. That said premises are now being used as follows: main residence

Describe fully and clearly the use desired.

7. That the applicant seeks authority to make use of said premises as follows: To repair fire damage and live in my home.

Strike out whichever word is not applicable. Follow language in ordinance.

8. Upon information and belief that a (permit) (variance) for such use may be granted by this Board by virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the State of New York \_\_\_\_\_

Refer where possible to paragraphs and section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the application involves a subdivision of property, describe the existing property: \_\_\_\_\_

N/A

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CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

10. That the grounds for this application are as follows: to improve the look of the home after the fire.

11. That any deed restrictions running with the land prohibiting the desired use are as follows: N/A

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous proceeding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: February, 2022

Mrs. J. Taylor

BY: Ladonna Taylor

ITS: owner

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York )  
County of Nassau ) ss:

The applicant \_\_\_\_\_ named in the foregoing application, being duly sworn, depose and say that \_\_\_\_\_ read the foregoing application subscribed by \_\_\_\_\_ and know the contents thereof; and that the same is true to \_\_\_\_\_ own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters \_\_\_\_\_ believe \_\_\_\_\_ to be true.

Sworn to before me this 9 day  
of February, 2022.

Notary Public Lisa M Debourg

Mrs. J. Taylor  
Signature of Applicant

LISA M DEBOURG  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01DE6294362  
Qualified in Nassau County  
My Commission Expires December 16, 2025

**Notice  
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

February 9th, 2022.  
Date Year

Mrs. J. Taylor  
Signature

**Affidavit of Owner**

To be completed only if the owner is not the applicant

LISA M DEBOURG  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01DE6294362  
Qualified in Nassau County  
My Commission Expires December 16, 2025

State of New York )  
County of Nassau ) ss:

I \_\_\_\_\_ being duly sworn, depose and say:  
That he/she (the owner of \_\_\_\_\_) (is the \_\_\_\_\_ of \_\_\_\_\_ the property concerned is correct to the best of the knowledge of deponent \_\_\_\_\_.)

That the owner \_\_\_\_\_ consents to the granting of the authority sought in the above application.

Sworn to before me this \_\_\_\_\_ day  
of \_\_\_\_\_, 20 \_\_\_\_\_.

Notary Public \_\_\_\_\_

\_\_\_\_\_  
Signature

20222571

Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
LA DONNA TAYLOR							
Name of Action or Project:							
Project Location (describe, and attach a location map): 158 NORTH OCEAN AVENUE, FREEPORT, NEW YORK 11520							
Brief Description of Proposed Action: CONSTRUCT A NEW SECOND FLOOR TO REPLACE THE EXISTING 1/2 STORY.							
Name of Applicant or Sponsor: RUDOLPH S. SHATARAH		Telephone: (516)731-4687 E-Mail: RUDOLPH@RSCE-PC.COM					
Address: 6500 JERICHO TURNPIKE, SUITE 1W							
City/PO: SYOSSET		State: NEW YORK	Zip Code: 11791				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action? _____ acres							
b. Total acreage to be physically disturbed? _____ acres							
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres							
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____							
<input type="checkbox"/> Parkland							

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VILLAGE OF FREEPORT, NY

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES _____			

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: _____ Date: _____		
Signature: _____		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

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	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

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VILLAGE OF FREEPORT, NY

# Application for Erection of Buildings or Alterations

**IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V**

<b>I. LOCATION OF BUILDING</b>	AT (LOCATION) <u>158 North Ocean Avenue</u> (No.) (Street)	ZONING DISTRICT <u>Res A</u>
	BETWEEN <u>West Lena Avenue</u> (Cross Street) AND <u>West Lena Avenue</u> (Cross Street)	
	SECTION <u>05</u> BLOCK <u>262</u> LOT <u>212</u> APPROX. LOT SIZE <u>125</u> x <u>58</u> LOT AREA <u>7250</u>	

<b>II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.</b>			
<b>A. TYPE OF IMPROVEMENT</b> 1 <input type="checkbox"/> New building 2 <input checked="" type="checkbox"/> Addition-Alteration (If residential, enter number of new housing units added. If non-state none _____) 3 <input type="checkbox"/> Swimming Pool 4 <input type="checkbox"/> Repair (replacement) 5 <input type="checkbox"/> Bulkhead (New, Repair) 6 <input type="checkbox"/> Fence 7 <input type="checkbox"/> Moving (relocation)	<b>B. PROPOSED OR EXISTING USE</b>  <table style="width:100%;"> <tr> <td style="width:50%; vertical-align: top;"> <b>RESIDENTIAL</b>                              11 <input checked="" type="checkbox"/> One Family                              12 <input type="checkbox"/> Two families                              13 <input type="checkbox"/> Apartment - Enter No. of Units _____                              14 <input type="checkbox"/> Transient hotel, motel, or dormitory - Enter No. of Units _____                              15 <input type="checkbox"/> Garage or Accessory Structure                              16 <input type="checkbox"/> Other - Specify _____                         </td> <td style="width:50%; vertical-align: top;"> <b>NON RESIDENTIAL - Complete Part "E"</b>                              17 <input type="checkbox"/> Industrial                              18 <input type="checkbox"/> Office, bank, professional                              19 <input type="checkbox"/> Stores, mercantile                              20 <input type="checkbox"/> Church, other religious                              21 <input type="checkbox"/> Hospital, institutional                              22 <input type="checkbox"/> Other - Specify _____                         </td> </tr> </table>	<b>RESIDENTIAL</b> 11 <input checked="" type="checkbox"/> One Family 12 <input type="checkbox"/> Two families 13 <input type="checkbox"/> Apartment - Enter No. of Units _____ 14 <input type="checkbox"/> Transient hotel, motel, or dormitory - Enter No. of Units _____ 15 <input type="checkbox"/> Garage or Accessory Structure 16 <input type="checkbox"/> Other - Specify _____	<b>NON RESIDENTIAL - Complete Part "E"</b> 17 <input type="checkbox"/> Industrial 18 <input type="checkbox"/> Office, bank, professional 19 <input type="checkbox"/> Stores, mercantile 20 <input type="checkbox"/> Church, other religious 21 <input type="checkbox"/> Hospital, institutional 22 <input type="checkbox"/> Other - Specify _____
<b>RESIDENTIAL</b> 11 <input checked="" type="checkbox"/> One Family 12 <input type="checkbox"/> Two families 13 <input type="checkbox"/> Apartment - Enter No. of Units _____ 14 <input type="checkbox"/> Transient hotel, motel, or dormitory - Enter No. of Units _____ 15 <input type="checkbox"/> Garage or Accessory Structure 16 <input type="checkbox"/> Other - Specify _____	<b>NON RESIDENTIAL - Complete Part "E"</b> 17 <input type="checkbox"/> Industrial 18 <input type="checkbox"/> Office, bank, professional 19 <input type="checkbox"/> Stores, mercantile 20 <input type="checkbox"/> Church, other religious 21 <input type="checkbox"/> Hospital, institutional 22 <input type="checkbox"/> Other - Specify _____		

<b>C. COST</b>  10 TOTAL COST OF IMPROVEMENT \$ <u>713,500 est @ 150,000</u>  RECEIVED FEB 10 2022 CLERK'S OFFICE VILLAGE OF FREEPORT, NY	<b>D. DESCRIPTION OF PROJECT</b> CONSTRUCT AN NEW SECOND FLOOR TO REPLACE EXISTING 1/2 STORY <u>"Fire Damage"</u>
--	---

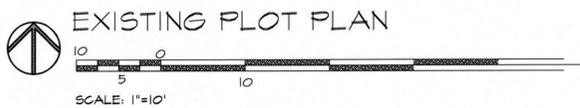
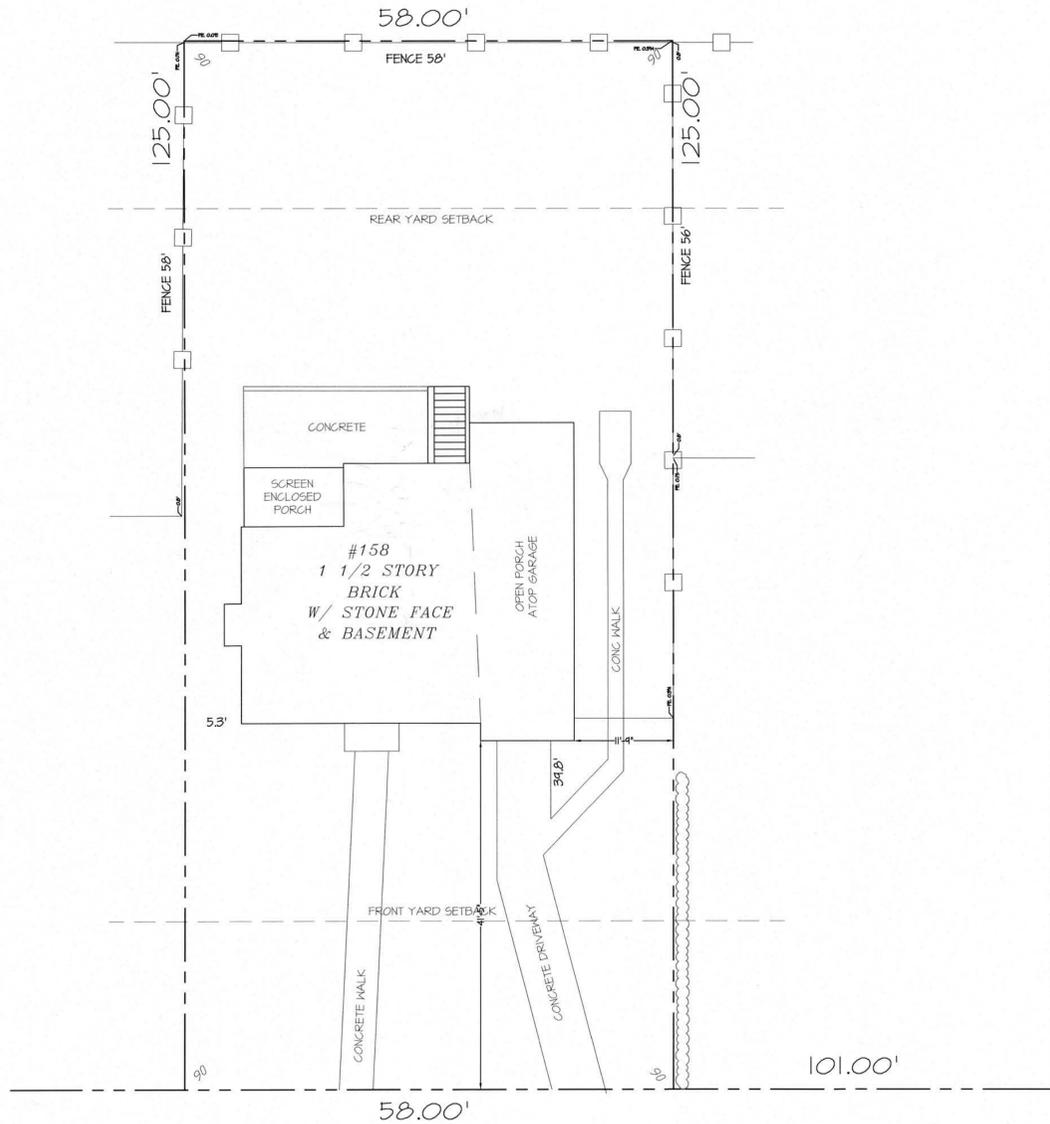
<b>III. IDENTIFICATION - To be completed by all applicants</b>		
NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee <u>LA DONNA TAYLOR</u>	<u>158 NORTH OCEAN AVENUE, FREEPORT, NEW YORK 11520</u>	<u>(516)316-0413</u>
2. Contractor		
3. Architect or Engineer <u>R SHATARAH</u>	<u>6500 JERICO TURNPIKE, SUITE 1W, SYOSSET, NEW YORK 11791</u>	<u>(516)731-1111</u>

<b>IV. OWNER - CONTRACTOR STATEMENT</b>  Building permit is issued subject to the provisions of Section 67 of the Workmen's Compensation Law. Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____  ERICK GUERRERO Notary Public, State of New York Qualified in Nassau County Reg. 01GU6165605 Expires on 5/14/2023  State of New York County of Nassau <u>Ladonna Taylor</u> being duly sworn, says that <u>she</u> (Print) (He or She) is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of <u>her</u> (His or Her) knowledge and belief and agrees to conform to all applicable laws of this jurisdiction. Sworn to before me this <u>6th</u> day of <u>January</u> , 20 <u>22</u> <u>[Signature]</u> Notary Public County, N.Y.	<b>V. FLOOD ZONE</b>  IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE? YES _____ NO <u>X</u> IF YES, WHICH ZONE? _____  IS PROJECT TO REPAIR FLOOD DAMAGE? YES _____ NO <u>X</u>  <b>PROJECT DESCRIPTION</b> Total/First Flr Square Feet <u>1,366</u> Upper Flrs Square Feet <u>1,354</u> # of Fixtures <u>12</u> # of Floors <u>2</u> Occup. Type <u>R</u>
--	--

<b>VI. VALIDATION (Official Use Only)</b> Building Permit Number _____ Building Permit Issued _____ Building Permit Fee \$ _____	Approved by: _____  Superintendent of Buildings
---	---

# TAYLOR RESIDENCE

158 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK, 11520



EXISTING PLOT PLAN

## DRAWING No. TITLE

T-001.00	CODE INFORMATION, SITE PLAN AND ZONING ANALYSIS
T-002.00	SKY EXPOSURE PLANS I
T-003.00	SKY EXPOSURE PLANS II
GN-001.00	GENERAL NOTES
GN-002.00	GENERAL NOTES
GN-003.00	GENERAL NOTES
A-001.00	EXISTING FLOOR PLANS
A-002.00	EXISTING FLOOR PLANS
A-003.00	EXISTING ELEVATIONS
A-004.00	FOUNDATION PLAN
A-005.00	FIRST & SECOND FLOOR FRAMING PLANS
A-006.00	ATTIC FRAMING PLAN & ROOF PLAN
A-007.00	PROPOSED SECTION
A-008.00	PROPOSED FIRST & SECOND FLOOR PLAN + WINDOW SCHEDULE
A-009.00	PROPOSED ELEVATIONS I
A-010.00	PROPOSED ELEVATIONS II
A-011.00	NOTES & DETAILS
A-012.00	NOTES & DETAILS
A-013.00	NOTES & DETAILS

**NOTE:**  
GENERAL CONTRACTOR MUST INVESTIGATE FIELD CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD FOR ACTION. ALL WORK SHALL BE BASED ON THE EXISTING CONDITIONS AS MEASURED BY THE CONTRACTOR.

**NOTE:**  
THIS PROJECT COMPLIES WITH  
2015 INTERNATIONAL RESIDENTIAL CODE (IRC 2015)  
2015 NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE (NYSECC)  
2017 NYS SUPPLEMENT CODE  
2015 INTERNATIONAL FIRE CODE (IFC 2015)

IN ACCORDANCE WITH SECTION 1103, TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, SUCH PLANS OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE ENERGY CODE.

### RESIDENTIAL CODE INFORMATION

ZONE DISTRICT: A	SEC. 62		BLK: 168	LOT(S): 82B
	ACTUAL:	REQUIRED:	REMARKS:	
AREA OF PROPERTY:	7,250 sq. ft.	5,000 sq. ft.		
FRONT YARD SETBACK:	40'-0"	20'-0" MIN		
AVERAGE FRONT YARD SETBACK:	40'-8"	40'-0" MIN		
REAR YARD SETBACK:	45'-8 1/2"	20'-0" MIN OR 20% OF LOT LENGTH = 31.6'		
SIDE YARD SETBACK:	AGGREGATE:	16'-8 1/2"	25% OF LOT = 14'-5"	
	ONE SIDE:	5'-0"	5'-0"	
FRONTAGE:	58'-0"	50'-0" MIN		
LOT WIDTH:	60'-0"			
LOT LENGTH:	125'-0"			
AREA OF EXISTING BASEMENT:	8621 SQ. FT.		NO CHANGE	
AREA OF EXISTING FIRST FLOOR:	1,245.17 SQ. FT + 154 = 1,399.17 SQ. FT.			
AREA OF PROPOSED SECOND FLOOR:	1,349.17 SQ. FT.			
PROPOSED LOT COVERAGE:	14.2%	30% MAX		
MAXIMUM STORIES:	2 1/2		2 1/2	
MAXIMUM HEIGHT:	28'-3"		35'-0" MAX	

### CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-HOME DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITES					
25 PSF	130 MPH	NO	NO	1 MILE	B	SEVERE	3'-0"	MODERATE / SEVERE	15°	YES	NO	1500 OR LESS	52.9° F

RECEIVED

FEB 10 2022

VILLAGE OF FREEPORT, NY

**R SHATARAH**  
CONSULTING ENGINEERS, P.C.  
6500 JERICHO TURNPIKE  
SUITE 104  
SYOSSET, NY 11791  
TEL: (516) 331-4681  
FAX: (516) 796-2144  
RUDOLPH@RSCE-PC.COM  
RUDOLPH S. SHATARAH, P.E.  
LICENSED PROFESSIONAL ENGINEER  
WWW.RSCE-PC.COM

SCOPE: PROPOSED INTERIOR ALTERATIONS  
AND FULL SECOND STORY ADDITION

# TAYLOR RESIDENCE

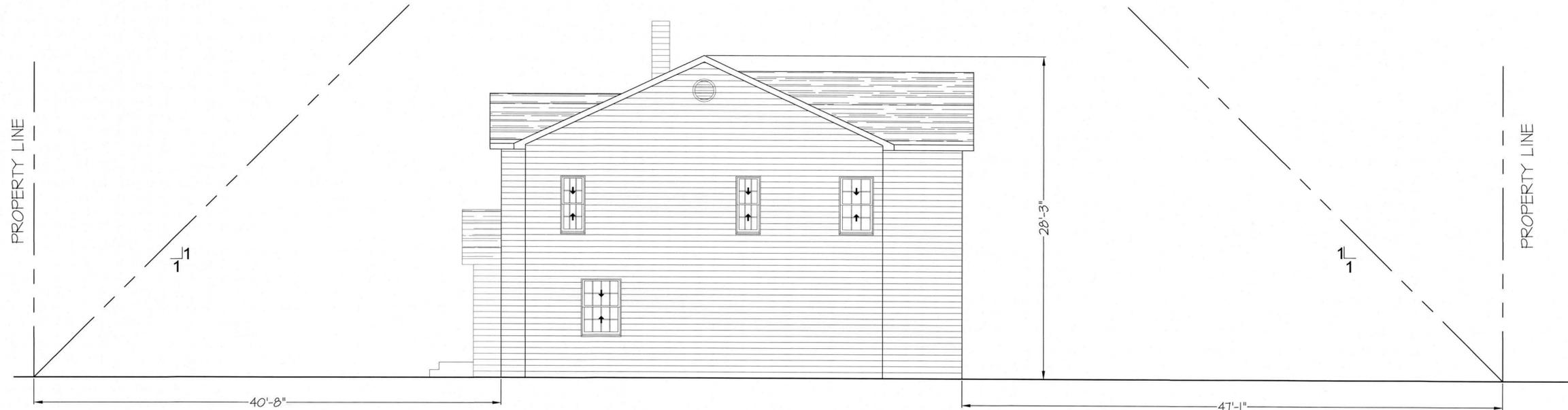
158 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK, 11520

REV	DATE	COMMENT
1	11-8-21	ISSUED FOR FILING TO THE VILLAGE OF FREEPORT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ENGINEER. REPRODUCTION OR ALTERATION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF THE ENGINEER IS PROHIBITED. CONTRACTORS SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF WORK. NO ALLOWANCES SHALL BE MADE ON BEHALF OF THE CONTRACTOR FOR ANY ERRORS OR NEGLECT ON HIS PART. IF IT IS A VIOLATION OF SECTION 1103.2 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER ANY ITEM IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX HIS SEAL AND A NOTATION ALTERED BY, FOLLOWED BY HIS SIGNATURE AND DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION SHALL BE NOTED.

RECEIVED  
FEB 10 2022  
VILLAGE OF FREEPORT, NY

ORIGINAL DATE: 10-12-2021  
PROJECT #: -  
DRAWN BY: J.G.  
CHECKED BY: R.S.  
DRAWING TITLE:  
SITE PLAN, CODE INFORMATION  
& ZONING ANALYSIS  
DRAWING #  
T-001.00  
CAD FILE NAME:  
R:\RESIDENTIAL PROJECTS\158 NORTH OCEAN AVENUE,  
FREEPORT, NEW YORK\CAD FILES\158 NORTH OCEAN  
AVENUE.DWG



SKY EXPOSURE PLANE - RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"  
COMPLIES WITH SKY EXPOSURE PLANE



SKY EXPOSURE PLANE - LEFT ELEVATION  
SCALE: 1/8" = 1'-0"  
COMPLIES WITH SKY EXPOSURE PLANE

SCOPE: PROPOSED INTERIOR ALTERATIONS  
AND FULL SECOND STORY ADDITION

**TAYLOR RESIDENCE**

158 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK, 11520

REV.	DATE	COMMENT
1	11-8-21	ISSUED FOR FILING TO THE VILLAGE OF FREEPORT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ENGINEER. INFRINGEMENT WILL BE PROSECUTED. CONTRACTORS SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF WORK. NO ALLOWANCES SHALL BE MADE ON BEHALF OF THE CONTRACTOR FOR ANY PERSON OR NEGLECT ON HIS PART. IT IS A VIOLATION OF SECTION 2002.2 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER ANY ITEM IN ANY MANNER. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX HIS SEAL AND A NOTATION FOLLOWED BY HIS SIGNATURE AND DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION SHALL BE NOTED.



SEAL & SIGNATURE

ORIGINAL DATE: 10-12-2021

PROJECT #: -

DRAWN BY: J.G.

CHECKED BY: R.S.

DRAWING TITLE:  
SKY EXPOSURE PLANS I

DRAWING #  
T-002.00

CAD FILE NAME:  
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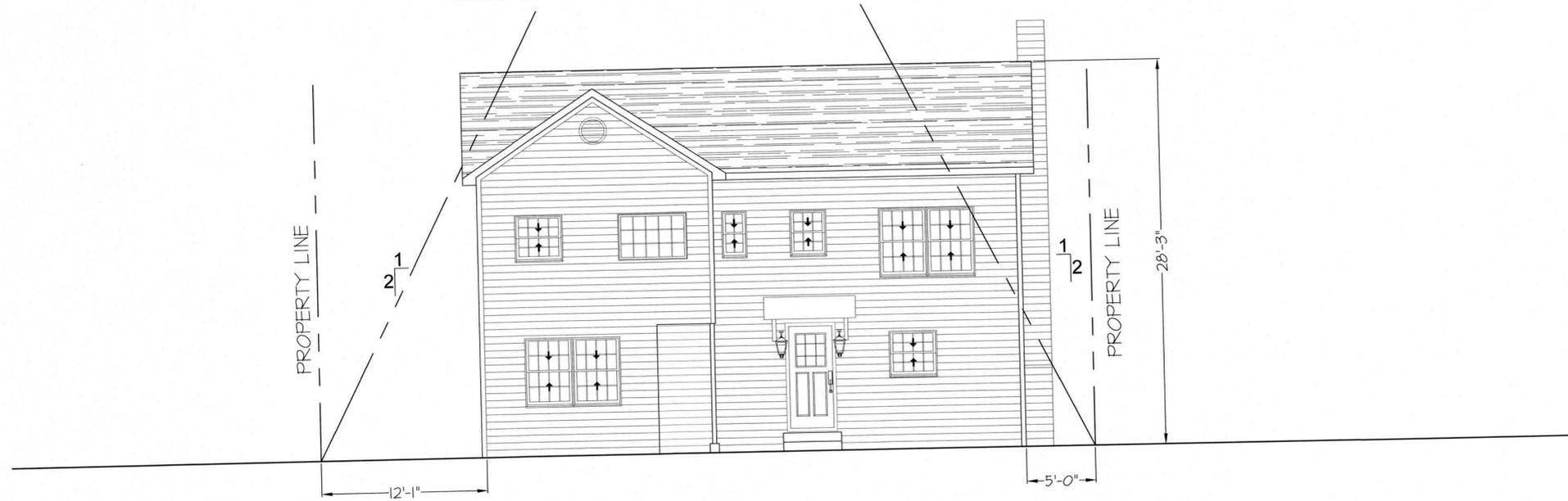
RECEIVED  
FEB 10 2022  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



**SKY EXPOSURE PLANE - FRONT ELEVATION**

SCALE: 1/8" = 1'-0"

REQUEST WAIVER FOR SKY EXPOSURE PLANE DUE TO WIDTH OF PROPERTY AND LOCATION OF THE EXISTING HOUSE.



**SKY EXPOSURE PLANE - REAR ELEVATION**

SCALE: 1/8" = 1'-0"

REQUEST WAIVER FOR SKY EXPOSURE PLANE DUE TO WIDTH OF PROPERTY AND LOCATION OF THE EXISTING HOUSE.

SCOPE: PROPOSED INTERIOR ALTERATIONS AND FULL SECOND STORY ADDITION

**TAYLOR RESIDENCE**

158 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK, 11520

REV	DATE	COMMENT
1	11-8-21	ISSUED FOR FILING TO THE VILLAGE OF FREEPORT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ENGINEER. INFORMATION WILL BE PROVIDED TO CONTRACTORS SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF WORK. NO ALLOWANCES SHALL BE MADE ON BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART. IT IS A VIOLATION OF SECTION 2201.2 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER ANY ITEM IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX HIS SEAL AND A NOTATION "ALTERED BY", FOLLOWED BY HIS SIGNATURE AND DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION SHALL BE NOTED.



SEAL & SIGNATURE

ORIGINAL DATE: 10-12-2021

PROJECT #:

DRAWN BY: J.G.

CHECKED BY: R.S.

DRAWING TITLE: SKY EXPOSURE PLANS

DRAWING #: T-003.00

RECEIVED  
FEB 10 2022  
VILLAGE OF FREEPORT, NY



**SECTION R314  
SMOKE ALARMS AND HEAT DETECTION (CONTINUED)**

**[NY]R314.4 Interconnection.**  
Where more than one smoke alarm is required to be installed within an individual dwelling unit in accordance with Section R314.3, the alarm devices shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual dwelling unit. Physical interconnection of smoke alarms shall not be required where listed wireless alarms are installed and all alarms sound upon activation of one alarm.

**Exception:**  
Smoke alarms and alarms installed to satisfy Section R314.4.1 shall not be required to be interconnected to existing smoke alarms where such existing smoke alarms are not interconnected or where such new smoke alarm or alarm is not capable of being interconnected to the existing smoke alarms.

**[NY]R314.6 Power source.**  
Smoke alarms and heat detection shall receive their primary power from the building wiring where such wiring is served from a commercial source and, where primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection.

**Exceptions:**  
1. Smoke alarms shall be permitted to be battery operated where installed in buildings without commercial power.  
2. Smoke alarms installed in accordance with Section R314.2.2 shall be permitted to be battery powered.

**[NY] SECTION 415  
CARBON MONOXIDE DETECTION**

**[NY]415.3 Detection locations.**  
Carbon monoxide detection shall be installed in the locations specified in Sections 415.3 through 415.3.3 plus any additional locations as required by the manufacturer of the carbon monoxide detection device. All carbon monoxide detectors shall be installed in locations that avoid dead air spaces, turbulent air spaces, fresh air returns, open windows, HVAC ducts, closed doors, and other such obstructions that could prevent carbon monoxide from reaching the detector. Where there is a conflict between the location requirements specified by this code and the location requirements specified by the manufacturer of the carbon monoxide detection device, the more restrictive shall govern.

**Exception:** Where Sections 415.3 through 415.3.3 require a room or area to be protected by multiple carbon monoxide detectors, one carbon monoxide detector may be provided in an approved location that satisfies all applicable requirements of Sections 415.3.1 through 415.3.3 or otherwise provides the room or area with adequate protection. The level of protection in adjacent rooms shall not be reduced by the elimination of an otherwise required detector.

**[NY]415.4 Carbon monoxide alarms.**  
Carbon monoxide alarms shall only be installed in dwelling units, sleeping areas, and sleeping units and shall not be installed in locations where the code requires carbon monoxide detectors to be used. Carbon monoxide alarms shall comply with Sections 415.4.1 through 415.5.4.

**Exception:** Carbon monoxide alarms shall be allowed in buildings and spaces other than dwelling units, sleeping areas, and sleeping units in accordance with the exception to Section 415.4.1.1.

**[NY]415.4.1 Power source.**  
Carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source, and when primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than that required for overcurrent protection.

**Exceptions:**  
1. Carbon monoxide alarms powered by a 10-year battery shall be an acceptable alternative in residential buildings and commercial buildings without commercial power, and  
1. Existing residential buildings and commercial buildings unless otherwise required by the Uniform Code.  
2. Carbon monoxide alarms installed in accordance with an earlier version of the Uniform Code may be cord-type or direct plug when permitted by such code

**SECTION R501  
EXTERIOR DECKS**

**R501.1 Decks.**  
Wood-framed decks shall be in accordance with this section. For decks using materials and conditions not prescribed in this section, refer to Section R301.

**R501.2 Materials.**  
Materials used for the construction of decks shall comply with this section.

**R501.2.1 Wood materials.**  
Wood materials shall be No. 2 grade or better lumber, preservative-treated in accordance with Section R317, or approved, naturally durable lumber, and termites protected where required in accordance with Section R318. Where design in accordance with Section R301 is provided, wood structural members shall be designed with the wet service factor defined in AWC NDS. Cuts, notches and drilled holes of preservative-treated wood members shall be treated in accordance with Section R317.1.1. All preservative-treated wood products in contact with the ground shall be labeled for such usage.

**R501.2.1.1 Engineered wood products.**  
Engineered wood products shall be in accordance with Section R502.

**R501.2.2 Plastic composite deck boards, stair treads, guards, or handrails.**  
Plastic composite exterior deck boards, stair treads, guards and handrails shall comply with the requirements of ASTM D7032 and this section.

**R501.2.2.1 Labeling.**  
Plastic composite deck boards and stair treads, or their packaging, shall bear a label that indicates compliance with ASTM D7032 and includes the allowable load and maximum allowable span determined in accordance with ASTM D7032. Plastic or composite handrails and guards, or their packaging, shall bear a label that indicates compliance with ASTM D7032 and includes the maximum allowable span determined in accordance with ASTM D7032.

**R501.2.2.2 Flame spread index.**  
Plastic composite deck boards, stair treads, guards, and handrails shall exhibit a flame spread index not exceeding 200 when tested in accordance with ASTM E84 or UL T23 with the test specimen remaining in place during the test.

**Exception:** Plastic composites determined to be noncombustible.

**R501.2.2.3 Decay resistance.**  
Plastic composite deck boards, stair treads, guards and handrails containing wood, cellulosic or other biodegradable materials shall be decay resistant in accordance with ASTM D7032.

**R501.2.2.4 Termites resistance.**  
Where required by Section 318, plastic composite deck boards, stair treads, guards and handrails containing wood, cellulosic or other biodegradable materials shall be termite resistant in accordance with ASTM D7032.

**R501.2.2.5 Installation of plastic composites.**  
Plastic composite deck boards, stair treads, guards and handrails shall be installed in accordance with this code and the manufacturer's instructions.

**R501.2.3 Fasteners and connectors.**  
Metal fasteners and connectors used for all decks shall be in accordance with Section R317.3 and Table R501.2.3.

**R501.2.4 Flashing.**  
Flashing shall be corrosion-resistant metal of nominal thickness not less than 0.019 inch (0.48 mm) or approved nonmetallic material that is compatible with the substrate of the structure and the decking materials.

**R501.2.5 Alternate materials.**  
Alternative materials, including glass and metals, shall be permitted.

**R501.3 Footings.**  
Decks shall be supported on concrete footings or other approved structural systems designed to accommodate all loads in accordance with Section R301. Deck footings shall be sized to carry the imposed loads from the deck structure to the ground as shown in Figure R501.3. The footing depth shall be in accordance with Section R403.1.4.

**Exception:** Free-standing decks consisting of joists directly supported on grade over their entire length.

**SECTION I705  
REQUIRED SPECIAL INSPECTIONS AND TESTS**

**I705.1 General.**  
Special inspections and tests of elements and nonstructural components of buildings and structures shall meet the applicable requirements of this section.

**I705.1.1 Special cases.**  
Special inspections and tests shall be required for proposed work that is, in the opinion of the building official, unusual in its nature, such as, but not limited to, the following examples:

1. Construction materials and systems that are alternatives to materials and systems prescribed by this code.

2. Unusual design applications of materials described in this code.

3. Materials and systems required to be installed in accordance with additional manufacturer's instructions that prescribe requirements not contained in this code or in standards referenced by this code.

**I705.2 Steel construction.**  
The special inspections and non-destructive testing of steel construction in buildings, structures, and portions thereof shall be in accordance with this section.

**Exception:** Special inspections of the steel fabrication process shall not be required where the fabrication process for the entire building or structure does not include any welding, thermal cutting or heating operation of any kind. In such cases, the fabricator shall be required to submit a detailed procedure for material control that demonstrates the fabricator's ability to maintain suitable records and procedures such that, at any time during the fabrication process, the material specification and grade for the main stress-carrying elements are capable of being determined. Mill test reports shall be identifiable to the main stress-carrying elements where required by the approved construction documents.

**I705.2.1 Structural steel.**  
Special inspections and nondestructive testing of structural steel elements in buildings, structures and portions thereof shall be in accordance with the quality assurance inspection requirements of AISI 360.

**Exception:** Special inspection of railing systems composed of structural steel elements shall be limited to welding inspection of welds at the base of cantilevered rail posts.

**I705.2.2 Cold-formed steel deck.**  
Special inspections and qualification of welding special inspectors for cold-formed steel floor and roof deck shall be in accordance with the quality assurance inspection requirements of SDI QA/QC.

**I705.2.3 Open-web steel joists and joist girders.**  
Special inspections of open-web steel joists and joist girders in buildings, structures and portions thereof shall be in accordance with Table I705.2.3.

**I705.3 Concrete construction.**  
Special inspections and tests of concrete construction shall be performed in accordance with this section and Table I705.3.

**Exception:** Special inspections and tests shall not be required for:

1. Isolated spread concrete footings of buildings three stories or less above grade plane that are fully supported on earth or rock.

2. Continuous concrete footings supporting walls of buildings three stories or less above grade plane that are fully supported on earth or rock where:

2.1. The footings support walls of light-frame construction.

2.2. The footings are designed in accordance with Table I804.7.

2.3. The structural design of the footing is based on a specified compressive strength,  $f'_c$ , not more than 2500 pounds per square inch (psi) (17.2 MPa), regardless of the compressive strength specified in the approved construction documents or used in the footing construction.

3. Nonstructural concrete slabs supported directly on the ground, including prestressed slabs on grade, where the effective prestress in the concrete is less than 150 psi (1.03 MPa).

4. Concrete foundation walls constructed in accordance with Table I807.1.6.2.

5. Concrete patios, driveways and sidewalks, on grade.

**R301.2.2.2 Weights of materials.**  
Average dead loads shall not exceed 15 pounds per square foot (720 Pa) for the combined roof and ceiling assemblies (on a horizontal projection) or 10 pounds per square foot (480 Pa) for floor assemblies, except as further limited by Section R301.2.2. Dead loads for walls above grade shall not exceed:

1. Fifteen pounds per square foot (720 Pa) for exterior light-frame wood walls.

2. Fourteen pounds per square foot (670 Pa) for exterior light-frame cold-formed steel walls.

3. Ten pounds per square foot (480 Pa) for interior light-frame wood walls.

4. Five pounds per square foot (240 Pa) for interior light-frame cold-formed steel walls.

5. Eighty pounds per square foot (3830 Pa) for 8-inch-thick (203 mm) masonry walls.

6. Eighty-five pounds per square foot (4070 Pa) for 6-inch-thick (152 mm) concrete walls.

7. Ten pounds per square foot (480 Pa) for SIP walls.

**Exceptions:**

1. Roof and ceiling dead loads not exceeding 25 pounds per square foot (1190 Pa) shall be permitted provided that the wall bracing amounts in Section R602.10.3 are increased in accordance with Table R602.10.3(4).

2. Light-frame walls with stone or masonry veneer shall be permitted in accordance with the provisions of Sections R702.1 and R703.

3. Fireplaces and chimneys shall be permitted in accordance with Chapter 10.

**R301.2.2.3 Stone and masonry veneer.**  
Anchored stone and masonry veneer shall comply with the requirements of Sections R702.1 and R703.

**R301.2.2.4 Masonry construction.**  
Masonry construction in Seismic Design Categories DO and DI shall comply with the requirements of Section R606.12.1. Masonry construction in Seismic Design Category D2 shall comply with the requirements of Section R606.12.4.

**R301.2.2.5 Concrete construction.**  
Buildings with exterior above-grade concrete walls shall comply with PCA 100 or shall be designed in accordance with ACI 318.

**Exception:** Detached one- and two-family dwellings in Seismic Design Category C with exterior above-grade concrete walls are allowed to comply with the requirements of Section R606.

**R301.2.3 Snow loads.**  
Wood-framed construction, cold-formed, steel-framed construction and masonry and concrete construction, and structural insulated panel construction in regions with ground snow loads 10 pounds per square foot (3.35 kPa) or less, shall be in accordance with Chapters 5, 6 and 8. Buildings in regions with ground snow loads greater than 10 pounds per square foot (3.35 kPa) shall be designed in accordance with accepted engineering practice.

**R301.4 Dead load.**  
The actual weights of materials and construction shall be used for determining dead load with consideration for the dead load of fixed service equipment.

**R301.5 Live load.**  
The minimum uniformly distributed live load shall be as provided in Table R301.5.

**TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (IN POUNDS PER SQUARE FOOT)**

USE	LIVE LOAD
Attics without limited storage <sup>a</sup>	10
Attics with limited storage <sup>a</sup>	20
Habitable attics & Attics served with fixed stairs	30
Exterior balconies and decks <sup>a</sup>	40
Fire Escapes	40
Guardrails & handrails <sup>a</sup>	200 <sup>b</sup>
Guardrails in-fill components <sup>a</sup>	50 <sup>b</sup>
Passenger Vehicles Garages <sup>a</sup>	50 <sup>c</sup>
Rooms other than sleeping	40
Sleeping Rooms	30
	40 <sup>d</sup>

FOR SI: 1 POUND PER SQUARE FOOT = 0.0479 KPA, 1 SQUARE INCH = 645 MM2.

1 POUND = 4.45 N.

A. ELEVATED GARAGE FLOORS SHALL BE CAPABLE OF SUPPORTING A 2,000-POUND LOAD APPLIED OVER A 20-SQUARE-INCH AREA.

b. UNINHABITABLE ATTIC WITH STORAGE ARE THOSE WHERE THE CLEAR HEIGHT BETWEEN JOISTS AND RAFTERS IS NOT MORE THAN 42 INCHES, OR WHERE THERE ARE NOT TWO OR MORE ADJACENT TRUSSES WITH WEB CONFIGURATIONS CAPABLE OF ACCOMMODATING AN ASSUMED RECTANGLE 42 INCHES IN HEIGHT BY 24 INCHES IN WIDTH OR GREATER, WITHIN THE PLANE OF THE TRUSSES. THIS LIVE LOAD NEED NOT BE ASSUMED TO ACT CONCURRENTLY WITH ANY OTHER LIVE LOAD REQUIREMENTS.

c. INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OR A 300-POUND CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQUARE INCHES, WHICHEVER PRODUCES THE GREATER STRESSES.

d. A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.

e. SEE SECTION R507.1 FOR DECKS ATTACHED TO EXTERIOR WALLS.

f. GUARD IN-FILL COMPONENTS (ALL THOSE EXCEPT THE HANDRAIL), BALUSTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT. THIS LOAD NEED NOT BE ASSUMED TO ACT CONCURRENTLY WITH ANY OTHER LIVE LOAD REQUIREMENT.

g. UNINHABITABLE ATTIC WITH LIMITED STORAGE ARE THOSE WHERE THE CLEAR HEIGHT BETWEEN JOISTS AND RAFTERS IS 42 INCHES OR GREATER, OR WHERE THERE ARE TWO OR MORE ADJACENT TRUSSES WITH WEB CONFIGURATIONS CAPABLE OF ACCOMMODATING AN ASSUMED RECTANGLE 42 INCHES IN HEIGHT BY 24 INCHES IN WIDTH OR GREATER, WITHIN THE PLANE OF THE TRUSSES. THE LIVE LOAD NEED ONLY BE APPLIED TO THOSE PORTIONS OF THE JOISTS OR TRUSS BOTTOM CHORDS WHERE ALL OF THE FOLLOWING CONDITIONS ARE MET:

1. THE ATTIC AREA IS ACCESSIBLE FROM AN OPENING NOT LESS THAN 20 INCHES IN WIDTH BY 30 INCHES IN LENGTH THAT IS LOCATED WHERE THE CLEAR HEIGHT IN THE ATTIC IS NOT LESS THAN 30 INCHES.

2. THE SLOPES OF THE JOISTS OR TRUSS BOTTOM CHORDS ARE NOT GREATER THAN 2 INCHES VERTICAL TO 12 UNITS HORIZONTAL.

3. REQUIRED INSULATION DEPTH IS LESS THAN THE JOIST OR TRUSS BOTTOM CHORD MEMBER DEPTH. THE REMAINING PORTIONS OF THE JOISTS OR TRUSS BOTTOM CHORDS SHALL BE DESIGNED FOR A UNIFORMLY DISTRIBUTED CONCURRENT LIVE LOAD OF NOT LESS THAN 10 POUNDS PER SQUARE FOOT.

h. GLAZING USED IN HANDRAIL ASSEMBLIES AND GUARDS SHALL BE DESIGNED WITH A SAFETY FACTOR OF 4. THE SAFETY FACTOR SHALL BE APPLIED TO EACH OF THE CONCENTRATED LOADS APPLIED TO THE TOP OF THE RAIL, AND TO THE LOAD ON THE IN-FILL COMPONENTS. THESE LOADS SHALL BE DETERMINED INDEPENDENT OF ONE ANOTHER, AND LOADS ARE ASSUMED NOT TO OCCUR WITH ANY OTHER LIVE LOAD.

**R301.7 DEFLECTION.** THE ALLOWABLE DEFLECTION OF ANY STRUCTURAL MEMBER UNDER THE LIVE LOAD LISTED IN SECTIONS R301.5 AND R301.6 SHALL NOT EXCEED THE VALUES IN TABLE R301.7.

**TABLE R301.7 ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS A/B**

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
Rafters having slopes greater than 3/12 with no finished ceiling attached to rafter	L/180
Interior walls and partitions	H/180
Floors	L/360
Ceilings with brittle finishes (including plaster & stucco)	L/360
Ceilings with brittle finishes (including gypsum board)	L/360
All other structural members	L/240
Exterior walls-wind loads* with plaster or stucco finish	H/360
Exterior walls-wind loads* with brittle finishes	H/240
Exterior walls-wind loads* with flexible finishes	H/120*
Lintel supporting masonry veneer walls	L/600

NOTE: L = SPAN LENGTH, H = SPAN HEIGHT.

a. FOR THE PURPOSE OF THE DETERMINING DEFLECTION LIMITS HEREIN, THE WIND LOAD SHALL BE PERMITTED TO BE TAKEN AS 0.7 TIMES THE COMPONENT AND CLADDING (ASD) LOADS OBTAINED FROM TABLE R301.2(2).

b. FOR CANTILEVER MEMBERS, L SHALL BE TAKEN AS TWICE THE LENGTH OF THE CANTILEVER.

c. FOR ALUMINUM STRUCTURAL MEMBERS OR PANELS USED IN ROOFS OR WALLS OF SUNROOM ADDITIONS OR PATIO COVERS, NOT SUPPORTING EDGE OF GLASS OR SANDWICH PANELS, THE TOTAL LOAD DEFLECTION SHALL NOT EXCEED L/60. FOR CONTINUOUS ALUMINUM STRUCTURAL MEMBERS SUPPORTING EDGE OF GLASS, THE TOTAL LOAD DEFLECTION SHALL NOT EXCEED L/15 FOR EACH GLASS LITE OR L/60 FOR THE ENTIRE LENGTH OF THE MEMBER, WHICHEVER IS MORE STRINGENT. FOR SANDWICH PANELS USED IN ROOFS OR WALLS OF SUNROOM ADDITIONS OR PATIO COVERS, THE TOTAL LOAD DEFLECTION SHALL NOT EXCEED L/120.

d. DEFLECTION FOR EXTERIOR WALLS WITH INTERIOR GYPSUM BOARD FINISH SHALL BE LIMITED TO AN ALLOWABLE DEFLECTION OF H/180.

e. REFER TO SECTION R703.8.2.

REV.	DATE	COMMENT
1	11-8-21	ISSUED FOR FILING TO THE VILLAGE OF FREEPORT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ENGINEER. REPRODUCTION WILL BE PROSECUTED. CONTRACTORS SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF WORK. NO ALLOWANCES SHALL BE MADE ON BEHALF OF THE CONTRACTOR FOR ANY ERRORS OR DEFECTS ON HIS PART. IT IS A VIOLATION OF SECTION 2002 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER ANY ITEM IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX HIS SEAL AND A NOTATION ALTERED BY, FOLLOWED BY HIS SIGNATURE AND DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION SHALL BE NOTED.

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PROJECT #:

DRAWN BY: J.G.

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**TAYLOR RESIDENCE**

159 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK, 11520

SCOPE: PROPOSED INTERIOR ALTERATIONS  
AND FULL SECOND STORY ADDITION

GENERAL EXCAVATION NOTES:	CONCRETE NOTES:	STRUCTURAL STEEL	SHEATING
<p>1. THERE ARE A NUMBER OF UNDERGROUND UTILITIES LOCATED IN THE AREA, PRECAUTIONS SHALL BE TAKEN SO THAT THE UNDERGROUND UTILITY LINES ARE NOT DAMAGED DURING CONSTRUCTION ANY INTERFERENCE WITH THE EXISTING UTILITY LINES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER.</p> <p>2. CONTRACTORS SHALL PROTECT ALL EXISTING STRUCTURES, UTILITIES, MONUMENTS BENCHMARKS AND NEWLY CONSTRUCTED WORK SHOWN ON THE CONTRACT DRAWINGS OR DISCOVERED DURING THE WORK. THE OWNER SHALL BE NOTIFIED OF ANY INTERFERENCE FOR RESOLUTION.</p> <p>3. EXCAVATION SHALL BE PERFORMED TO THE DEPTH AND PLAN DIMENSIONS INDICATED SHALL BE BACK FILLED TO THE REQUIRED LEVEL WITH LEAN CONCRETE. FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL OR CONTROLLED BACK FILL. IF NOT REQUIRED SOIL BEARING IS NOT VERIFIED BY THE SOILS ENGINEER AT THIS ELEVATION, EXCAVATIONS SHALL BE CONTINUED UNTIL ADEQUATE SOIL BEARING IS OBTAINED. PLACE CONTROLLED BACK FILL IN ACCORDANCE WITH THE FOLLOWING COMPACT ION CRITERIA.</p> <p>4. THE MAXIMUM SLOPE BETWEEN THE BOTTOMS OF TWO ADJACENT FOOTINGS SHALL NOT BE EXCEED 1 HORIZONTAL TO 1 VERTICAL. PRIOR TO POURING ANY FOOTING LOCATION, A CERTIFIED SOIL ENGINEER SHALL INSPECT THE BOTTOM OF THE FOOTING TO VERIFY THAT THE SOIL CONDITION IS CAPABLE OF THE ALLOWABLE 2 TON PER SQ. FT. BEARING PRESSURE. IF ADJACENT SOIL ARE NOT ENCOUNTERED AT THE DESIGN ELEVATION, THE OWNER SHALL BE NOTIFIED AND THE EXCAVATION CONTINUED.</p> <p>6. BACK FILL SHALL NOT BE PLACED UNTIL THE CONSTRUCTION HAS BEEN INSPECTED AND APPROVED BY OWNER EXCAVATION SHALL BE FREE OF FORMS AND CLEANED OF TRASH WHEN BACK FILL IS PLACED. BACK FILL SHALL NOT BE PLACED ON MUDDY SURFACES. ALL STRUCTURES SHALL BE BACK FILLED EVENLY.</p> <p>7. GRANULAR FILL BELOW SLABS ON GRADE SHOULD BE WELL GRADED COURSED STONE OR GRAVEL WITH A MAXIMUM SIZE OF 1/2 INCH AND SHOULD BE FREE OF ORGANIC MATERIALS. GRANULAR FILL PLACED AGAINST FOUNDATION WALLS SHOULD BE FREE DRAINING GRAVEL.</p> <p>8. FOR SLABS ON GRADE THE TOP SOIL COVERING THE EXISTING FILL SHALL BE REMOVED. THE EXISTING FILL SHALL BE COMPACTED WITH NO LESS THAN 10 UNIFORM OVERLAPPING COVERAGES OF A SMOOTH RUM VIBRATING ROLLER HAVING A STATIC DRUM WEIGHT OF NO LESS THAN 3 TONS. STRUCTURAL BACK FILL UNDER SLAB ON GRADE SHOULD BE PLACED IN UNIFORM LIFTS HAVING LOOSE THICKNESS NOT MORE THAN ITS MAXIMUM DRY UNTIL HEIGHT AS DETERMINED IN ACCORDANCE WITH ASTM D697-78 PROOF ROLLING AND SUB GRADE COMPACTION SHOULD BE PERFORMED OVER AN AREA EXTENDED 10 FEET BEYOND THE FOOTING.</p> <p>9. WHERE SLAB ON GRADE FRAME INTO GRADE BEAMS, EACH SIDE OF THE GRADE BEAM SHALL BE BACK FILLED SIMULTANEOUSLY, SUCH THAT NO UNBALANCED LATERAL EARTH PRESSURES ARE IMPOSED ON THE GRADE BEAM</p> <p>10. CONTRACTOR SHALL GRADE AREA TO PREVENT WATER ACCUMULATION</p> <p>11. UPON COMPLETION OF ALL INSTALLATIONS EXCAVATED AND FILLED SECTIONS, ADJACENT TRANSITION AREAS AND AREAS WITHIN THE LIMITS INDICATED ON THE CONTRACT DRAWINGS FOR WHICH FINISHED GRADES ARE NOT SHOWN SHALL BE INFORMALLY SMOOTH GRADED TO THE CONTOURS OF ADJACENT AREAS.</p> <p>12. GRANULAR SOIL SHALL BE PLACED AND COMPACTED IN LOOSE FIT, THICKNESS NOT EXCEEDING SIX INCHES (6") AND COMPACTED WITH A VIBRATORY ROLLER TO DETERMINE THE LIMITS FOR THE RELATIVE DENSITY COMPUTATION FOR GRANULAR SOILS ACCORDING TO ASTM</p> <p>13. COHESIVE SOILS SHALL BE PLACED AND COMPACTED IN LOOSE LIFTS NO GRATER THAN EIGHT INCHES (8") THICKNESS. COMPACTION SHALL BE ACCOMPLISHED USING A SEGMENTED WHEELER OR A SKEEPS FOOT DETERMINE THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ATSM</p>	<p>1. DESIGN, MATERIAL AND METHOD OF CONSTRUCTION SHALL COMPLY WITH THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE ACI 318 LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE. COMPRESSIVE STRENGTH AT 28 DAYS (F<sub>c</sub>) FOR REINFORCED CONCRETE SHALL BE 3000 PSI. (AIR-ENTRAINED) &amp; 3500 PSI LIGHTWEIGHT CONCRETE FOR SLAB ON METAL DECK.</p> <p>2. CONCRETE AND REINFORCING MATERIALS SHALL CONFORM TO THE FOLLOWING STANDARDS:</p> <p>A. PORTLAND CEMENT AS PER ASTM C150.</p> <p>B. AIR-ENTRAINING ADMIXTURES SHALL CONFORM TO ASTM C-260.</p> <p>C. CONCRETE AGGREGATES AS PER ASTM C33 OR ASTM C330.</p> <p>D. WATER SHALL BE CLEAN AND FREE FROM INJURIOUS AMOUNTS OF OILS, ACIDS, ALKALIS, SALT, ORGANIC MATERIALS AND DELETERIOUS SUBSTANCES.</p> <p>E. DEFORMED REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60.</p> <p>F. WELDED SMOOTH WIRE FABRIC FOR CONCRETE REINFORCEMENT SHALL CONFORM TO ASTM A185 AND A82</p> <p>3. ALL BARS SHALL BE SECURELY HELD IN PROPER POSITION WHILE PLACING CONCRETE. IF REQUIRED, ADDITIONAL BARS OR STIRRUPS SHALL BE PROVIDED BY THE CONTRACTOR TO THAT EFFECT.</p> <p>4. MINIMUM CONCRETE COVER OF REINFORCEMENT SHALL BE AS PER ACI-318, LATEST EDITION.</p> <p>5. PROVIDE MINIMUM W/UF: 6X6 - W 2.9 X W 2.9 WELDED WIRE FABRICS IN CONCRETE SLABS. PLACE MESH 1" CLEAR FROM THE TOP OF SLAB.</p> <p>6. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REINFORCING STEEL TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.</p> <p>7. CONTRACTOR SHALL SUBMIT DESIGN MIX TO THE ENGINEER FOR APPROVAL. THE CONTRACTOR SHALL TEST A MINIMUM OF TWO CYLINDERS FROM EACH MIX/DELIVERY TO VERIFY STRENGTH AND SUBMIT RESULTS TO THE ENGINEER.</p> <p>8. ON-SITE INSPECTION: CONTROLLED INSPECTIONS CONDUCTED BY AN INDEPENDENT TESTING LABORATORY RETAINED BY THE CONTRACTOR. THE FOLLOWING TESTS AND CHECKING SHALL BE PERFORMED AND DOCUMENTED:</p> <p>1) PREPARATION AND TESTING OF CYLINDERS.</p> <p>2) SLUMP.</p> <p>3) AIR CONTENT.</p> <p>4) UNIT WEIGHT.</p> <p>5) VERIFY THAT WEIGHTS AND RATIO CONFORM WITH THE PRE-QUALIFIED MIX, ADJUSTED FOR MOISTURE CONTENT AND GRADATION OF AGGREGATES.</p> <p>6) TEMPERATURE.</p> <p>7) SIZE AND DIMENSIONS OF CONCRETE AND FORM MEMBERS.</p> <p>8) SIZE AND POSITIONS OF REINFORCING.</p> <p>9) PLACEMENT OF CONCRETE, TEMPERATURE PROTECTION AGAINST EXCESSIVE TEMPERATURE CURING.</p> <p>10) FILING AND OBTAINING APPROVAL OF ALL TEST AND INSPECTION REPORTS INCLUDING CONCRETE PRODUCERS CERTIFICATES WITH BUILDING DEPARTMENT (IF REQUIRED).</p> <p>9. ALL FOOTINGS AND SLAB SHALL BE INSTALLED ON UNDISTURBED SOIL. REMOVE AND DISPOSE OF ALL ORGANIC MATERIAL AND REPLACE LEAN CONCRETE. ALL OTHER FILL MATERIAL AND REPLACE COMPACTED TO 95%</p>	<p>1. DESIGN FABRICATION AND ERECTION SHALL CONFORM TO THE LATEST EDITIONS OF THE AISC "SPECIFICATIONS FOR THE DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS."</p> <p>2. STRUCTURAL STEEL SHALL BE ASTM A990 (WIDE FLANGE SHAPES) OR A500, GRADE B (STRUCTURAL TUBING).</p> <p>3. SHOP OF FIELD BOLTED CONNECTIONS SHALL BE FRICTION TYPE USING HIGH STRENGTH 3/4" &amp; A-325 BOLTS IN ACCORDANCE WITH THE AISC SPECIFICATION FOR STRUCTURAL JOINTS USING A-325 OR A-440 BOLTS, LATEST EDITION.</p> <p>4. ALTERNATE CONNECTION DETAILS MAY BE USED IF SUCH DETAILS ARE SUBMITTED TO THE ENGINEER FOR REVIEW AND ACCEPTANCE IS APPROVED, HOWEVER THE ENGINEER SHALL BE THE SOLE JUDGE OF ACCEPTABILITY AND THE CONTRACTORS BID SHALL ANTICIPATE THE USE OF THOSE SPECIFIC DETAILS SHOWN ON THE DRAWINGS IN ANY EVENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ANY ALTERNATE DETAILS. THE APPROVED ALTERNATE DETAIL SHALL BE INCORPORATED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.</p> <p>5. ANCHOR BOLTS SHALL BE PRE TENSIONED TO MINIMUM YIELD POINT SPECIFIED FOR STEEL CONFORMING TO ASTM A307.</p> <p>6. INCORRECTLY FABRICATED DAMAGED OR OTHERWISE MIS-FITTING OR NON-CONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO REMEDIAL ACTION. ANY SUCH ACTION SHALL REQUIRE APPROVAL AND THE CONTRACTOR IS TOTALLY RESPONSIBLE FOR THE CORRECTIVE MEASURES AT NO EXPENSE TO THE OWNER.</p> <p>7. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR STRUCTURAL STEEL FOR APPROVAL TO THE ENGINEER BEFORE PROCEEDING WITH ANY WORK. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ASSUME FULL RESPONSIBILITY FOR DIMENSIONAL CORRECTNESS. ARCHITECTURAL DRAWINGS ARE TO BE REPRODUCED FOR USE AS SHOP DRAWINGS. CONTRACTORS SHALL REFER TO MECHANICAL AND ARCHITECTURAL DRAWINGS FOR LOCATION OF OPENINGS AND RECESSES.</p> <p>8. ALL WELDING SHALL COMPLY WITH THE AMERICAN WELDING SOCIETY (AWS) STRUCTURAL WELDING CODE D11-06. WELDING SHALL BE SUPERVISED AND INSPECTED BY AN APPROVED INSPECTION AGENCY AND A LICENSED PROFESSIONAL ENGINEER RETAINED BY THE OWNER THE INSPECTING PROFESSIONAL ENGINEER SHALL FILE ALL NECESSARY INSPECTION REPORTS AND AMENDMENTS AS REQUIRED BY THE LOCAL CODE. ALL WELDING TO BE PERFORMED WITH E70 ELECTRODES UNLESS OTHERWISE NOTED OR REQUIRED FOR CONNECTION TO EXISTING STEEL REMOVE ALL DIRT, GREASE, PAINT AND BURRS WITHIN 3" OF ALL WELDS. ALL BEAM SPLICES SHALL DEVELOP THE FULL STRENGTH OF THE MEMBERS.</p> <p>9. ALL WELDS NOT SPECIFICALLY CALLED OUT SHALL BE AT LEAST THE MINIMUM WELD SIZE AS SPECIFIED BY THE AISC, LATEST EDITION.</p> <p>10. TEMPORARY BRACING SHALL BE INTRODUCED WHEREVER NECESSARY TO PROVIDE FOR ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECTED DURING CONSTRUCTION INCLUDING EQUIPMENT AND THE OPERATIONS OF SAME SUCH BRACING SHALL BE DESIGNED AND INSTALLED BY THE CONTRACTOR AND SHALL BE LEFT IN PLACE AS LONG AS REQUIRED FOR SAFETY.</p> <p>11. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND COORDINATE DIMENSIONS CLEARANCES, ETC. WITH THE WORK OF OTHER TRADES.</p>	<p>1. PLYWOOD SHEATING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE SHALL BE IN CONFORMANCE WITH APA STANDARDS. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATINGS AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.</p> <p>ROOF SHEATING SHALL BE 3/4"(NOM) WITH SPAN RATING 24/0.</p> <p>FLOOR SHEATING SHALL BE 3/4"(NOM) WITH SPAN RATING 40/20.</p> <p>WALL SHEATING SHALL BE 3/4"(NOM) WITH SPAN RATING 24/0.</p> <p>2. PLYWOOD ROOF AND FLOOR SHEATING TO BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED WITH 8D NAILS AT 6" O.C. TO FRAMED PANEL EDGES AND OVER STUD WALLS AS SHOWN ON PLANS AND AT 12" O.C. TO INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE. PROVIDE APPROVED PLYWOOD EDGE AND CLIPS AT 16" O.C. AT UNLOCKED ROOF SHEATING EDGES. ALL FLOOR SHEATING EDGES SHALL HAVE APPROVED TONGUE-AND-GROOVE JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. TOENAIL BLOCKING TO SUPPORTS WITH 160 @ 12" O.C. UNLESS NOTED OTHERWISE. AT BLOCKED FLOOR AND ROOF DIAPHRAGMS PROVIDE FLAT 2X BLOCKING AT ALL UNFRAMED PLYWOOD PANEL EDGES AND NAIL WITH EDGE NAILING SPECIFIED.</p> <p>WOOD FRAMING NOTES: ALL STUD WALLS SHOWN AND NOT OTHERWISE NOTED SHALL BE 2X4 STUDS @ 16" O.C. AT INTERIOR WALLS AND 2X6 @ 24" O.C. AT EXTERIOR WALLS. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND ONE STUD AT EACH SIDE OF ALL OPENINGS. TWO 2X8 INSULATED HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOOR TO SUPPORTS BELOW. WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A SINGLE SPICE TO TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16D NAILS AND TOENAIL, OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16D NAILS. SPICE TOP PLATE WITH SIMPSON" C. L7X2". ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH 16D NAILS AT 12" O.C. STAGGERED OR BOLTED TO CONCRETE WITH 3/8" DIAMETER ANCHOR BOLTS (WITH 1" MINIMUM EMBEDMENT) AT 4'-0" O.C. UNLESS NOTED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH 16D @ 4" O.C. STAGGERED. REFER TO THE PLANS AND WALL SCHEDULE FOR REQUIRED SHEATING AND NAILING. WHEN NOT OTHERWISE NOTED, PROVIDE GYPSUM WALLBOARD ON INTERIOR SURFACE NAILED TO ALL STUDS, TOP AND BOTTOM PLATES AND BLOCKING NAILS AT 1" O.C. OR GYPSUM WALLBOARD CLIPS. USE 501 COOLER NAILS FOR 3/8" 6X6S AND 60 COOLER NAILS FOR 5/8" 6X6S. WHEN NOT OTHERWISE NOTED, PROVIDE 3/4"(NOM) APARTED SHEATING (SPAN RATING 24) ON EXTERIOR SURFACES NAILED AT ALL PANEL EDGES (BLOCK UNSUPPORTED EDGES), TOP AND BOTTOM PLATED WITH 8D @ 6" O.C. AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8D @ 6" O.C. AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8D @ 12" O.C. ALLOW 1/8" SPACINGS AT ALL PANEL EDGES AND ENDS.</p> <p>USE FULL LENGTH STUDS (SALOON FRAME) OR EXTERIOR WALLS AT STAIRWAYS AND AT VAULTED CEILINGS.</p> <p>3. ALL COLUMNS AND POSTS SUPPORTING BEAMS NOT SPECIFIED FOR SIZE ON PLANS SHALL CONSIST OF 2 STUDS SPIKE-LAMINATED TOGETHER WITH 16D NAILS 9" O.C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS, TOENAIL JOISTS TO SUPPORTS WITH TIMBER CONNECTORS CALLED OUT BY LETTER AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR MOST RECENT CATALOG. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICSO APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY THE MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER. ALL BOLTS IN WOOD MEMBERS SHALL FORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE COMMON. ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED. HANGERS IN DIRECT CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE EITHER STAINLESS STEEL (S31300), POST HOT-DIPPED GALVANIZED (HOG OR GALVANIZED WITH A MINIMUM OF 1.050Z ZINC PER SQUARE INCH (MAX). UNLESS NOTED OTHERWISE, ALL LUMBER JOISTS SHALL BE CONNECTED TO FLISH BEAMS WITH "LUS" SERIES JOIST HANGERS. FRAMING LUMBER SHALL BE KILN DRIED OR MC-15, AND GRADED AND MARKED IN CONFORMANCE WITH NCLIB STANDARD GRADING RULES FOR WEST COAST LUMBER NO. IT, LATEST EDITION. ALL WOOD FRAME CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF THE IBC AS A MINIMUM REQUIREMENT. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:</p>

**GENERAL NOTES:**

- CONTRACTOR SHALL INTERFACE WITH UTILITY COMPANIES INVOLVED FOR GAS, WATER, ELECTRIC ETC. REQUIRED TO SHUT DOWN OR DISCONNECT IN ASSOCIATION WITH SCHEDULED SITEWORK.
- CONDUCT SITEWORK OPERATIONS AND DEBRIS REMOVALS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT USED OR OCCUPIED FACILITIES.
- DO NOT CLOSE, BLOCK OR OTHERWISE OBSTRUCT STREETS, WALKS AND OTHER ADJACENT FACILITIES WITHOUT WRITTEN PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
- PRIOR TO ANY SITEWORK, CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS WITH LOCAL MUNICIPALITIES AND AUTHORITIES HAVING JURISDICTION FOR CLEARING, GRADING AND RELATED SITEWORK.
- IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.

**CONSTRUCTION NOTES:**

- ALL PERMITS AND REQUIRED APPROVALS SHALL BE SECURED BY CONTRACTOR PRIOR START OF RELATED WORK.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL ZONING, BUILDING CODE AND REGULATIONS.
- ALL CONSTRUCTION MATERIALS AND METHODS SHALL COMPLY TO STATE AND LOCAL BUILDING CODES.
- DO NOT SCALE DRAWINGS. USE INDICATED DIMENSION REPORTS INCLUDING CONCRETE PRODUCERS CERTIFICATES WITH BUILDING DEPARTMENT (IF REQUIRED).
- CONTRACTOR TO PROVIDE DETAILED SPECIFICATIONS FOR ALL INTERIOR FINISH MATERIALS FOR OWNER AND ARCHITECT APPROVAL PRIOR TO CONSTRUCTION.
- CONSTRUCTION WORK WILL BE CONFINED AS INDICATED ON PLANS AND WILL NOT CREATE DUST, DIRT OR OTHER INCONVENIENCES TO OTHER AREAS.
- CONSTRUCTION OPERATIONS WILL INVOLVE MINIMUM INTERRUPTION OF HEATING, WATER, AND ELECTRICAL SERVICES TO PREMISES.
- CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS, AS GOVERNED BY LOCAL LAW.
- ALL ROUGH OPENINGS FOR WINDOWS SHALL BE VERIFIED IN FIELD PRIOR TO WINDOW PRODUCTION.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED APPROVALS, PERMITS, CERTIFICATE OF OCCUPANCY, INSPECTION APPROVALS, ETC. IN CONNECTION WITH WORK FROM AGENCIES HAVING JURISDICTION.
- PROVIDE GYPSUM BOARD ON ALL INTERIOR FINISHES (UNLESS INDICATED OTHERWISE). TAPE AND SPACKLE, LEVEL-4 FIN. 1 COAT PRIMER AND 2 COATS FINAL PAINT FIN AS SELECTED BY OWNER.
- PROVIDE 10 OZ. COPPER FLASHING WHERE REQUIRED.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP ON THE JOB FOR A PERIOD OF ONE YEAR FROM DATE OF COMPLETION.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS ON THESE PLANS WITH THOSE AT THE SITE. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTIONS NOT REPORTED ONCE HE HAS STARTED WORK, EXCEPT FOR HIDDEN CONDITIONS WHERE APPLICABLE.
- SITE PLAN DATA IS AS INDICATED ON SURVEY PROVIDED BY OWNER AND SHALL PREVAIL. SITE PLAN BY ARCHITECT IS MERELY A SCHEMATIC.
- NEW CONSTRUCTION SHALL COMPLY WITH NYS ENERGY CONSERVATION.

**ELECTRICAL NOTES:**

- ALL ELECTRICAL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE N.E.C.
- ELECTRICAL SHALL BE DULY LICENSED AND SECURE ALL PERMITS WITH STATE AND LOCAL MUNICIPALITIES TO PERFORM AND COMPLETE WORK.
- ALL ELECTRICAL DEVICES AND FIXTURES AS SELECTED BY OWNER

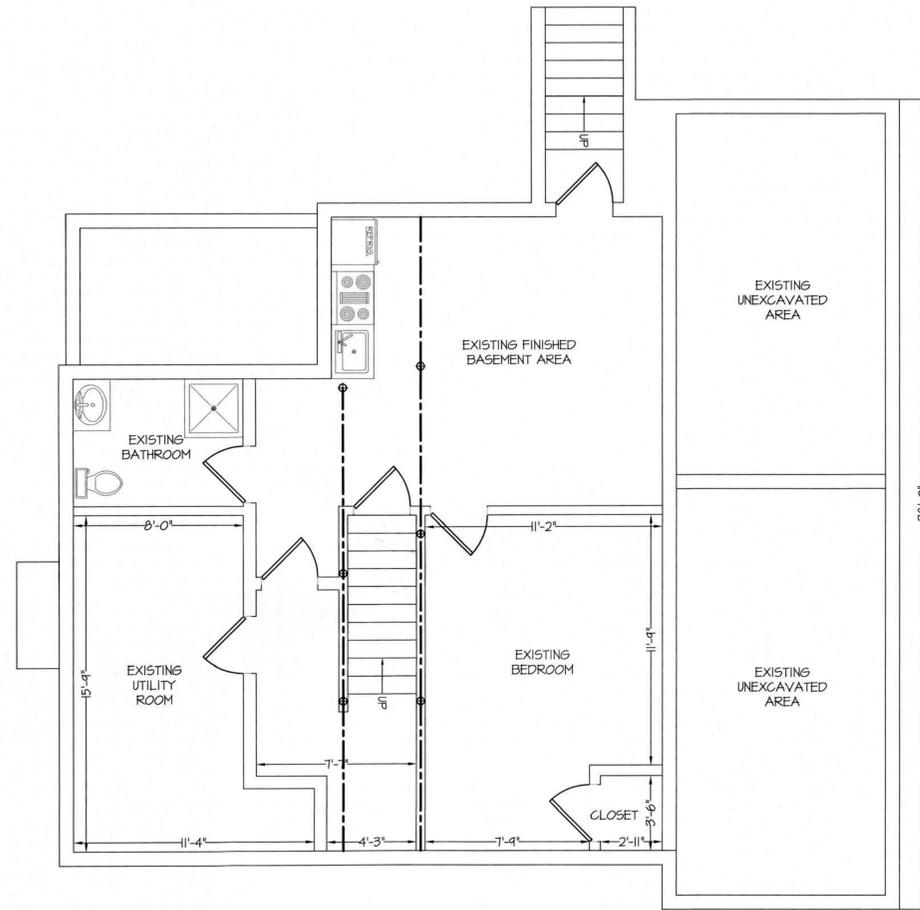
**PLUMBING NOTES:**

- ALL PLUMBING WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH NYS PLUMBING CODE AND LOCAL MUNICIPAL CODES.
- PLUMBER SHALL BE DULY LICENSED AND SECURE ALL PERMITS WITH STATE AND LOCAL MUNICIPALITIES AS REQUIRED TO PERFORM AND COMPLETE WORK.
- ALL PLUMBING FIXTURES AND TRIM AS SELECTED BY OWNER. LOCATIONS AND QUANTITIES AS INDICATED ON PLANS.
- PROVIDE 1/2" GN AND HM SUPPLIES AND RELATED VALVES AND DISCONNECTS AS REQUIRED AT NEW PLUMBING FIXTURES.

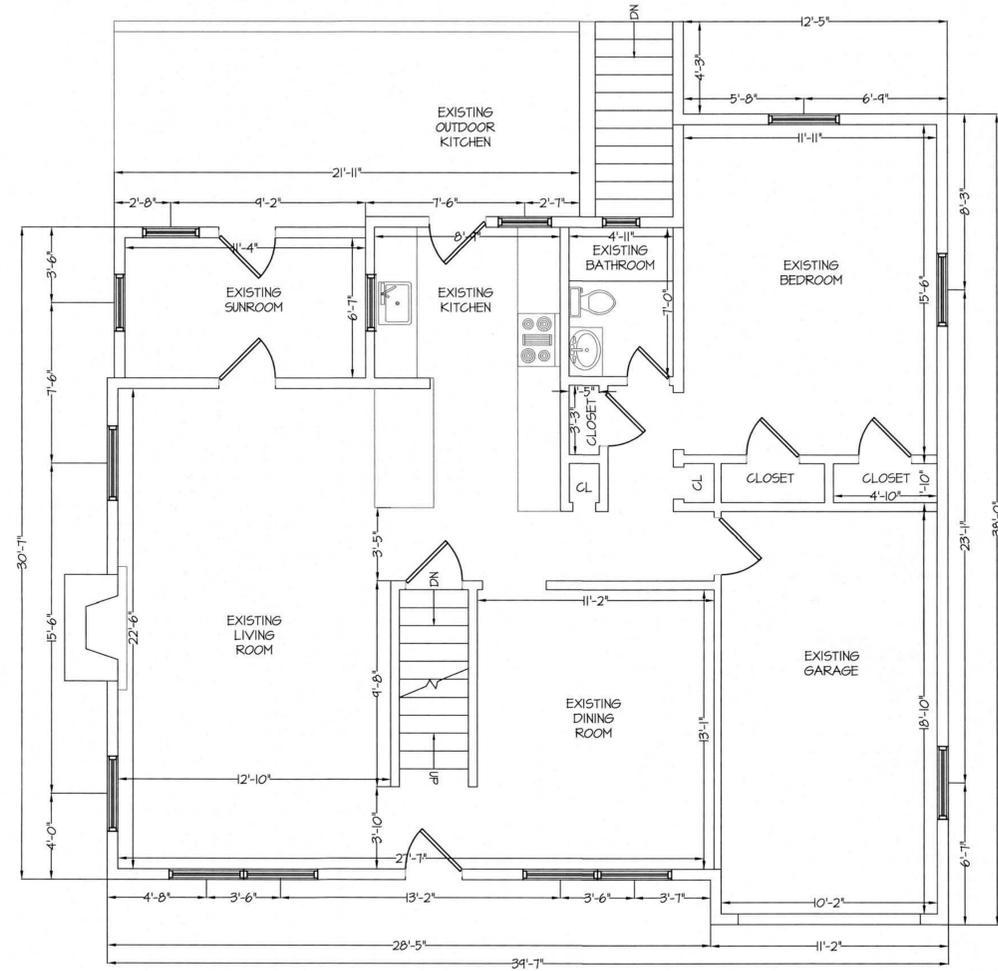
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ENGINEER. INFRACTION WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF WORK. NO ALLOWANCES SHALL BE MADE ON BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART. IT IS A VIOLATION OF SECTION 2602 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER ANY ITEM IN ANY MANNER. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX HIS SEAL AND DATE OF SUCH ALTERATION BE FOLLOWED BY HIS SIGNATURE AND DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION SHALL BE NOTED.

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EXISTING BASEMENT FLOOR PLAN  
SCALE: 1/4" = 1'-0"



EXISTING FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

SCOPE: PROPOSED INTERIOR ALTERATIONS  
AND FULL SECOND STORY ADDITION

# TAYLOR RESIDENCE

158 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK, 11520

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1	11-08-21	ISSUED FOR FILING TO THE VILLAGE OF FREEPORT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ENGINEER. INFORMATION SHALL BE PROVIDED TO THE CONTRACTOR FOR HIS REVIEW ONLY. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF WORK. NO ALLOWANCES SHALL BE MADE ON BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART. IT IS A VIOLATION OF SECTION 2202 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER ANY ITEM IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX HIS SEAL AND A NOTATION ALTERED BY, FOLLOWED BY HIS SIGNATURE AND DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION SHALL BE NOTED.



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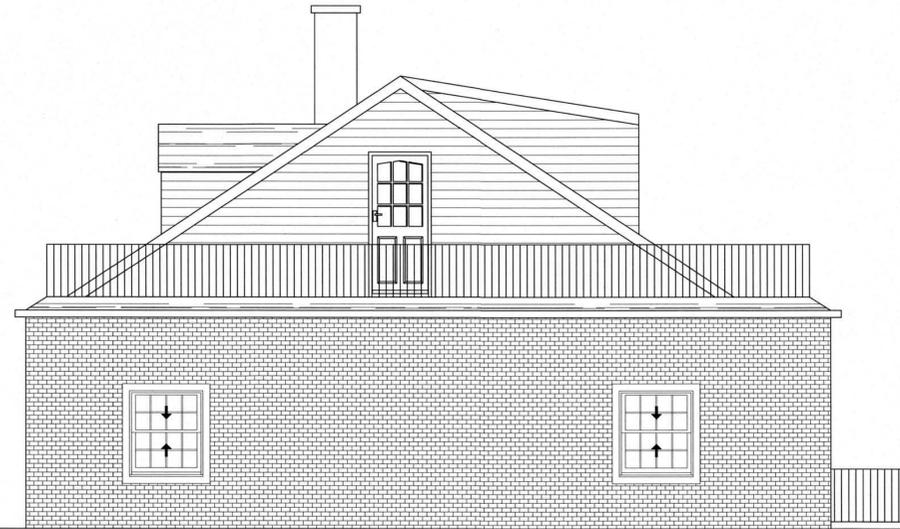
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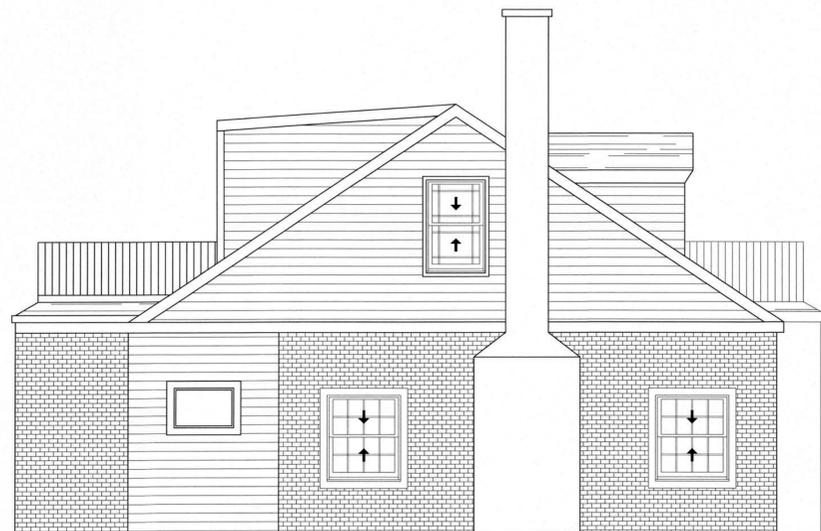




EXISTING FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



EXISTING RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



EXISTING LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



EXISTING BACK ELEVATION  
SCALE: 1/4" = 1'-0"

SCOPE: PROPOSED INTERIOR ALTERATIONS  
AND FULL SECOND STORY ADDITION

**TAYLOR RESIDENCE**

156 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK, 11520

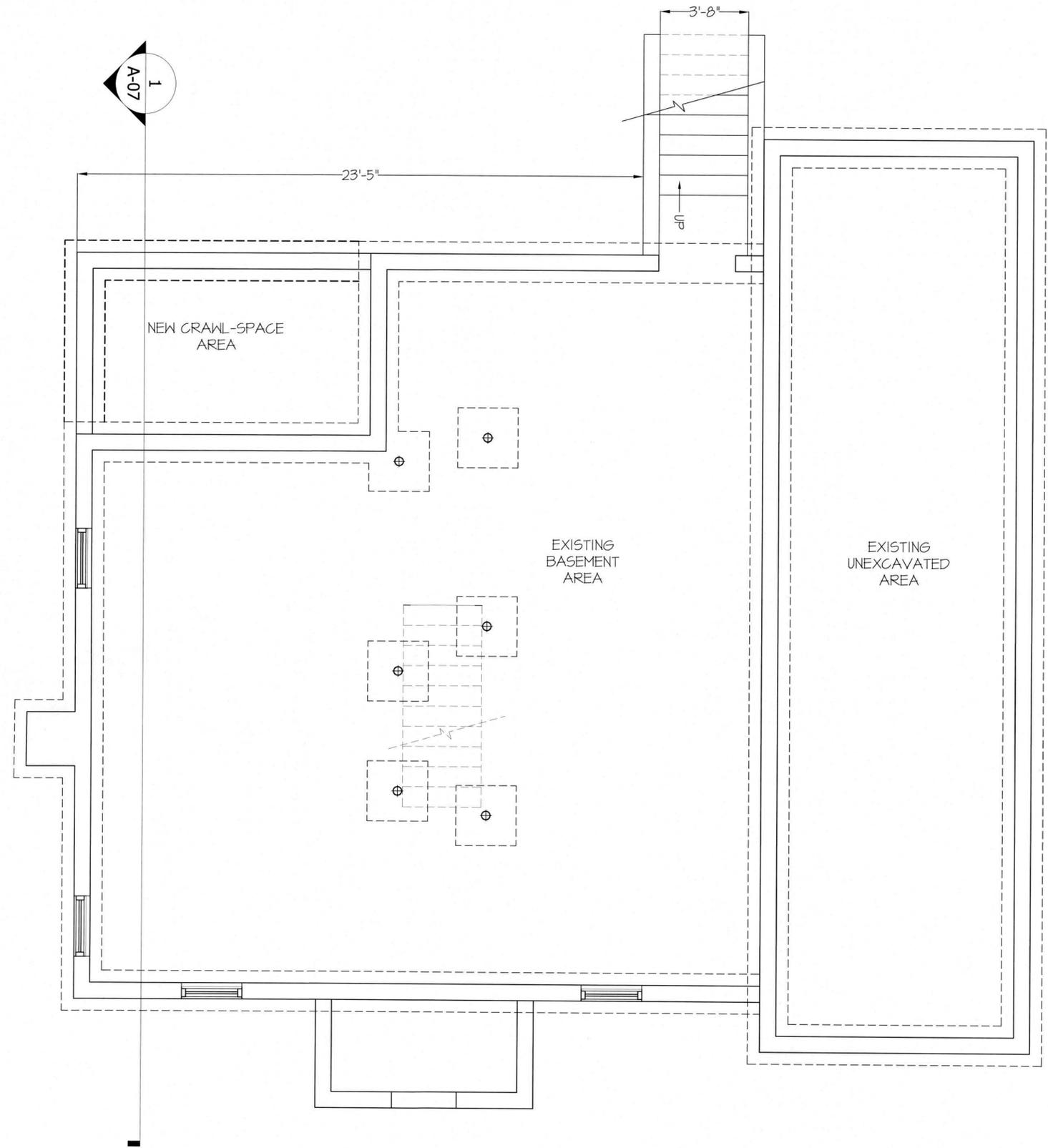
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ORIGINAL DATE:	10-12-2021
PROJECT #:	-
DRAWN BY:	J.G.
CHECKED BY:	R.S.
DRAWING TITLE:	EXISTING ELEVATIONS
DRAWING #	A-003.00
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**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

SCOPE: PROPOSED INTERIOR ALTERATIONS  
AND FULL SECOND STORY ADDITION

**TAYLOR RESIDENCE**

158 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK, 11520

REV	DATE	COMMENT
1	11-05-21	ISSUED FOR FILING TO THE VILLAGE OF FREEPORT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ENGINEER. INFRINGEMENT WILL BE PROSECUTED. CONTRACTORS SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF WORK. NO ALLOWANCES SHALL BE MADE ON BEHALF OF THE CONTRACTOR FOR ANY ERRORS OR NEGLIGENCE ON HIS PART. IT IS A VIOLATION OF SECTION 2000 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, IN ANY STATE, TO ACT AS AN UNDER DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER ANY ITEM IN ANY MANNER IF ANY ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED. THE ALTERING ENGINEER SHALL AFFIX HIS SEAL AND A NOTATION ALTERED BY, FOLLOWED BY HIS SIGNATURE AND DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION SHALL BE NOTED.

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ORIGINAL DATE: 10-12-2021

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DRAWING TITLE: FOUNDATION PLAN

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SCOPE: PROPOSED INTERIOR ALTERATIONS  
AND FULL SECOND STORY ADDITION

# TAYLOR RESIDENCE

158 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK, 11520

REV	DATE	COMMENT
1	11-8-21	ISSUED FOR FILING TO THE VILLAGE OF FREEPORT

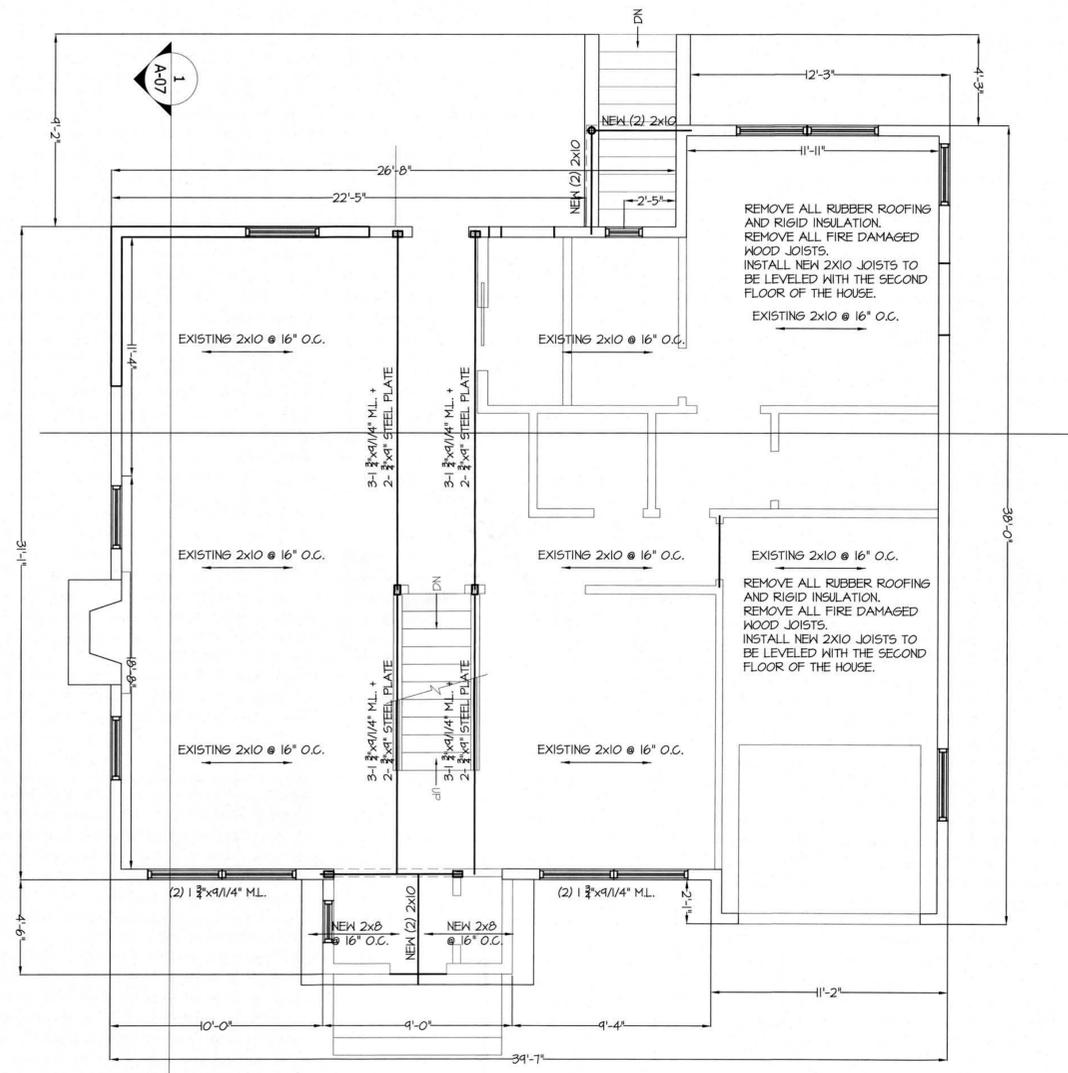
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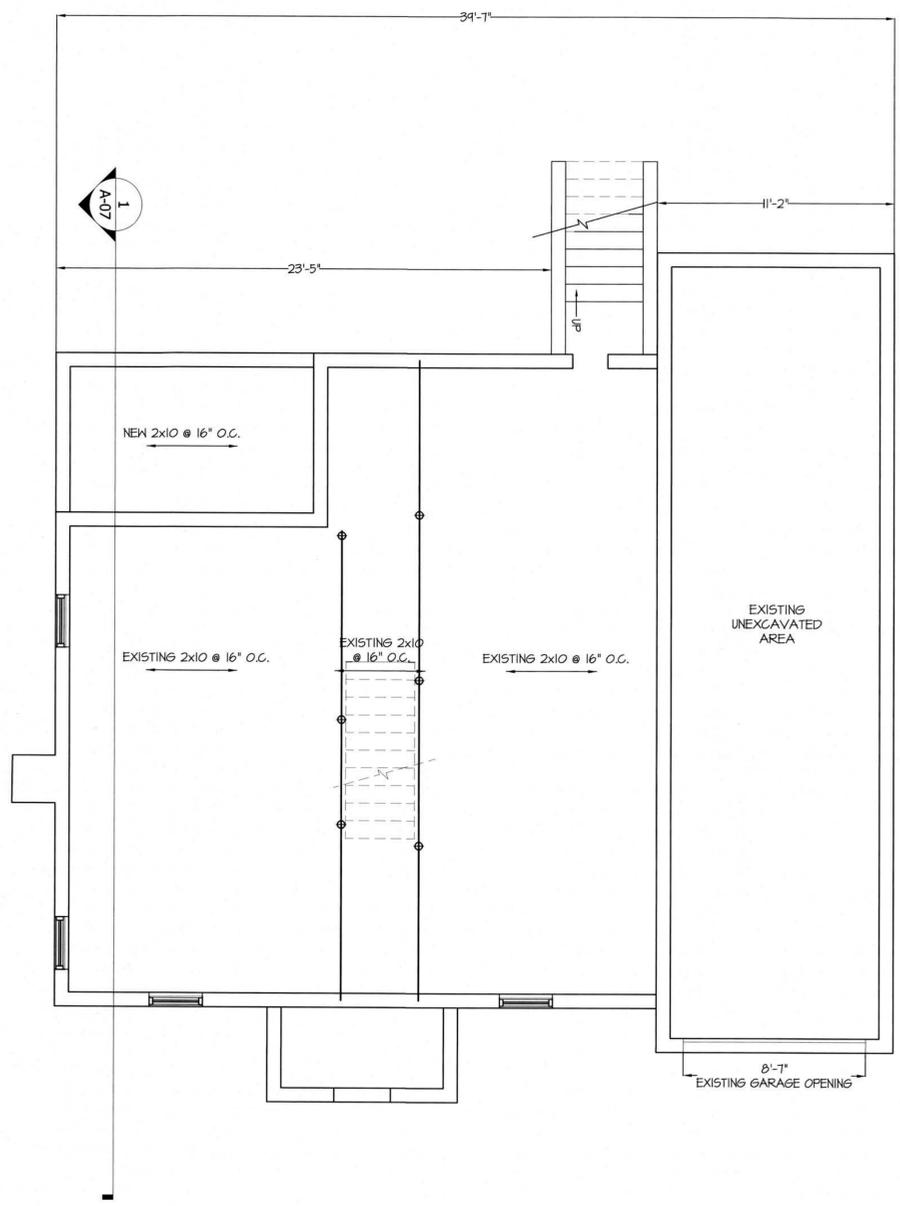
ORIGINAL DATE:	10-12-2021
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CHECKED BY:	R.S.
DRAWING TITLE:	FIRST & SECOND FLOOR FRAMING PLAN
DRAWING #:	A-005.00
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SECOND FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"

NOTE:  
ALL EXTERIOR HEADERS NOT SHOWN ARE (2) 2X10 + 1/2" PLYWOOD OR (2) 1 3/4"x4 1/4" ML.



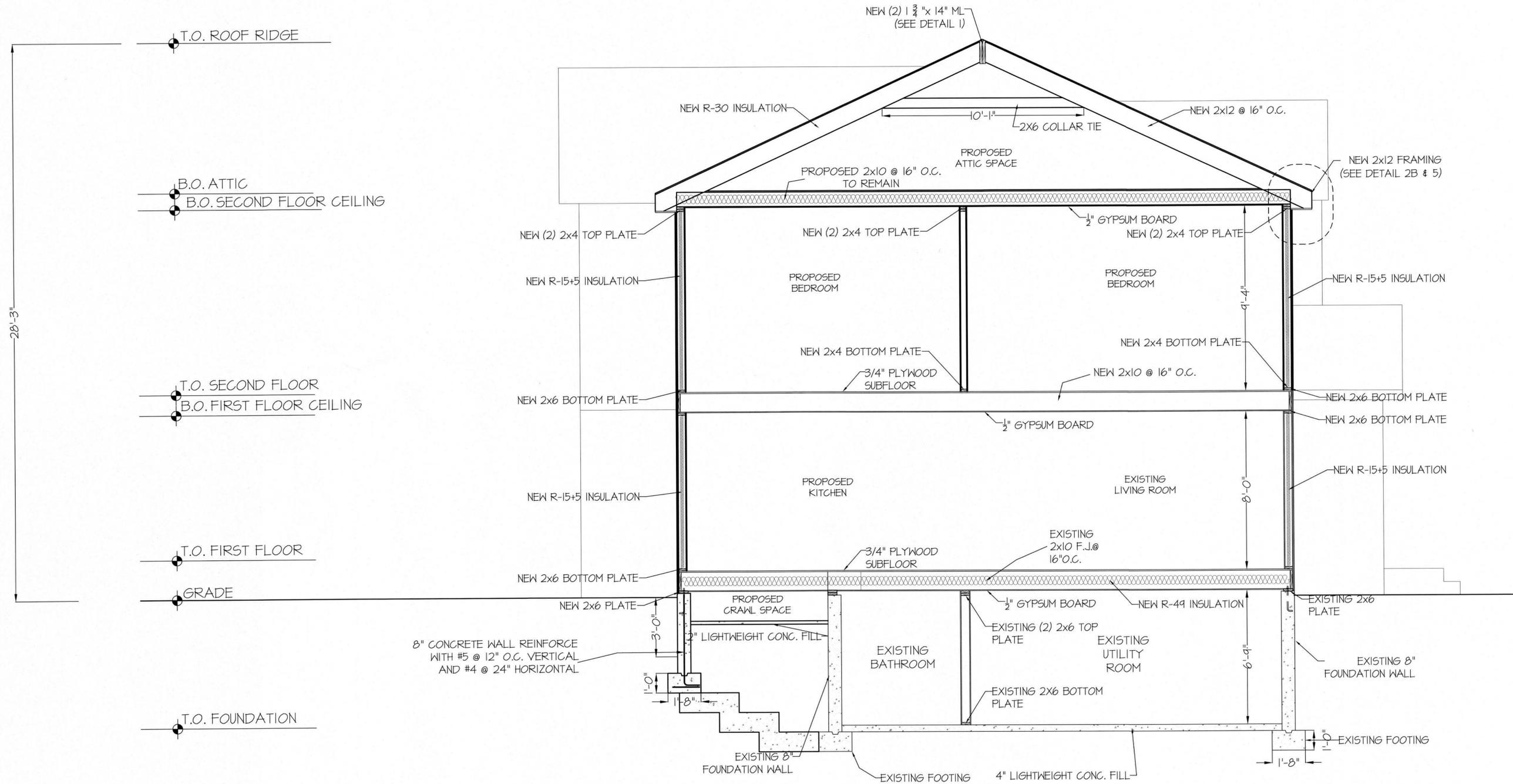
FIRST FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"



SCOPE: PROPOSED INTERIOR ALTERATIONS  
AND FULL SECOND STORY ADDITION

# TAYLOR RESIDENCE

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R402.1.4 U-FACTOR ALTERNATIVE

AN ASSEMBLY WITH A U-FACTOR EQUAL TO OR LESS THAN THAT SPECIFIED IN TABLE R402.1.4 SHALL BE PERMITTED AS AN ALTERNATIVE TO THE R-VALUE IN TABLE R402.1.2.

TABLE R402.1.4 EQUIVALENT U-FACTORS<sup>A</sup>

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	CEILING U-FACTOR	FRAME WALL U-FACTOR	MASS WALL U-FACTOR <sup>B</sup>	FLOOR U-FACTOR	BASEMENT WALL U-FACTOR	CRWL SPACE WALL U-FACTOR
1	0.50	0.75	0.035	0.084	0.147	0.064	0.360	0.471
2	0.40	0.65	0.030	0.084	0.165	0.064	0.360	0.471
3	0.35	0.55	0.030	0.060	0.098	0.047	0.091 <sup>C</sup>	0.136
4 EXCEPT MARINE	0.35	0.55	0.026	0.060	0.098	0.047	0.059	0.065
5 AND MARINE 4	0.32	0.55	0.026	0.060	0.082	0.033	0.050	0.055
6	0.32	0.55	0.026	0.045	0.060	0.033	0.050	0.055
T AND D	0.32	0.55	0.026	0.045	0.057	0.028	0.050	0.055

A. NONFENESTRATION U-FACTORS SHALL BE OBTAINED FROM MEASUREMENT, CALCULATION OR AN APPROVED SOURCE.

B. WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR, THE MASS WALL U-FACTORS SHALL BE A MAXIMUM OF 0.17 IN CLIMATE ZONE 1, 0.14 IN CLIMATE ZONE 2, 0.12 IN CLIMATE ZONE 3, 0.081 IN CLIMATE ZONE 4 EXCEPT MARINE, 0.065 IN CLIMATE ZONE 5 AND MARINE 4, AND 0.057 IN CLIMATE ZONES 6 THROUGH 8.

C. BASEMENT WALL U-FACTOR OF 0.360 IN WARM-HUMID LOCATIONS AS DEFINED BY FIGURE R301.1 AND TABLE R301.1.

R301.1 ATTIC ACCESS

BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION SHALL HAVE AN ATTIC ACCESS OPENING TO ATTIC AREAS THAT HAVE A VERTICAL HEIGHT OF 30 INCHES (762 MM) OR GREATER OVER AN AREA OF NOT LESS THAN 30 SQUARE FEET (2.8 M<sup>2</sup>). THE VERTICAL HEIGHT SHALL BE MEASURED FROM THE TOP OF THE CEILING FRAMING MEMBERS TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS.

THE ROUGH-FRAMED OPENING SHALL BE NOT LESS THAN 22 INCHES BY 30 INCHES (559 MM BY 762 MM) AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION, WHERE LOCATED IN A WALL, THE OPENING SHALL BE NOT LESS THAN 22 INCHES WIDE BY 30 INCHES HIGH (559 MM WIDE BY 762 MM HIGH), WHERE THE ACCESS IS LOCATED IN A CEILING, MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE 30 INCHES (762 MM) AT SOME POINT ABOVE THE ACCESS MEASURED VERTICALLY FROM THE BOTTOM OF CEILING FRAMING MEMBERS. SEE SECTION M305.1.3 FOR ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT IS LOCATED IN ATTICS.

R402.2.4 ACCESS HATCHES AND DOORS

ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SUCH AS ATTICS AND CRAWL SPACES SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES. ACCESS SHALL BE PROVIDED TO ALL EQUIPMENT THAT PREVENTS DAMAGING OR COMPRESSING THE INSULATION. A WOOD-FRAMED OR EQUIVALENT BAFFLE OR RETAINER IS REQUIRED TO BE PROVIDED WHEN LOOSE-FILL INSULATION IS INSTALLED, THE PURPOSE OF WHICH IS TO PREVENT THE LOOSE-FILL INSULATION FROM SPILLING INTO THE LIVING SPACE WHEN THE ATTIC ACCESS IS OPENED, AND TO PROVIDE A PERMANENT MEANS OF MAINTAINING THE INSTALLED R-VALUE OF THE LOOSE-FILL INSULATION.

EXCEPTION: VERTICAL DOORS THAT PROVIDE ACCESS FROM CONDITIONED TO UNCONDITIONED SPACES SHALL BE PERMITTED TO MEET THE FENESTRATION REQUIREMENTS OF TABLE R402.1.2 BASED ON THE APPLICABLE CLIMATE ZONE SPECIFIED IN CHAPTER 3.

R402.1.2 INSULATION AND FENESTRATION CRITERIA STATE AMENDMENT

THE BUILDING THERMAL ENVELOPE SHALL MEET THE REQUIREMENTS OF TABLE R402.1.2, BASED ON THE CLIMATE ZONE SPECIFIED IN CHAPTER 3, IN CLIMATE ZONE 6, THE BUILDING THERMAL ENVELOPE SHALL MEET EITHER THE REQUIREMENTS OF THE CLIMATE ZONE 6 'OPTION 1' ROW IN TABLE R402.1.2 OR THE REQUIREMENTS OF THE CLIMATE ZONE 6 'OPTION 2A' ROW IN TABLE R402.1.2.

TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT<sup>A</sup>

CLIMATE ZONE	FENESTRATION U-FACTOR <sup>B</sup>	SKYLIGHT <sup>B</sup> U-FACTOR	GLAZED FENESTRATION SHGC <sup>C</sup> & E	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE <sup>E</sup>	FLOOR R-VALUE	BASEMENT <sup>C</sup> WALL R-VALUE	SLAB <sup>D</sup> R-VALUE & DEPTH	CRWL SPACE <sup>D</sup> WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	30	13	4/6	13	0	0	0
3	0.35	0.55	0.25	30	20 OR 13+5 <sup>H</sup>	8/13	14	5/13 <sup>F</sup>	0	5/13
4 EXCEPT MARINE	0.35	0.55	0.40	44	20 OR 13+5 <sup>H</sup>	8/13	14	10/13	10, 2 FT	10/13
5 AND MARINE 4	0.32	0.55	NR	44	20 OR 13+5 <sup>H</sup>	13/17	30 <sup>G</sup>	15/14	10, 2 FT	15/14
6 OPTION 1	0.32	0.55	NR	44	20+5 OR 13+10 <sup>H</sup>	15/20	30 <sup>G</sup>	15/14	15, 4 FT	15/14
6 OPTION 2	0.20	0.55	NR	44	25 CAVITY	15/20	30 <sup>G</sup>	15/20	15, 4 FT	15/20
T AND D	0.32	0.55	NR	44	20+5 OR 13+10 <sup>H</sup>	14/20	30 <sup>G</sup>	15/14	10, 4 FT	15/14

FOR SI: 1 FOOT = 304.8 MM.

A. R-VALUES ARE MINIMUMS. U-FACTORS AND SHGC ARE MAXIMUMS. WHEN INSULATION IS INSTALLED IN A CAVITY WHICH IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE INSTALLED R-VALUE OF THE INSULATION SHALL NOT BE LESS THAN THE R-VALUE SPECIFIED IN THE TABLE.

B. THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION. EXCEPTION: SKYLIGHTS MAY BE EXCLUDED FROM GLAZED FENESTRATION SHGC REQUIREMENTS IN CLIMATE ZONES 1 THROUGH 3 WHERE THE SHGC FOR SUCH SKYLIGHTS DOES NOT EXCEED 0.30.

C. '15/14' MEANS R-15 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-14 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL. '15/14' SHALL BE PERMITTED TO BE MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME. '10/13' MEANS R-10 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.

D. R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS. INSULATION DEPTH SHALL BE THE DEPTH OF THE FOOTING OR 2 FEET, WHICHEVER IS LESS IN CLIMATE ZONES 1 THROUGH 3 FOR HEATED SLABS.

E. THERE ARE NO SHGC REQUIREMENTS IN THE MARINE ZONE.

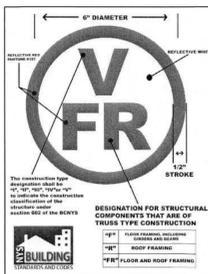
F. BASEMENT WALL INSULATION IS NOT REQUIRED IN WARM-HUMID LOCATIONS AS DEFINED BY FIGURE R301.1 AND TABLE R301.1.

G. OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-14 MINIMUM.

H. THE FIRST VALUE IS CAVITY INSULATION, THE SECOND VALUE IS CONTINUOUS INSULATION, SO '13+5' MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION.

I. THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.

DIAGRAM ONLY



R402.4.1.1 INSTALLATION

THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE R402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE.

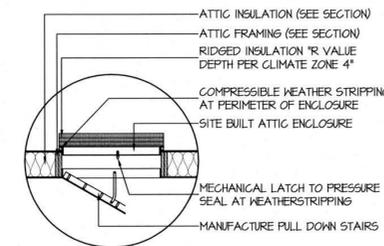
TABLE R402.4.1.1 AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING/ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITHIN CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRWL SPACES SHALL BE COVERED WITH A CLASS 1 VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRWLSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER/TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL/PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALLS OR CEILINGS.	

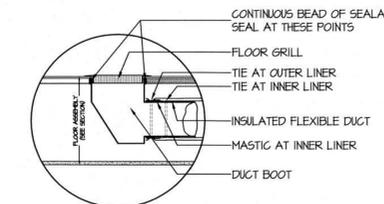
A. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.

TABLE P320.1.7 SIZE OF TRAPS FOR PLUMBING FIXTURES

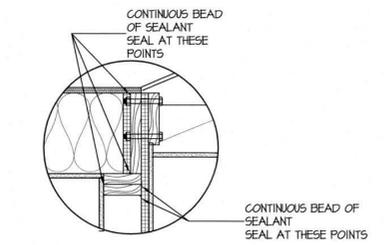
PLUMBING FIXTURE	TRAP SIZE MINIMUM (INCHES)
BATHTUB (WITH OR WITHOUT SHOWER HEAD AND/OR HURLPOOL ATTACHMENTS)	1/2
BIDET	1/4
CLOTHES WASHER STANDPIPE	2
DISHWASHER (ON SEPARATE TRAP)	1/2
FLOOR DRAIN	2
KITCHEN SINK (ONE OR TWO TRAPS WITH OR WITHOUT DISHWASHER AND FOOD WASTE DISPOSER)	1/2
LAUNDRY TUB (ONE OR MORE COMPARTMENTS)	1/2
LAVATORY	1/4
SHOWER (BASED ON THE TOTAL FLOW RATE THROUGH SHOWERHEADS AND BODYSPRAYS)	
FLOW RATE:	
5.7 GPM AND LESS	1/2
MORE THAN 5.7 GPM UP TO 12.3 GPM	2
MORE THAN 12.3 GPM UP TO 25.6 GPM	3
MORE THAN 25.6 GPM UP TO 55.6 GPM	4



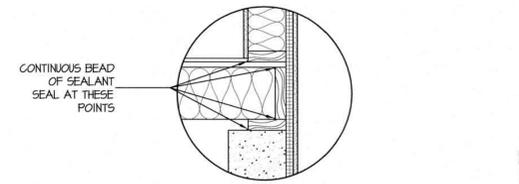
1 AIR SEALING AT ATTIC PULL DOWN SCALE: NTS



2 DUCT SEALING DETAIL SCALE: NTS



3 TYP. AIR SEALING DETAIL SCALE: NTS



4 AIR SEALING AT FOUNDATION SILL SCALE: NTS

**R. SHATARAH**  
CONSULTING ENGINEERS, P.C.  
6500 JERICHO TURNPIKE  
SUITE 104  
SYOSSET, NY 11791  
TEL: (516) 731-4687  
FAX: (516) 796-2144  
RUDOLPH@RSCE-PC.COM  
RUDOLPH.S.SHATARAH.P.E.  
LICENSED PROFESSIONAL ENGINEER  
WWW.RSCE-PC.COM

SCOPE: PROPOSED INTERIOR ALTERATIONS AND FULL SECOND STORY ADDITION

# TAYLOR RESIDENCE

156 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK, 11520

REV.	DATE	COMMENT
1	11-8-21	ISSUED FOR FILING TO THE VILLAGE OF FREEPORT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ENGINEER. IMPROVEMENT SHALL BE PROSECUTED. CONTRACTORS SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF WORK. NO ALLOWANCES SHALL BE MADE ON BEHALF OF THE CONTRACTOR FOR ANY ERROR OR OMISSION. IF IT IS A VIOLATION OF SECTION 2203.2 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM IN ANY WAY, IF ANY ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX HIS SEAL AND A NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION SHALL BE NOTED.

RECEIVED  
FEB 13 2022  
CLERK OF THE VILLAGE OF FREEPORT, NY

ORIGINAL DATE: 10-12-2021

PROJECT #:

DRAWN BY: J.G.

CHECKED BY: R.S.

DRAWING TITLE: DETAILS + NOTES

DRAWING #  
**A-012.00**

CAD FILE NAME:  
R:\RESIDENTIAL PROJECTS\156 NORTH OCEAN AVENUE, FREEPORT, NEW YORK\040 - FLEAD\156 NORTH OCEAN AVENUE-10-22.dwg

SCOPE: PROPOSED INTERIOR ALTERATIONS AND FULL SECOND STORY ADDITION

# TAYLOR RESIDENCE

156 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK, 11520

### R402.4.1.2 TESTING

THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 1191 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. DURING TESTING:

- EXTERIOR WINDOWS AND DOORS, FIREPLACE AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHER-STRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
- DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
- INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
- EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
- HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE TURNED OFF.
- SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE FULLY OPEN.

### R905.1.2 ICE BARRIERS

IN AREAS WHERE THERE HAS BEEN A HISTORY OF ICE FORMING ALONG THE EAVES CAUSING A BACKUP OF WATER AS DESIGNATED IN TABLE R301.2(1), AN ICE BARRIER SHALL BE INSTALLED FOR ASPHALT SHINGLES, METAL ROOF SHINGLES, MINERAL-SURFACED ROLL ROOFING, SLATE AND SLATE-TYPE SHINGLES, WOOD SHINGLES AND WOOD SHAKES. THE ICE BARRIER SHALL CONSIST OF NOT FEWER THAN TWO LAYERS OF UNDERLAYMENT GEMENTED TOGETHER, OR A SELF-ADHERING POLYMER-MODIFIED BITUMEN SHEET SHALL BE USED IN PLACE OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO THE EAVES. PENETRATIONS THROUGH ROOFING SHALL BE SEALED WITH A WATER-TIGHT SEALANT. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE SEALED WITH A WATER-TIGHT SEALANT. THE ICE BARRIER SHALL NOT BE INSTALLED OVER ROOFING THAT IS DAMAGED OR WEARING. THE ICE BARRIER SHALL BE INSTALLED ALONG WITH THE ROOFING. THE ICE BARRIER SHALL BE INSTALLED OVER THE ROOFING. THE ICE BARRIER SHALL BE INSTALLED OVER THE ROOFING. THE ICE BARRIER SHALL BE INSTALLED OVER THE ROOFING.

EXCEPTION: DETACHED ACCESSORY STRUCTURES NOT CONTAINING CONDITIONED FLOOR AREA AND LIGHTING SYSTEMS

### R404.1 LIGHTING EQUIPMENT (MANDATORY)

NOT LESS THAN 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR NOT LESS THAN 75 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.

EXCEPTION: LOW-VOLTAGE LIGHTING.

### R403.1.1 PROGRAMMABLE THERMOSTAT

THE THERMOSTAT CONTROLLING THE PRIMARY HEATING OR COOLING SYSTEM OF THE DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OR TEMPORARILY OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55°F (13°C) OR UP TO 85°F (29°C). THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANUFACTURER WITH A HEATING TEMPERATURE SET POINT NO HIGHER THAN 70°F (21°C) AND A COOLING TEMPERATURE SET POINT NO LOWER THAN 78°F (26°C).

### R403.3 DUCTS

DUCTS AND AIR HANDLERS SHALL BE IN ACCORDANCE WITH SECTIONS R403.3.1 THROUGH R403.3.5.

#### R403.3.1 INSULATION (PRESCRIPTIVE)

SUPPLY AND RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8 WHERE 3 INCHES (76 MM) IN DIAMETER AND GREATER AND R-6 WHERE LESS THAN 3 INCHES (76 MM) IN DIAMETER. SUPPLY AND RETURN DUCTS IN OTHER PORTIONS OF THE BUILDING SHALL BE INSULATED TO A MINIMUM OF R-6 WHERE 3 INCHES (76 MM) IN DIAMETER OR GREATER AND R-4.2 WHERE LESS THAN 3 INCHES (76 MM) IN DIAMETER.

EXCEPTION: DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

#### R403.3.2 SEALING (MANDATORY)

DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH THE 2015 INTERNATIONAL MECHANICAL CODE (AS AMENDED), THE 2015 INTERNATIONAL RESIDENTIAL CODE (AS AMENDED), OR THE YORK CITY CONSTRUCTION CODES, AS APPLICABLE.

EXCEPTIONS:

- AIR-IMPERMEABLE SPRAY FOAM PRODUCTS SHALL BE PERMITTED TO BE APPLIED WITHOUT ADDITIONAL JOINT SEALS.
- FOR DUCTS HAVING A STATIC PRESSURE CLASSIFICATION OF LESS THAN 2 INCHES OF WATER COLUMN (500 PA), ADDITIONAL CLOSURE SEAMS SHALL NOT BE REQUIRED FOR CONTINUOUSLY WELDED JOINTS AND SEAMS, AND LOCKING-TYPE JOINTS AND SEAMS OF OTHER THAN THE SNAP-LOCK AND BUTTON-LOCK TYPES.

NOTE: DUCTS, AIR HANDLERS, FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH SECTIONS M-1601.4.4 OF THE INTERNATIONAL RESIDENTIAL CODE.

#### R403.3.3 DUCT TESTING (MANDATORY)

DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

- ROUGH-IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 PA) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
- POST-CONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 PA) ACROSS THE ENTIRE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

EXCEPTION: A DUCT AIR LEAKAGE TEST SHALL NOT BE REQUIRED WHERE THE DUCTS AND AIR HANDLERS ARE LOCATED ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE.

A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL.

#### R403.6 MECHANICAL VENTILATION (MANDATORY)

THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE 2015 INTERNATIONAL MECHANICAL CODE (AS AMENDED), THE 2015 INTERNATIONAL RESIDENTIAL CODE (AS AMENDED), OR THE YORK CITY CONSTRUCTION CODES, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

#### R403.7 EQUIPMENT SIZING AND EFFICIENCY RATING (MANDATORY)

HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES. OR REPLACEMENT HEATING AND COOLING EQUIPMENT SHALL HAVE AN EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

### R302.6 DWELLING-GARAGE FIRE SEPARATION

THE GARAGE SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION R302.5. ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R102.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL.

#### TABLE R302.6 DWELLING-GARAGE SEPARATION

SEPARATION	MATERIAL
FROM THE RESIDENCE AND ATTICS	NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE.
FROM HABITABLE ROOMS ABOVE THE GARAGE	NOT LESS THAN 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT
STRUCTURE(S) SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION	NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT
GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT	NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA

FOR 5/8: 1 INCH = 25.4 MM, 1 FOOT = 304.8 MM.

### SECTION 103 MATERIALS, EQUIPMENT AND METHODS OF CONSTRUCTION

#### 103.1 APPROVED MATERIALS AND EQUIPMENT

MATERIALS, EQUIPMENT AND DEVICES APPROVED BY THE CODE ENFORCEMENT OFFICIAL FOR USE SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH SUCH APPROVAL. MATERIALS, EQUIPMENT AND DEVICES TESTED BY AN APPROVED TESTING LABORATORY SHALL BE PERMITTED TO BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH SUCH APPROVAL.

#### 103.2 USED MATERIALS AND EQUIPMENT

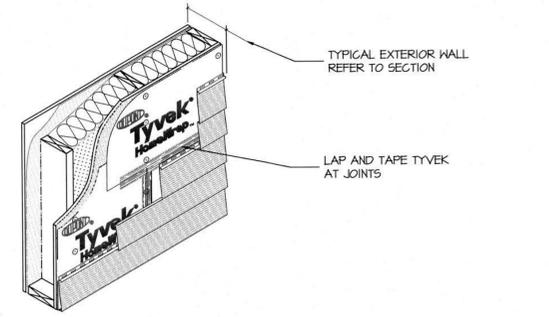
MATERIAL, EQUIPMENT AND DEVICES SHALL NOT BE REUSED UNLESS THEY MEET THE REQUIREMENTS OF UNIFORM CODE FOR MATERIALS.

### R302.13 FIRE PROTECTION OF FLOORS

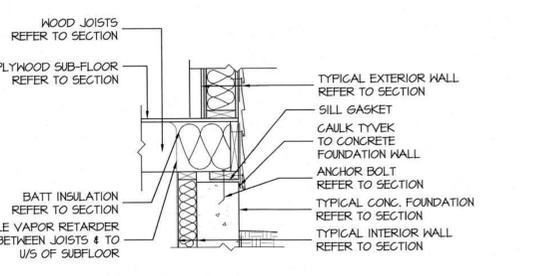
FLOOR ASSEMBLIES THAT ARE NOT REQUIRED ELSEWHERE IN THIS CODE TO BE FIRE-RESISTANCE RATED, SHALL BE PROVIDED WITH A 1/2-INCH (12.7 MM) GYPSUM WALLBOARD MEMBRANE, 5/8-INCH (16 MM) WOOD STRUCTURAL PANEL MEMBRANE, OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER. PENETRATIONS OR OPENINGS FOR DUCTS, VENTS, ELECTRICAL OUTLETS, LIGHTING DEVICES, LUMINAIRES, WIRES, SPEAKERS, DRAINAGE, PIPING AND SIMILAR OPENINGS OR PENETRATIONS SHALL BE PERMITTED.

EXCEPTIONS:

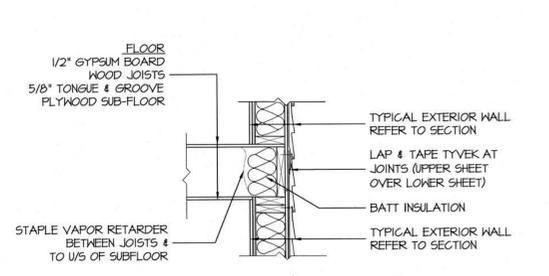
- FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION P2404, NFPA 13D, OR OTHER APPROVED EQUIVALENT SPRINKLER SYSTEM.
- FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A GRAVEL SPACE NOT INTENDED FOR STORAGE OR FUEL-FIRED APPLIANCES.
- PORTIONS OF FLOOR ASSEMBLIES SHALL BE PERMITTED TO BE UNPROTECTED WHERE COMPLYING WITH THE FOLLOWING:
  - THE AGGREGATE AREA OF THE UNPROTECTED PORTIONS DOES NOT EXCEED 80 SQUARE FEET (7.4 M<sup>2</sup>) PER STORY.
  - FIREBLOCKING IN ACCORDANCE WITH SECTION R302.11.1 IS INSTALLED ALONG THE PERIMETER OF THE UNPROTECTED PORTION TO SEPARATE THE UNPROTECTED PORTION FROM THE REMAINDER OF THE FLOOR ASSEMBLY.
  - WOOD FLOOR ASSEMBLIES USING DIMENSION LUMBER OR STRUCTURAL COMPOSITE LUMBER EQUAL TO OR GREATER THAN 2-INCH BY 10-INCH (50.8 MM BY 254 MM) NOMINAL DIMENSION, OR OTHER APPROVED FLOOR ASSEMBLIES DEMONSTRATING EQUIVALENT FIRE PERFORMANCE.



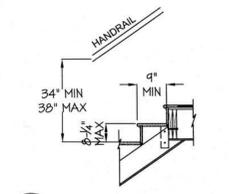
A TYPICAL WALL ISOMETRIC  
SCALE: NTS



B BASE OF WALL DETAIL  
SCALE: NTS

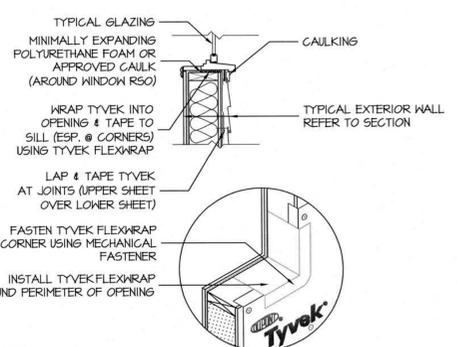


C FLOOR/WALL INTERFACE DETAIL  
SCALE: NTS

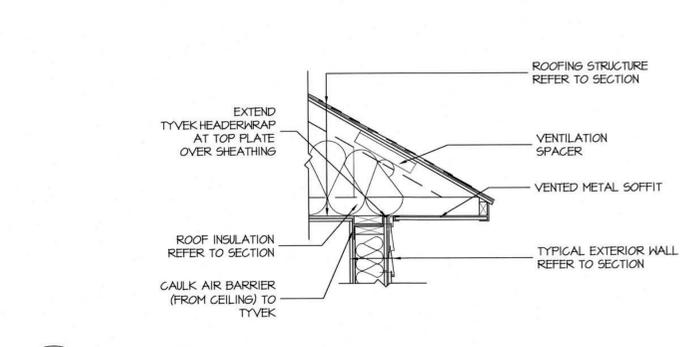


D TYPICAL STAIR SECTION  
SCALE: NTS

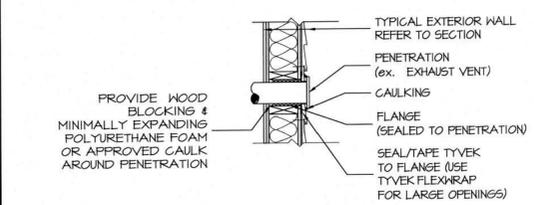
NOTE: ALL STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ICG INTERNATIONAL RESIDENTIAL CODE 2015



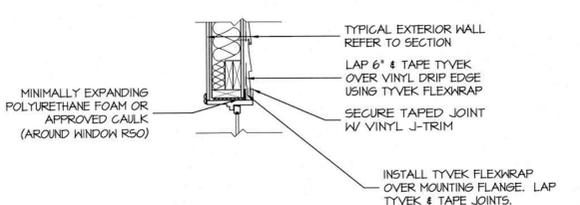
E WINDOW SILL DETAIL  
SCALE: NTS



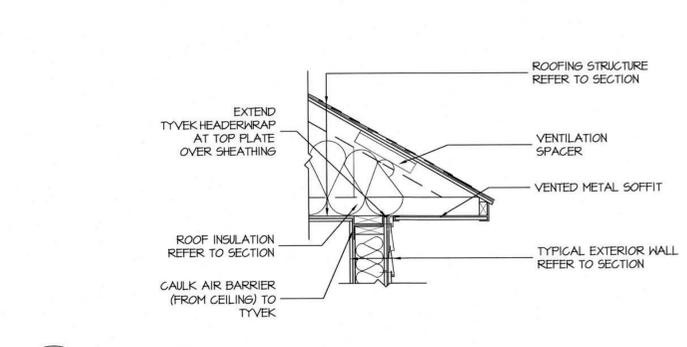
F WINDOW HEAD DETAIL  
SCALE: NTS



G WALL PENETRATION DETAIL  
SCALE: NTS



H WINDOW HEAD DETAIL  
SCALE: NTS



I ROOF/WALL INTERFACE DETAIL  
SCALE: NTS

GENERAL NOTES TYVEK  
\*SEAL ALL TYVEK JOINTS AND PENETRATIONS WITH APPROVED TAPE. (ex. DUPONT CONTRACTOR TAPE).  
\*FASTEN TYVEK TO SHEATHING WITH LARGE HEAD NAILS OR USE NAILS WITH LARGE PLASTIC WASHER HEADS.(EX. DUPONT WRAPCAPS)

RECEIVED  
FEB 13 2022  
CLERK'S OFFICE  
CITY OF FREEPORT, NY

REV.	DATE	COMMENT
1	11-02-21	ISSUED FOR FILING TO THE VILLAGE OF FREEPORT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ENGINEER. INFRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF WORK. NO ALLOWANCES SHALL BE MADE OR GRANTED BY THE CONTRACTOR FOR ANY ERRORS OR NEGLIGENCE ON HIS PART. IT IS A VIOLATION OF SECTION 2603 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER ANY ITEM IN ANY MANNER IF ANY ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED. THE ALTERING ENGINEER SHALL AFFIX HIS SEAL AND A NOTATION ALTERED BY, FOLLOWED BY HIS SIGNATURE AND DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION SHALL BE NOTED.

ORIGINAL DATE: 10-12-2021  
PROJECT #: -  
DRAWN BY: J.G.  
CHECKED BY: R.S.  
DRAWING TITLE: DETAILS + NOTES  
DRAWING #: A-013.00  
CAD FILE NAME: R:\RESIDENTIAL PROJECTS\156 NORTH OCEAN AVENUE, FREEPORT, NY\03-DRAWINGS\156 NORTH OCEAN AVENUE-10-21-21.DWG



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

ROBERT T. KENNEDY  
MAYOR

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

JANUARY 12, 2022  
**LETTER OF DENIAL**

RECEIVED  
2022 FEB 17 P 1:30  
SERGIO'S OFFICE  
VILLAGE OF FREEPORT NY

YaYa Ceesay  
37 W. 4<sup>th</sup> Street  
Freeport, NY 11520

RE: 37 W. 4<sup>th</sup> Street, Freeport, NY  
Zoning District – Residence A  
Sec. 62 Blk. 64 Lot 110, 507-509  
Building Permit Application #20212491  
Description– Construct a new 600 sq. ft. rear second story deck

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

- Village Ordinance §210-6A.** No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.
- Village Ordinance §210-41.** Lot coverage. The principle building of any lot may not cover more than 30% of the lot area. The application submitted shows a residential house with a foot print of 1,651 sq. ft. and a proposed 600 sq. ft. deck creating a 2,251 footprint. This covers 32% of the lot. A variance is required to cover the lot 2% more than allowed.
- Village Ordinance §210-43A (2).** Rear yard setback. The minimum setback of 20 ft. or 20% of the lot depth, whichever is greater, with the exception that for lots abutting canals or other navigable bodies of water, the rear yard depth shall equal the average depths of all residential rear yards abutting the water on the same side of the canal or navigable body of water within 200 ft. in either direction or 20 ft. measured landwards from the average line of the bulkhead, whichever is greater. The application submitted shows rear yard setback of 17 ft. 4 in. from the bulkhead. A variance is required to have a deck 2 ft. 8 in. closer than permitted.

Please be further advised that if you intend to appeal this decision, you must make application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. For your convenience, enclosed

**RE: 37 W. 4<sup>th</sup> Street, Freeport, NY**

please find an application, together with an instruction sheet for filing, which includes the current fee schedule. The completed applications, together with the required documentation and fee, are to be submitted to the Village Clerk's Office.

If you should have any questions or require additional information with reference to the Zoning Board Application, please contact the Village Clerk's Office at 377-2300. In the event that you do not make application within the allotted sixty (60) days, this Letter of Denial will expire and the Building Permit Application in conjunction with same will be cancelled.

Very truly yours,



Sergio A. Mauras  
Superintendent of Buildings  
Jonathan Smith, Building Inspector

/cd

encl.

c: Village Clerk

Joe Bello Architects, P.C.

Long Island Perfect Permits

**SITE PLAN APPROVAL NEEDED**

Yes:  X  No  \_\_\_\_\_

RECEIVED  
2022 FEB 17 P 1:30  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. #20212491

Location: 37 W. 4th Street, Freeport, NY

Applicant: YaYa Ceesay

Description: Construct a new 600 sq. ft. rear second story deck

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

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DEPT. OF BUILDINGS

REASON(S) FOR DETERMINATION

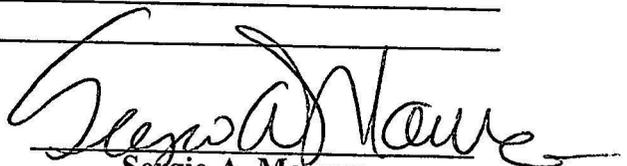
This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_  
\_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

\_\_\_\_\_  
\_\_\_\_\_

Dated: January 12, 2022

  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.



SEC. 62 BLK. 064 LOT. 110

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter  
Of  
the Application of

The Board of Appeals of the Village of Freeport, New York

Index No.

COMPLY WITH  
ORIGINAL NOTES

The application of Yaya Celesay

respectfully states and alleges:

Strike out  
inapplicable  
phrase

1. That the applicant (resides at) has its principal office for the conducting of its business at

Chris Ross - Long Island Perfect Permits  
124 Front St Suite 205 Massapequa PK, NY 11762

State whether  
applicant is owner,  
lessee, or has option  
or contract. If other  
than owner, state  
briefly terms of  
agreement.

2. That the premises affected by this application is located at Land Map of Nassau County

37 West 4th St Sec. 62 Blk. 064 Lot(s) 110

and that the interest which the applicant has in the property concerned is that of

Agent

3. That the applicant (the applicant's duly authorized Chris Ross) on or about the 15<sup>th</sup> day of Oct 2021, filed in the office of the Department of Buildings of the Village of Freeport, New York, an application for a Building Permit. Documents filed with said application were as follows:

Application, Construction plans, environmental Assessment

Obtain reason for  
denial from  
Department of  
Buildings.

4. That on or about the 12<sup>th</sup> day of January, 2022, the Department of Buildings denied said application; upon information and belief that the reason for said denial was as follows:

Village ordinance 210-6A, 210-41 & 210-43A  
lot coverage, rear yard setback

Describe by  
construction and  
number of stories. If  
none, so state.

5. That the nature of the improvements now upon said premises is as follows:

Construct a 2nd story rear deck at 600 sq. ft

State nature of use of  
property. If a  
business, give brief  
description.

6. That said premises are now being used as follows: Residential use

Describe fully and  
clearly the use  
desired.

7. That the applicant seeks authority to make use of said premises as follows: Residential use

Strike out whichever  
word is not  
applicable. Follow  
language in  
ordinance.

8. Upon information and belief that a (permit) (variance) for such use may be granted by this Board by virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the State of New York for relief of lot coverage of 32% where min allowed is 30%, relief of rear yard setback from 17.8 ft where 20 ft is required

relief to build where construction is not in conformity of district

Refer where possible  
to paragraphs and  
section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the application involves a subdivision of property, describe the existing property: N/A

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

10. That the grounds for this application are as follows: Relief from lot coverage & rear yard setback for the construction of 600 sq ft 2nd story deck. 2'0" over lot coverage & 2FT, 8in less reys B.

11. That any deed restrictions running with the land prohibiting the desired use are as follows: none

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous proceeding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: February 28, 2022  
Lauren Hatton  
LAUREN M. HATTON  
NOTARY PUBLIC  
State of New York  
No. 01HA6237727  
Qualified in Nassau County  
Expires March 28/23

[Signature]  
BY: Applicant  
ITS: Owner

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York )  
County of Nassau ) ss:

The applicant Dwight Ross named in the foregoing application, being duly sworn, depose and say that \_\_\_\_\_ read the foregoing application subscribed by \_\_\_\_\_ and know the contents thereof; and that the same is true to \_\_\_\_\_ own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters \_\_\_\_\_ believe \_\_\_\_\_ to be true.

Sworn to before me this 28th day  
of February, 2022  
Notary Public Lauren Hatton

Lauren Hatton  
LAUREN M. HATTON  
NOTARY PUBLIC  
State of New York  
No. 01HA6237727  
Qualified in Nassau County  
Expires March 28/23  
Signature of Applicant

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CLERK OF SUPERIOR COURT  
VILLAGE OFFICE

Lauren Hatton  
Notice of Conflict of Interest  
I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application.  
Date January 31, 2022  
Notary Public Lauren Hatton  
Signature [Signature]

**Affidavit of Owner**  
To be completed only if the owner is not the applicant.

State of New York )  
County of Nassau ) ss:

I Yaya Cesary being duly sworn, depose and say:  
That he/she (the owner of 37 W 4th St) (is the \_\_\_\_\_ of  
37 West 4th St, Freeport the property concerned is correct to the best of the knowledge of  
deponent \_\_\_\_\_.)

That the owner Yaya Cesary consents to the granting of the authority sought in the above application.

Sworn to before me this 31st day  
of January, 2022  
Notary Public Lauren Hatton

Lauren Hatton  
LAUREN M. HATTON  
NOTARY PUBLIC  
State of New York  
No. 01HA6237727  
Qualified in Nassau County  
Expires March 28/23

[Signature]  
Signature

617.20  
Appendix B  
Short Environmental Assessment Form

18 Feb 2012

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information

Name of Action or Project:

Proposed rear deck

Project Location (describe, and attach a location map):

37 W. 4th St. Freeport, NY

Brief Description of Proposed Action:

Proposed rear deck 600 sq ft

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CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

Name of Applicant or Sponsor:

Christopher Kaulicki

Telephone: (516) 309-4646

Address:

11 Broadway Suite 3

E-Mail: ChrisK@joebelloarchitects.com

City/PO:

Amityville

State:

NY

Zip Code:

11701

1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?  
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

2. Does the proposed action require a permit, approval or funding from any other governmental Agency?  
If Yes, list agency(s) name and permit or approval:

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

3.a. Total acreage of the site of the proposed action?

0.1 acres

b. Total acreage to be physically disturbed?

0.0 acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?

0.1 acres

4. Check all land uses that occur on, adjoining and near the proposed action.

- Urban     Rural (non-agriculture)     Industrial     Commercial     Residential (suburban)  
 Forest     Agriculture     Aquatic     Other (specify): \_\_\_\_\_  
 Parkland

		NO	YES	N/A
b. Consistent with the adopted comprehensive plan?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: <u>W/A</u>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: <u>W/A</u>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?				
16. Is the project site located in the 100 year flood plain?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

... action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?  
 If Yes, explain purpose and size: \_\_\_\_\_

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?  
 If Yes, describe: \_\_\_\_\_

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?  
 If Yes, describe: \_\_\_\_\_

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: Christopher Kulicki Date: 9/14/21  
 Signature: [Signature]

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 VILLAGE OF FREEPORT, NY

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency \_\_\_\_\_ Date \_\_\_\_\_

Print or Type Name of Responsible Officer in Lead Agency \_\_\_\_\_ Title of Responsible Officer \_\_\_\_\_

Signature of Responsible Officer in Lead Agency \_\_\_\_\_ Signature of Preparer (If different from Responsible Officer) \_\_\_\_\_

**PRINT**

# DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 20212491  
 Filing Date 10/26/2021

## Application for Erection of Buildings or Alterations

**IMPORTANT** - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) <u>37 West 4th St.</u> ZONING DISTRICT <u>Res-A</u>
	(No.) (Street)
	BETWEEN <u>South main st.</u> AND _____ (Cross Street)
SECTION <u>62</u> BLOCK <u>64</u> LOT <u>507</u> APPROX. LOT SIZE <u>70</u> X <u>100</u> LOT AREA <u>7,000</u>	(Cross Street)

### II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

<b>A. TYPE OF IMPROVEMENT</b> 1     New Building 2   <input checked="" type="checkbox"/> Addition-Alteration (If residential, enter number of new housing units added. If non-state none <u>none</u> ) 3     Swimming Pool 4     Repair (replacement) 5     Bulkhead (New, Repair) 6     Fence 7     Moving (relocation)		<b>B. PROPOSED OR EXISTING USE</b> <b>RESIDENTIAL</b> 11   <input checked="" type="checkbox"/> One Family 12     Two families 13     Apartment - Enter No. of Units _____ 14     Transient hotel, motel, or dormitory - Enter No. of Units _____ 15     Garage or Accessory Structure 16     Other - Specify _____ <b>NON RESIDENTIAL - Complete Part "E"</b> 17     Industrial 18     Office, bank, professional 19     Stores, mercantile 20     Church, other religious 21     Hospital, institutional 22     Other - Specify _____	
---	--	--	--

<b>C. COST</b> 10 TOTAL COST OF IMPROVEMENT \$ <u>22,000</u>	<b>D. DESCRIPTION OF PROJECT</b> <u>Proposed rear deck (600 sq ft)</u> <u>24,000</u>
---	--

### III. IDENTIFICATION - To be completed by all applicants

NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee <u>YANA CRESSA</u>	<u>37 W 4th Street</u>	<u>2293105</u>
2. Contractor <u>James Clemente</u>	<u>Freeport NY 11520</u> <u>3104 Ann Street</u>	<u>Baldwin NY 11510</u>
3. Architect or Engineer <u>Joe Bello Architects PC.</u>	<u>11 Broadway Suite 3</u> <u>Amityville, NY, 11701</u>	<u>516-308-4646</u>

### IV. OWNER - CONTRACTOR STATEMENT

Building permit is issued subject to the provisions of Section 67 of the Workmen's Compensation Law.  
 Workman's Compensation Certificate No. 3103W6059 Company JMC Exp. Date 4/25/22

Contractor or Owner  James Clemente (Print)  
 Address 3104 Ann Street  
 Phone Baldwin, NY 11510  
516 652 3836

State of New York  
 County of Nassau Chris Ross being duly sworn, says that he is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of his knowledge and belief and agrees to conform to all applicable laws of this jurisdiction.  
 Sworn to before me this 21 day of October, 2021  
Lauren M. Hatton  
 Notary Public, County, N.Y.

NOTARY PUBLIC  
 State of New York  
 No. 01HA6237727  
 Qualified in Nassau County  
 Expires March 28/2022  
[Signature]  
 (Applicant Signature)

### V. FLOOD ZONE

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?  
 YES  NO \_\_\_\_\_  
 IF YES, WHICH ZONE? A B 9.0

IS PROJECT TO REPAIR FLOOD DAMAGE?  
 YES \_\_\_\_\_ NO

**PROJECT DESCRIPTION**

Total/First Flr Square Feet

Upper Flrs Square Feet

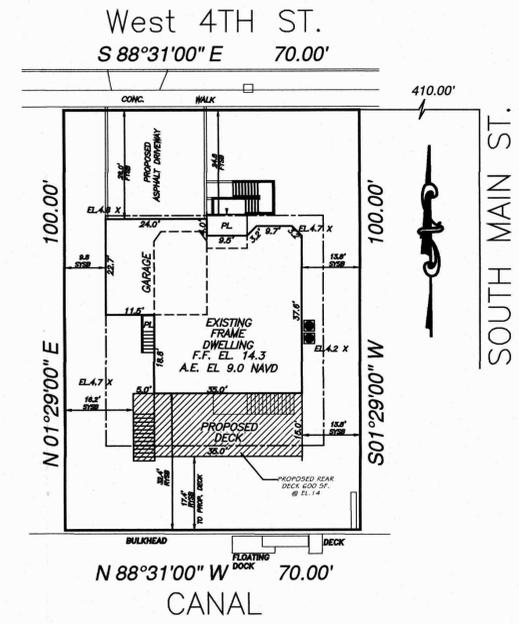
# of Fixtures

# of Floors

Occup. Type

### VI. VALIDATION (Official Use Only)

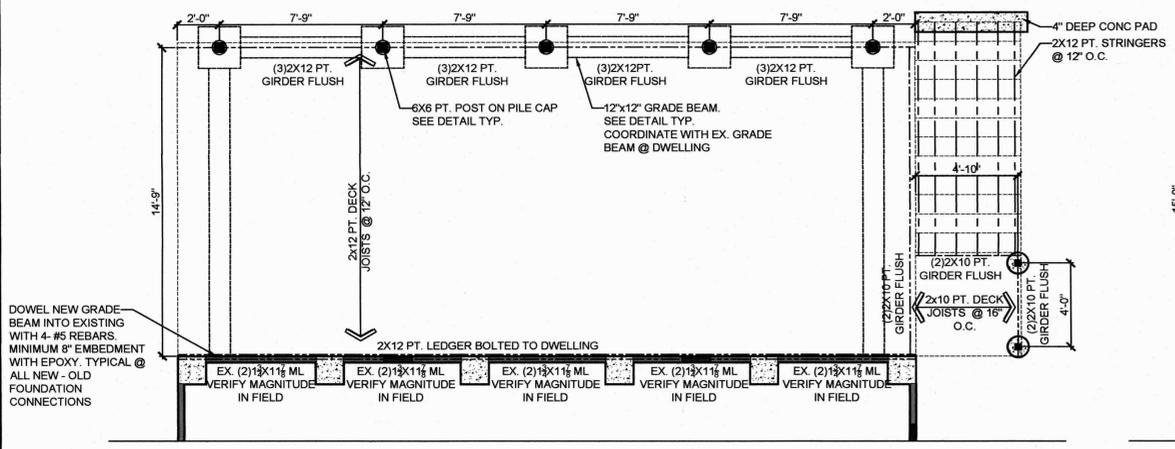
Building Permit Number _____ Building Permit Issued _____ Building Permit Fee \$ _____	Approved by: <u>[Signature]</u> Superintendent of Buildings
--	---



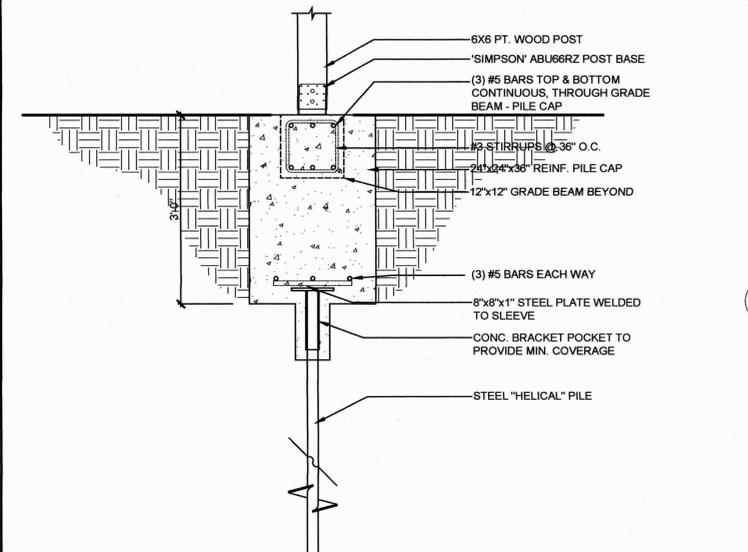
**1 Plot Plan**  
SCALE: 1" = 20'-0"

ZONING ANALYSIS		
37 West 4th Street, Freeport, NY		
SEC. 62 B.L.K. 64 LOT. 507-509 P/O LOT. 510		VILLAGE OF FREEPORT RESIDENCE: A
ISSUE	REQUIRED/ PERMITTED	PROPOSED
LOT AREA	5,000 SQ. FT.	7,000 SQ. FT.
LOT AREA OCCUPIED	30% = 2,100 S.F.	23.5% = 1,651 S.F. (EXISTING) 32.1% = 2,251 S.F. (INCL. PROP. DECK)
MIN. FRONT WIDTH	50.0 FT.	70.0 FT.
SIDE YARD AGG.	25% OF LOT WIDTH = 17.5 FT.	29.95 FT. (PROP. REAR DECK)
SIDE YARD MIN.	5.0 FT.	13.75 FT. (PROP. REAR DECK)
MIN. REAR YARD	20.0 FT.	17.4 FT. (PROP. REAR DECK)
MAX. HEIGHT	35.0 FT.	32.86 FT.
FRONT YARD	AVG. WITHIN 200' = 25.2 FT.	26.0 FT. (DWELLING) 24.8 FT. (PORTICO)
GROSS FLOOR AREA	50% OF LOT AREA = 3,500 SF	FIRST FLOOR 1,390 SF. SECOND FLOOR 1,319 SF. PROP. DECK 600 SF. TOTAL 3,309 SF.

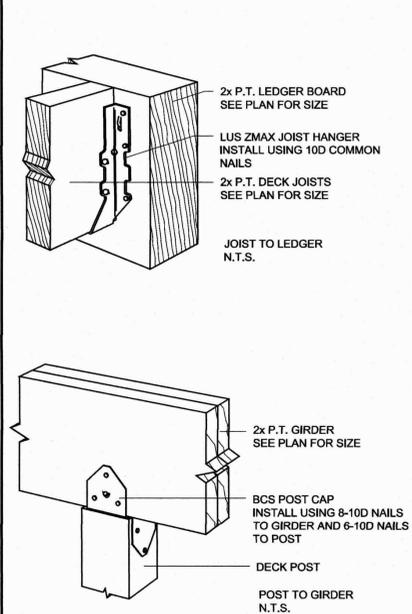
Information taken from survey prepared by O'Connor - Petito, L.L.C. Dated December 16, 2020



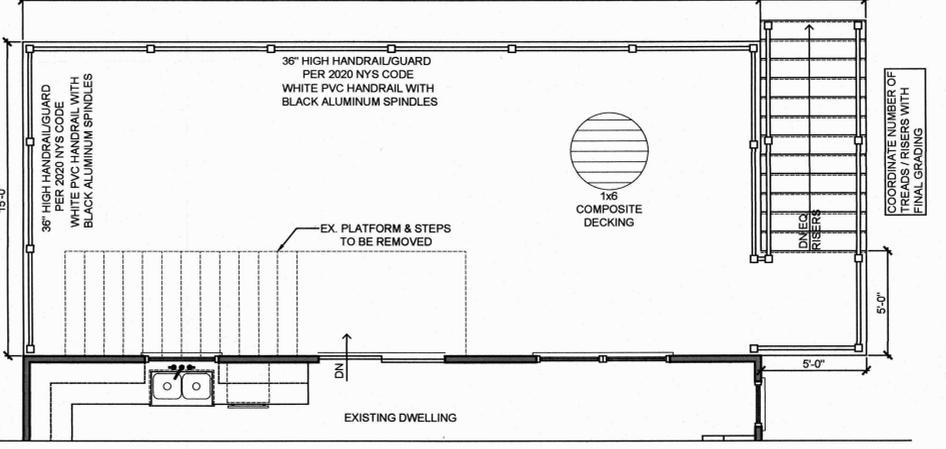
**2 Deck Foundation Plan**  
SCALE: 1/4" = 1'-0"



**4 Helical Pile @ Deck Post**  
SCALE: 3/4" = 1'-0"

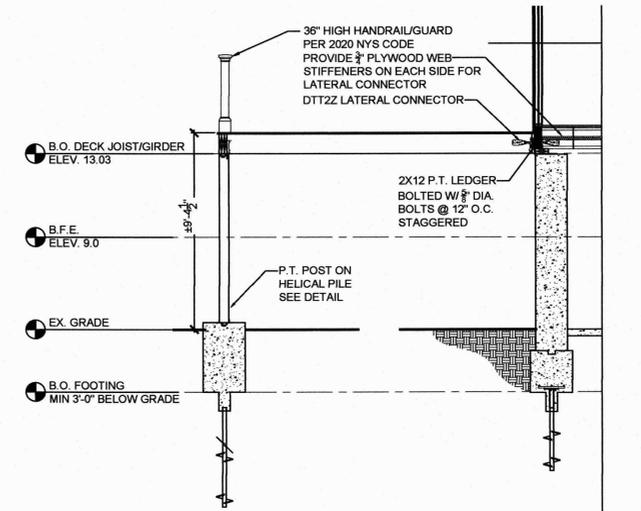


**8 Deck Side Elevation**  
SCALE: 1/4" = 1'-0"

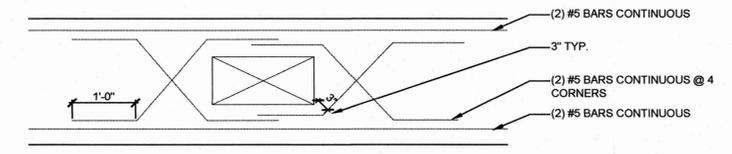


**3 Deck Plan**  
SCALE: 1/4" = 1'-0"

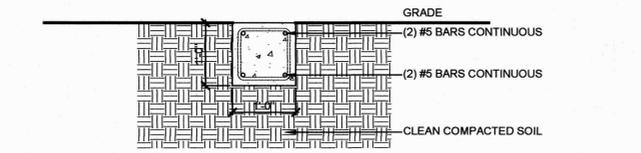
PROVIDE GUARDS AT ALL PORCHES, BALCONIES OR RAISED FLOOR SURFACES AS PER R316. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN THIRTY INCHES (30") ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN THIRTY-SIX INCHES (36") IN HEIGHT.



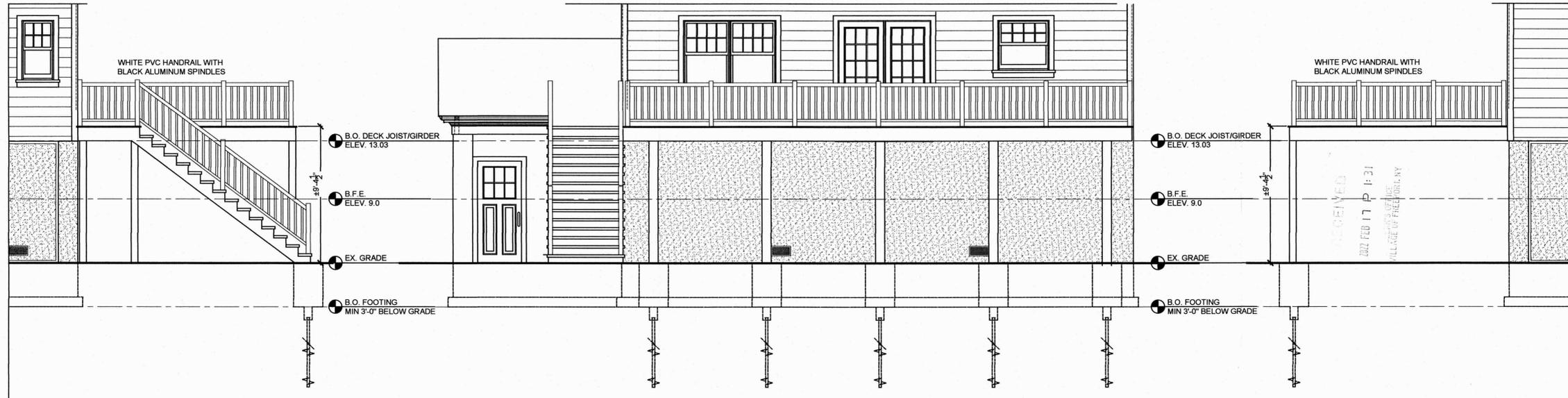
**7 Deck Section**  
SCALE: 1/4" = 1'-0"



**5 Detail - @ Openings In Grade Beam (Typ.)**  
SCALE: 3/4" = 1'-0"

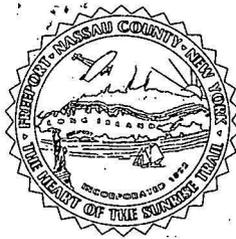


**6 Detail - Grade Beam (Typ.)**  
SCALE: 3/4" = 1'-0"



**9 Deck Rear Elevation**  
SCALE: 1/4" = 1'-0"

**10 Deck Side Elevation**  
SCALE: 1/4" = 1'-0"



## INC. VILLAGE OF FREEPORT

### Department of Buildings

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

February 15, 2022

### AMENDED LETTER OF DENIAL

Dianelys Sime  
75 Cary Place  
Freeport, NY 11520

RE: Address: 75 Cary Place, Freeport, NY  
Zoning District: Residence A      Sec 54 Blk 321 Lot 3

#### **Building Permit Application #20212564**

**Description: Construct a new 613 sq. ft. second story addition,  
a new 58 sq. ft. first floor rear addition and rebuild existing 126.6 sq. ft. rear room**

Dear Sir/Madam:

Your application has been reviewed by the Building Department and it has been determined that the above captioned building permit application must be denied for the following reason(s):

- 1) **Village Ordinance §210-6A. "Conformity required"**: No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located. The proposed plan that you have submitted indicates that the property will not be in conformity.
- 2) **Village Ordinance §210-43A(3). Required yards, side yards width.** The principal building shall provide a side yard of a minimum of 5 ft. The sum of the width of the two side yards shall, at a minimum, equal 25% of the lot width. The application submitted shows two side yards of 5.7 and 5.8 ft. The new rear addition is equal to the existing 5.7 ft. side yard. This extends an existing non-conforming side yard percentage of 23%. This application will require a variance to further extend the existing 2% lesser side yard total.
- 3) **Village Ordinance §210-39A. Sky exposure.** No building shall penetrate the sky exposure plane. The application submitted shows the proposed structure penetrating both side yard sky exposure planes. A variance will be required to penetrate these sky exposure planes.

**RE: 75 Cary Place, Freeport, NY**

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-2202** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,



Sergio A. Mauras  
Superintendent of Buildings  
Jonathan Smith, Building Inspector

Enclosure

cc: Village Clerk  
Francisco Perez, P.E.

SITE PLAN APPROVAL NEEDED

Yes:  X  No:

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. # 20212564

Location: 75 Cary Place, Freeport, NY

Applicant : Dianelys Sime

Description: Construct a new 613 sq. ft. second story addition, a new 58 sq. ft. rear 1<sup>st</sup> story Addition, rebuild existing 126.6 sq. ft. rear room, new portico, new 131 sq. ft. rear balcony and remove existing sunroom

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

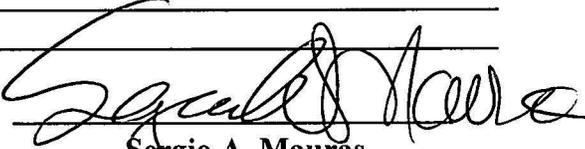
**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:  
(only if positive determination)

DATED: February 15, 2022  
Amended

  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.



SEC. 54 BLK. 321 LOT. 3

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter  
Of  
the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No.

COMPLY WITH  
ORIGINAL NOTES

The application of Dianelis Sime

respectfully states and alleges:

Strike out  
inapplicable  
phrase

1. That the applicant (resides at) (has its principal office for the conducting of its business at)  
75 Cary Place, Freeport, New York 11520

State whether  
applicant is owner,  
lessee, or has option  
or contract. If other  
than owner, state  
briefly terms of  
agreement.

2. That the premises affected by this application is located at Land Map of Nassau County  
75 Cary Place, Freeport, NY 11520 Sec.54 Blk.321 Lot(s) 3

and that the interest which the applicant has in the property concerned is that of

ADDITION AND ALTERATION TO EXISTING 1-1/2 STY  
1-FAMILY RESIDENCE

3. That (the applicant) (the applicant's duly authorized Dianelis Sime) on or about the  
29 day of DEC. 2021, filed in the office of the Department of Buildings of the Village of  
Freeport, New York, an application for a Building Permit. Documents filed with said application were  
as follows:

Construct a New 613 sq. ft. 2nd. Story addition; A new 58 s.f. rear  
addition and rebuild existing 126.6 s.f. rear room

Obtain reason for  
denial from  
Department of  
Buildings.

4. That on or about the 15 day of FEBRUARY, 2022, the Department of Buildings denied said  
application; upon information and belief that the reason for said denial was as follows: \_\_\_\_\_  
No compliance with Village Ordinance 210-6A, 210-41, 210-43A (3) and 210-39A

Describe by  
construction and  
number of stories. If  
none, so state.

5. That the nature of the improvements now upon said premises is as follows: \_\_\_\_\_  
Addition and alteration to Existing 1-1/2 story 1-Family Residence.

State nature of use of  
property. If a  
business, give brief  
description.

6. That said premises are now being used as follows: 1-Family Residence.

Describe fully and  
clearly the use  
desired.

7. That the applicant seeks authority to make use of said premises as follows: \_\_\_\_\_  
1-Family Residence

Strike out whichever  
word is not  
applicable. Follow  
language in  
ordinance.

8. Upon information and belief that a (permit) (variance) for such use may be granted by this Board by  
virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the  
State of New York That due to the fact that the existing property foot print originally  
was built in a 50 ft. wide lot (allowed by zoning lot street frontage size requirements) with 5.7 ft.  
and 5.8 ft. making it impossible to comply with the sky exposure plane ordinance

Refer where possible  
to paragraphs and  
section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the  
application involves a subdivision of property, describe the existing property: N/A

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

10. That the grounds for this application are as follows: \_\_\_\_\_

- 1.-Proposed floor area ratio of 52%; 2.-Existing Side yards aggregate of 23% and
- 3.-Proposed both side yard sky exposure plane penetration

11. That any deed restrictions running with the land prohibiting the desired use are as follows: \_\_\_\_\_

None

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous preceding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: FEBRUARY 17, 20 22

*[Signature]*

BY: DIANELIS SIME

ITS: APPLICANT / OWNER

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York )  
County of Nassau ) ss:

The applicant Dianelis Sime named in the foregoing application, being duly sworn, depose and say that She read the foregoing application subscribed by herself and know the contents thereof; and that the same is true to her own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters She believe is to be true.

Sworn to before me this 17 day  
of February, 20 22

*[Signature]*  
Signature of Applicant

Notary Public *[Signature]*

DORIS ALEXANDRA RAMIREZ  
NOTARY PUBLIC STATE OF NEW YORK  
SUFFOLK COUNTY  
LIC. # 01RA6359376  
COMM. EXP. 05-30-2025

**Notice  
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

FEB. 17 OF 20 22  
Date Year

*[Signature]*  
Signature

**Affidavit of Owner**

To be completed only if the owner is not the applicant.

State of New York )  
County of Nassau ) ss:

I \_\_\_\_\_ being duly sworn, depose and say:

That he/she (the owner of \_\_\_\_\_) (is the \_\_\_\_\_ of \_\_\_\_\_ the property concerned is correct to the best of the knowledge of deponent \_\_\_\_\_.)

That the owner \_\_\_\_\_ consents to the granting of the authority sought in the above application.

Sworn to before me this \_\_\_\_\_ day  
of \_\_\_\_\_, 20 \_\_\_\_\_

\_\_\_\_\_  
Signature

Notary Public \_\_\_\_\_

# DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 202/25  
Filing Date 12/29/21

## Application for Erection of Buildings or Alterations

**IMPORTANT** Applicant to complete all items in sections: I, II, III, IV, V.

<b>I. LOCATION OF BUILDING</b>	AT (LOCATION) <u>75</u> Cary Place	(No.)	(Street)	<b>ZONING DISTRICT</b>	<u>Res. "A"</u>
	BETWEEN <u>On South</u> side of Cary Place			AND <u>at 331.05 ft.</u> of Bayview Ave	
		(Cross Street)		(Cross Street)	
	SECTION <u>62</u>	BLOCK <u>54</u>	LOT <u>33</u>	APROX. LOT SIZE <u>50</u> x <u>105</u>	LOT AREA <u>5,250</u> s.f.

**II. TYPE AND COST OF BUILDING - All applicants complete Parts A-D**

<p><b>A. TYPE OF IMPROVEMENT</b></p> <p>1 <input type="checkbox"/> New building</p> <p>2 <input checked="" type="checkbox"/> Addition-Alteration of residential, enter number of new housing units added. If none-state none _____</p> <p>3 <input type="checkbox"/> Swimming Pool</p> <p>4 <input type="checkbox"/> Repair (Replacement)</p> <p>5 <input type="checkbox"/> Bulkhead (New, repair)</p> <p>6 <input type="checkbox"/> Fence</p> <p>7 <input type="checkbox"/> Moving (Relocation)</p>	<p><b>B. PROPOSED OR EXISTING USE</b></p> <p><b>RESIDENTIAL</b></p> <p>11 <input checked="" type="checkbox"/> One Family</p> <p>12 <input type="checkbox"/> Two families</p> <p>13 <input type="checkbox"/> Apartment - Enter No. of Units _____</p> <p>14 <input type="checkbox"/> Transient hotel, motel, or <del>company</del> enter No. of Units _____</p> <p>15 <input type="checkbox"/> Garage or Accessory Structure</p> <p>16 <input type="checkbox"/> Other - Specify _____</p>	<p><b>NON RESIDENTIAL - Complete Part 'E'</b></p> <p>17 <input type="checkbox"/> Industrial</p> <p>18 <input type="checkbox"/> Office, bank, professional</p> <p>19 <input type="checkbox"/> Stores, mercantile</p> <p>20 <input type="checkbox"/> Church, other religious</p> <p>21 <input type="checkbox"/> Hospital, institutional</p> <p>22 <input type="checkbox"/> Other - Specify _____</p>
<p><b>C. COST</b></p> <p>10 TOTAL COST OF IMPROVEMENT <u>\$60,000.-</u></p>	<p><b>D. DESCRIPTION OF PROJECT</b></p> <p>Install Wood Frame with stucco finish First and 2nd. Floor (671.2 s.f.) addition to Existing wood frame with brick and vinyl siding 1-1/2 Story 1-Family Residence <u>INSTALL NEW FRONT PORTICO AND REMOVE EXIST. REAR SUN ROOM.</u></p>	

**III. IDENTIFICATION - To be completed by all applicants**

	NAME	MAILING ADDRESS - Number, street, city and state, zip	TEL. NO.
1 Owner or Lessee	Dianelis Sime	75 Cary Place Freeport New York 11520	(631) 432-2153
2 Contractor	<u>TBD</u>		
3 Architect or Engineer	Francisco Perez	1503 91st. Street, North Bergen New Jersey 07047	(201) 978-9009

**IV. OWNER - CONTRACTOR STATEMENT**

Building permit is issued subject to the provisions of Section 57 of the workmen's compensation law.

Workmen's Compensation Certificate No. \_\_\_\_\_ Company \_\_\_\_\_ Exp. Date \_\_\_\_\_

Contractor or Owner Dianelis Sime  
(Print)  
Address 75 Cary Place, Freeport, NY 11520  
Phone (631) 432-2153  
Email: simedianelis@gmail.com

State of New York  
County of Nassau

\_\_\_\_\_ being duly sworn, says that She is the contractor or  
(Print) (He or She)

Owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of Her knowledge and belief, and agrees to conform to all applicable laws of jurisdiction.  
(He or Her)

Sworn to before me this 28 day of December 2021

Mehesha C. Little  
Notary Public.  
County, N.Y.

NOTARY PUBLIC-STATE OF NEW YORK  
No. 01116066956  
Qualified in Nassau County  
Commission Expires November 26, 2025

[Signature]  
(Applicant Signature)

**V. FLOOD ZONE**

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?  
YES \_\_\_\_\_ NO.

IF YES, WHICH ZONE? \_\_\_\_\_

IS PROJECT TO REPAIR FLOOD DAMAGE?  
YES \_\_\_\_\_ NO.

**PROJECT DESCRIPTION**

Total/First Floor Square Feet	1,435
Upper Floors Square Feet	1,277
# of Fixtures	14
# of Floors	2
Occup. Type	1-Family

**VI. VALIDATION (Official Use Only)**

<p>Building Permit Number _____</p> <p>Building Permit Issued _____</p> <p>Building Permit Fees \$ _____</p>	<p>Approved by: _____</p> <p>Superintendent of Buildings</p>
--	--

617.20  
Appendix B  
Short Environmental Assessment Form

20212564

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: Addition and Renovation to Existing 1 1/2-Sty. 1-Family Residence			
Project Location (describe, and attach a location map): No.75 On <del>SOUTH</del> side of Cary Place at 331.05 ft. <del>WEST</del> of Bayview Ave			
Brief Description of Proposed Action:  Install Wood Frame with stucco finish First and 2nd. Floor (671.2 s.f.) addition to Existing wood frame with brick and vinyl siding 1-1/2 Story 1-Family Residence <i>INSTALL NEW FRONT PORTICO AND REMOVE EXISTING REAR SUN ROOM</i>			
Name of Applicant or Sponsor:  Dianelys Sime		Telephone: (631) 432-2153  E-Mail: simedianelis@gmail.com	
Address: 75 Cary Place			
City/PO: Freeport		State: New York	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO  YES  ✓
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO  YES  ✓
3.a. Total acreage of the site of the proposed action?		0.12 acres	
b. Total acreage to be physically disturbed?		0.12 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.12 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

VILLAGE OF FREEPORT, NY  
CLERK'S OFFICE

2022 FEB 19 A 12: 07

RECEIVED



18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	✓	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	✓	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	✓	
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Dianelys Sime</u> Date: <u>12/23/2021</u>		
Signature: <u></u>		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	✓	
2. Will the proposed action result in a change in the use or intensity of use of land?	✓	
3. Will the proposed action impair the character or quality of the existing community?	✓	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	✓	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	✓	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	✓	
7. Will the proposed action impact existing: a. public / private water supplies?	✓	
b. public / private wastewater treatment utilities?	✓	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	✓	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	✓	

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	✓	
11. Will the proposed action create a hazard to environmental resources or human health?	✓	

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

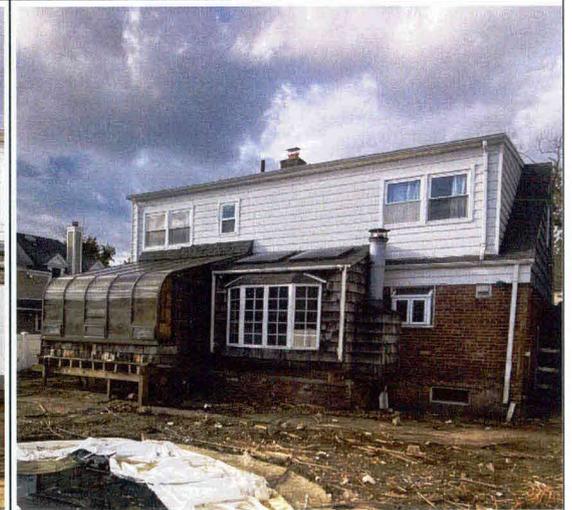
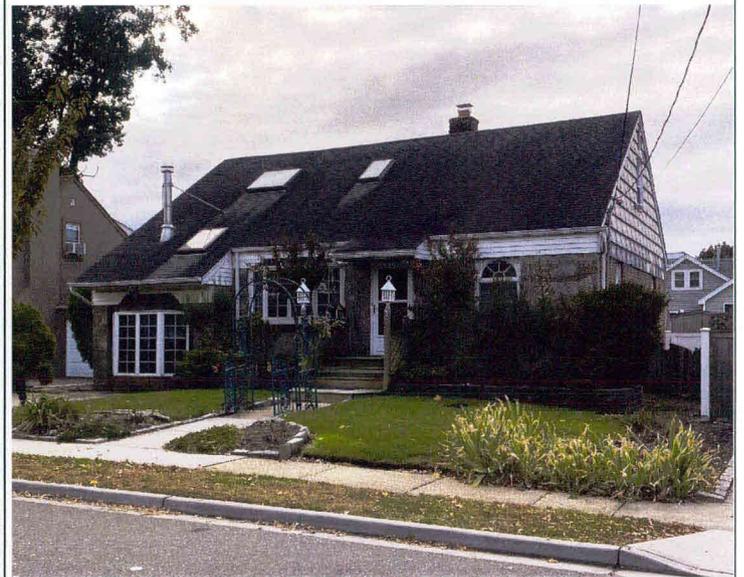
VILLAGE OF FREEPORT, NY  
CLERK'S OFFICE

2022 FEB 19 A 12:08

RECEIVED

75 CARY PLACE, FREEPORT, N.Y, 11520  
SEC. 54 BLK 321 LOT 3

**SUBJECT PROPERTY**  
**PICTURES**



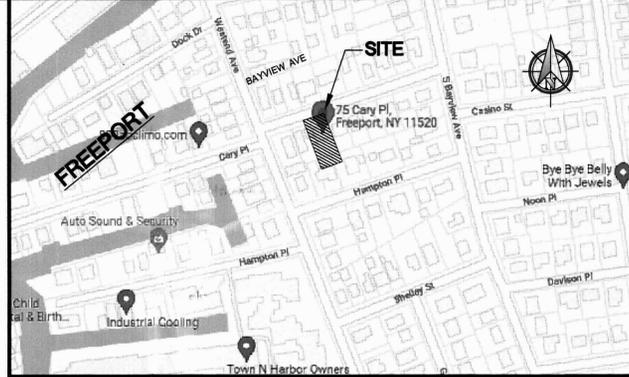
**GENERAL NOTES 1**

- All work shall be done in strict accordance with provisions of local, state, and federal codes, laws, ordinances, and regulations whenever applicable.
- Each contractor shall be held to have visited the site and to have verified all existing conditions prior to submission of bid.
- In all cases, drawings shall not be scaled for information. Figured dimensions and conditions must be verified in the field.
- Contractor shall verify and be responsible for all field dimensions and job conditions, and shall notify the Architect of any discrepancies, conflicts, and/or omissions which would interfere with the satisfactory completion of the work. Should he fail to follow this procedure and continue with the work, he shall assume responsibility and liability arising therefrom.
- All items of work identified on the drawings by name, note, or material designation are new, unless otherwise noted.
- All new materials and installations shall be in accordance with manufacturer's latest printed specifications, and with all applicable code requirements.
- All work shall be performed in accordance with best standard trade practices. Each trade shall cooperate with the Owner and other trades to facilitate job scheduling and completion.
- Proprietary names identifying items of work are used to designate the standard of construction. Items of equal quality may be substituted for the Architect's review.
- Each contractor shall be responsible for any damage to adjoining remaining areas as a result of his work, and shall repair damaged surfaces to their pre-existing conditions or as may be required to complete the entire scope of work.
- Indications of work to be removed are general only, and are not intended to show all items which may require removal. Such items shall be removed, relocated, and/or reinstalled as required for installation of new work.
- Existing equipment and materials to be removed, which are not required to be relocated or retained by the Owner, shall become the property of the contractor and removed from the premises.
- At the completion of each workday, each trade shall be responsible for cleaning up their work. Rubbish removal shall be done in a dust-inhibitive fashion, and the job site shall be free of all debris and broom cleaned upon completion.
- Drywall Construction:
  - Provide sizes and types as shown on the drawings, taped and spackled with three (3) coats and sanded smooth.
  - Provide all metal corner beads, stops, edge trim, casing, casade, etc. as required to finish all drywall surfaces with flush, level edges.
  - Use Firecode "X" gypsum board where required to obtain fire ratings per N.Y.S. Building Codes. See Partition Types and Plans for exact locations.
- Alterations to existing work shall be patched and finished, as necessary, to match existing contiguous surfaces or new finishes shown.
- Clean all floors, walls, doors, misc. metals, glass, etc. leaving job free of dust and debris, prior to project completion.
- All existing floor slabs which are damaged as a result of any demolition and new work are to be restored as required to match and be level with contiguous surfaces.
- Flame spread of all interior finishes shall meet or exceed Class "B" (ASTM-E-84) or Class "I" (Radiant Panel Test) requirements.
- All mechanical and electrical work shall be in full conformance with the Building Codes of N.Y. State, and all other applicable codes and regulations.
- Plumbing work shall be installed by a plumber licensed with the Village of Freeport, in accordance with New York State and National Plumbing Codes.
- Electrical work shall be installed by an electrician licensed in Nassau County, in accordance with New York State and National Electrical Codes. A Fire Underwriter's Laboratory certificate shall be obtained for all electrical work, and supplied to the Owner and the Architect.
- All cabinetry and casework to be fabricated and installed in conformance with the N.Y.S. Building Code.
- During demolition work, properly protect all existing work scheduled to remain. Provide any shoring, bracing, and temporary partitions as required to protect adjoining existing areas so that the owner can continue daily operations with minimal interruptions.
- Soil pressure assumed at 3,000 lbs. per sq. ft..
- All new construction is to conform to the latest Energy Conservation Construction Code of N.Y. State, effective August 5, 2007.

**GENERAL CODE NOTES 2**

- SEE DRAWINGS A-4 FOR NEW DOOR AND WINDOW SCHEDULES.
- SEE DRAWINGS C-1 AND C-2 FOR THE RESIDENTIAL CODE OF NEW YORK STATE GENERAL CONSTRUCTION DETAILS, FASTENING/NAILING & STRAPPING SCHEDULES.
- NEW SMOKE ALARM DETECTOR TO BE INSTALLED AT EACH SLEEPING ROOM, HALLWAY & BATHROOM. ALL SMOKE DETECTORS TO BE INTERCONNECTED IN ACCORDANCE WITH SECTION R301.2(1) AND POWER SOURCE FOR SMOKE DETECTORS IS TO COMPLY WITH SECTION R301.2(2) OF THE NYS RESIDENTIAL CODE. (TYP.)
- NEW CARBON MONOXIDE DETECTOR IS TO BE INSTALLED, LISTED AND LABELED AS COMPLYING WITH 2004-2009 STANDARD AND TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND PER UL'S SECTION E 313.4.
- MINIMUM DUCT INSULATION IS TO BE IN ACCORDANCE WITH TABLE R603.3.3 OF THE ENERGY CONSERVATION CODE OF NEW YORK STATE.
- PLEASE CONFIRM THAT ALL APPLIANCES WILL BE DIRECTLY VENTED TO THE OUTSIDE. BLDG OR VENTING SYSTEM IS TO COMPLY WITH SECTION G401.1 (B)4) FURNITURE/FIRE FLUE CROSS SECTIONAL AREA IS TO COMPLY WITH SECTION R301.2(2) EXTERIOR AIR INTAKE IS TO COMPLY WITH SECTION R301.2(2) OF R.C. O. N.Y.S.
- MOISTURE VAPOR RETARDERS ARE TO BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION IN ALL PRAYED WALLS, FLOORS AND ROOF/Ceilings COMPRISING ELEMENTS OF THE BUILDING THERMAL ENVELOPE, IN ACCORDANCE WITH SECTION R319 OF R.C. O. N.Y.S.
- PIPE INSULATION FOR THE WATER DISTRIBUTION SYSTEMS IS TO COMPLY WITH TABLE R603.3.1 OF THE ENERGY CONSERVATION CODE. SEE TABLE ON DIS. C-3 FOR MORE INFORMATION WATER DISTRIBUTION TO BE 1" COPPER OR BETTER, VENTS TO BE P.V.C. SCHEDULE 40 OR BETTER, DRAINS TO BE BLACK IRON PIPE OR BETTER.
- ELECTRICAL EQUIPMENT WIRING AND INSTALLATION ARE TO COMPLY WITH CHAPTER 33 THROUGH 42 OF R.C. O. N.Y.S. WIRE INSULATION TO BE RHW OR BETTER (F50 C MAX CONDUCTOR TEMP.) ALL GARAGE, OUTDOOR, UNDERFLOOR SPACES TO BE PROVIDED WITH GFI PROTECTION IN ACCORDANCE WITH SECTION E 3302.7 OF R.C. O. N.Y.S.
- THE WIRING SYSTEM OF THE PREMISES IS TO BE GROUNDED AT THE WATER SERVICE OR WITH A GROUNDING ELECTRODE CONNECTED IN ACCORDANCE WITH SECTION E3401.1, SIZED IN ACCORDANCE WITH SECTION E3403.1. THE ROD ELECTRODE IS TO BE MADE OF ZINC COATED IRON OR STEEL, SHALL HAVE 5/8" MINIMUM DIAMETER AND SHALL BE A MINIMUM OF 8 FT. LONG. NON-FERROUS ROD SHALL BE 1/2" MINIMUM DIAMETER IN ACCORDANCE WITH SECTION E 3502.6 OF R.C. O. N.Y.S.
- CIRCUIT BREAKERS AND OTHER ELECTRICAL DEVICES ARE TO BE SIZED TO PROTECT THE FEEDER IN EACH PARTICULAR BRANCH CIRCUIT.
- A MINIMUM OF ONE 20 AMPERE BRANCH CIRCUIT IS TO BE PROVIDED TO SUPPLY THE BATHROOM RECEPTACLE OUTLETS. SUCH CIRCUITS ARE TO HAVE NO OTHER OUTLET.
- CIRCUITS RATINGS TO BE IN ACCORDANCE WITH SECTION E346.2. GROUNDING FAULT INTERRUPTER PROTECTION IS TO BE PROVIDED FOR BATHROOM CIRCUITS. ALL CIRCUITS LISTED IN SECTION E3402 OF R.C.O.N.Y.S.
- STAIRWAY ILLUMINATION IS TO BE IN ACCORDANCE WITH R309.6. THE LIGHT SWITCH IS TO BE LOCATED AT THE TOP AND AT THE BOTTOM OF EACH STAIRWAY, IN ACCORDANCE WITH SECTION R309.6.1 OF R.C. O. N.Y.S.
- DWELLING IDENTIFICATION IS TO BE PROVIDED IN ACCORDANCE WITH SECTION R321 OF R.C. O. N.Y.S.
- ALL MECHANICAL SYSTEMS INSTALLED SHALL COMPLY WITH CHAPTER 2 THROUGH CHAPTER 24 OF R.C.O.N.Y.S.
- PLUMBING SYSTEM INSTALLED SHALL COMPLY WITH CHAPTER 25 THROUGH CHAPTER 24 OF R.C.O.N.Y.S.
- GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS BATHUBS AND SHOWERS, GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 66" (1524 mm) MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

**LOCATION MAP (N.T.S.)**



**PROPOSED WOOD FRAME WITH STUCCO ADDITION AND RENOVATION TO EXITING 1 1/2-STORY 1-FAMILY RESIDENCE**

75 CARY PLACE, FREEPORT, N.Y., 11520  
SEC. 54 BLK 321 LOT 3

**RESIDENTIAL CODE OF NEW YORK STATE - 2020**

**TABLE R301.2(1)  
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA**

GROUND SNOWLOAD As per figure R301.2(5)	WIND SPEED (mph) As per figure R301.2(4)	SESMIC DESIGN CATEGORY As per figure R301.2(2)	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP As per Table N101.2	ICE SHEILD UNDER-LAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX As per Table R403.3(1)
			WEATHERING As per figure R301.2(3)	FROST LINE DEPTH	TERMITE As per figure R301.2(6)	DECAY As per figure R301.2(7)				
20 psf	120 mph	B	SEVERE	3 FT.	MODERATE TO HEAVY	SLIGHT TO MODERATE	NASSAU - 18	YES	-	NASSAU - 498

**GENERAL STRUCTURAL NOTES**

**ALLOWABLE WOOD STRESSES:**  
CONSTRUCTION GRADE DOUGLAS FIR - SOUTH 1  
F<sub>c</sub> = 1500 PSI  
F<sub>t</sub> = 675 or 525 PSI IF 4' WIDTH (COMPRESSION PARALLEL TO GRAIN)  
F<sub>c</sub> = 800 PSI (COMPRESSION PARALLEL TO GRAIN)  
F<sub>c</sub> = 245 PSI (COMPRESSION PERPENDICULAR TO GRAIN)  
F<sub>v</sub> = 90 PSI (HORIZONTAL SHEAR)

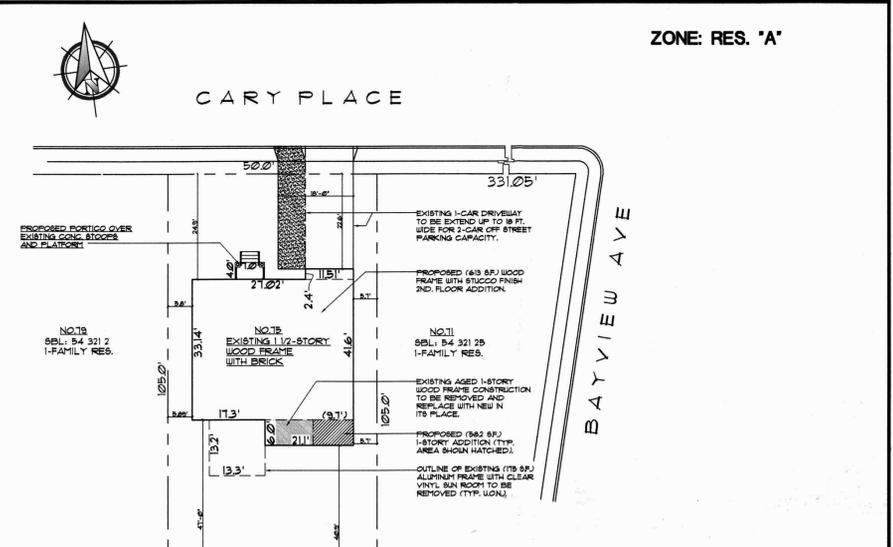
**REFERENCES:**  
BUILDING CODE OF NEW YORK STATE  
RESIDENTIAL CODE OF NEW YORK STATE  
AMERICAN FOREST & PAPER ASSOCIATION (UPCM) - 2021 EDITION  
TIMBER CONSTRUCTION MANUAL (AISC)  
MANUAL OF STEEL CONSTRUCTION (AISC)  
AMERICAN CONCRETE INSTITUTE (ACI)

**CONCRETE**  
1. Design, materials and methods of construction shall comply with the Building Code Requirements for Reinforced Concrete ACI 318-08 of the American Concrete Institute. Compressive strength at 28 days (f'<sub>c</sub>) for reinforced concrete in footings and slabs shall be 3500 PSI.  
2. Concrete and reinforcing materials shall conform to the following standards:  
A. Portland cement as per ASTM C150-04.  
B. Air-entraining Admixtures shall conform to ASTM C-260-11 & Section R 402.2 of R.C. of N.Y.S.  
C. Concrete aggregates as per ASTM C33-04.  
D. Water shall be clean and free from injurious amounts of oils, acids, alkalis, salt, organic materials and deleterious substances.  
E. Deformed reinforcing bars shall conform to ASTM A615-02(S) Grade 60.  
F. Welded smooth wire fabric for concrete reinforcement shall conform to ASTM A185-19 and A82-78.  
3. All bars shall be securely held in proper position while placing concrete. If required, additional bars or stirrups shall be provided by the contractor to that effect.  
4. Minimum concrete cover of reinforcement shall be as follows:  
A. Footings and other principal structural members cast against ground, 3".  
B. Concrete, after removal of forms exposed to weather or in contact with ground to be 2" for bars larger than #5, and 1 1/2" for #5 or smaller.  
C. Slabs and walls not exposed to ground or weather to be 3/4" and beams and girders to be 1 1/2".  
5. All dowels, anchor bolts, embedded steel, electrical conduits, pipe sleeves, waterstops, inserts, grounds and all other embedded items shall be in place before placement of concrete.

**2018 IECC CODE NOTES**

2018 IECC Section R403.3 Mechanical system piping insulation (Mandatory)  
Mechanical system piping capable of carrying fluids above 105 F (41 C) or below 55 F (13 C) shall be insulated to a minimum of R-3.  
Protection of piping insulation  
1. Piping from the water heater to kitchen outlets.  
4. Piping located outside the conditio space.  
5. Piping from the water heater to a distribution manifold.  
6. Piping located under a floor slab.  
7. Buried piping.  
8. Supply and return piping in recirculation systems other than demand recirculation systems.  
9. Piping with run lengths greater than the maximum run lengths for the nominal pipe diameter given in Table 403.4.2. All remaining piping shall be insulated to at least R-3 or meet the run length requirements of Table R403.4.2.  
2018 IECC Electrical Power and Lighting System  
Section R404.1 Lighting Equipment.  
Not less than 75 percent of the permanently installed lighting fixtures to be high efficacy lamps as required.

**PLOT PLAN LOT SIZE: 9,726 S.F. (0.22 ACRE) SCALE: 1"=15'**



**BUILDING CODE OF NYS 2020 ANALYSIS**

**CONSTRUCTION CLASSIFICATION:**  
TYPE VB - WOOD FRAME

**FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS:**  
AS PER TABLE 601-NO FIRE RESISTANCE RATING REQUIRED FOR ANY BUILDING ELEMENTS.

**CHAPTER 11 - ACCESSIBILITY (SECTION 1103)**  
1103.2.4 DETACHED ONE AND TWO FAMILY DWELLINGS AND ACCESSORY STRUCTURES, AND THEIR ASSOCIATED SITES AND FACILITIES AS APPLICABLE IN SECTION 101.2, ARE NOT REQUIRED TO BE ACCESSIBLE.

**SYMBOL LIST**

	North Arrow.
	Detail No. DETAIL DESIGNATION Drawing No.
	Section Number SECTION Drawing No.
	New Window Number Designation (See Window Schedule Sheet RC-2).
	New Door Number Designation (See Door Schedule Sheet RC-2).
	Furniture Designation.
	Partition Type Designation.
	Fire Extinguisher (Wall hung)
	Exhaust Fan.
	Existing Construction to Remain.
	Existing Construction to be Removed (REMOVE).
	New Drywall Partition.
	Existing Door Frame to Remain.
	Existing Door Frame to Remove.

**ZONING CALCULATIONS**

**ZONING: PER VILLAGE OF FREEPORT (ZONED, RES - "A")**

**BUILDING HEIGHT:**  
35' OR 3 STORIES MAX. HEIGHT)

**BUILDING AREAS:**  
ATTACHED GARAGE: \_\_\_\_\_ EXISTING \_\_\_\_\_ 0 S.F. \_\_\_\_\_ PROPOSED \_\_\_\_\_ 0 S.F.  
CELLAR: \_\_\_\_\_ EXISTING \_\_\_\_\_ 1,084 S.F. \_\_\_\_\_ PROPOSED \_\_\_\_\_ 1,220 S.F.  
CELLAR BATHROOM: \_\_\_\_\_ EXISTING \_\_\_\_\_ 0 S.F. \_\_\_\_\_ PROPOSED \_\_\_\_\_ 61 S.F.  
FIRST FLOOR: \_\_\_\_\_ EXISTING \_\_\_\_\_ 1,313 S.F. \_\_\_\_\_ PROPOSED \_\_\_\_\_ 1,435 S.F.  
SECOND FLOOR: \_\_\_\_\_ EXISTING \_\_\_\_\_ 664 S.F. \_\_\_\_\_ PROPOSED \_\_\_\_\_ 1,271 S.F.

**ROOFED OVER PORCHES & DECKS:** \_\_\_\_\_ EXISTING \_\_\_\_\_ 175 S.F. \_\_\_\_\_ PROPOSED \_\_\_\_\_ 28 S.F.

**OPEN DECKS:** \_\_\_\_\_ EXISTING \_\_\_\_\_ 0 S.F. \_\_\_\_\_ PROPOSED \_\_\_\_\_ 131 S.F. (BALCONY)

**ACCESSORY STRUCTURES:** \_\_\_\_\_ EXISTING \_\_\_\_\_ 0 S.F. \_\_\_\_\_ PROPOSED \_\_\_\_\_ 0 S.F.

**INGROUND POOL:** \_\_\_\_\_ EXISTING \_\_\_\_\_ 0 S.F. \_\_\_\_\_ PROPOSED \_\_\_\_\_ 0 S.F.

**ABOVE GROUND POOL:** \_\_\_\_\_ EXISTING \_\_\_\_\_ 0 S.F. \_\_\_\_\_ PROPOSED \_\_\_\_\_ 0 S.F.

**TOTAL BUILDING AREA:** \_\_\_\_\_ 2,201 S.F. (INCL. FIRST FL., SECOND FL., CELLAR BATHROOM, ACCESSORIES BUILDING AND SHEDS)

**LOT COVERAGE:** \_\_\_\_\_ 30% MAX. = 5,250 X 0.30 = 1,575 S.F.

**ACTUAL COVERAGE:** \_\_\_\_\_ 1,463 (1,575 S.F. = 28 %)

(ACTUAL COVERAGE INCLUDES 1ST FL., PORCHES AND ACCESSORY STRUCTURES)

**SCOPE OF WORK**

- 1-FINISH EXISTING UNFINISHED CELLAR FOR STORAGE AND INSTALL NEW 3-BATHROOM AND EGRESS WINDOW WITH CONCRETE WINDOW WELL.
- 2-REMOVE EXISTING 13.2' X 13.3' ALUMINUM WITH CLEAR VINYL SUN ROOM.
- 3-REMOVE AND REPLACE WITH NEW EXITING 9' X 6' 1-STORY AGED CONSTRUCTION.
- 4-REMOVE EXISTING 2-FLOOR ROOF STRUCTURE AND DORMER IN ORDER TO INSTALL NEW 613 S.F. 2ND. FLOOR ADDITION.
- 5-INSTALL NEW 6' X 21.1' BALCONY OVER PARTIAL FLAT ROOF OVER KITCHEN AREA.

**DRAWINGS LIST**

- |   |   |
|---|---|
| 1.- T-1 TITLE/INFORMATION SHEET, SITE PLAN GENERAL NOTES & LOCATION MAP | 6.- A-3 PROPOSED FRONT & RIGHT SIDE ELEVATIONS        |
| 2.- C-1 NEW YORK STATE CODE - REQUIREMENTS - DETAILS                    | 7.- A-4 PROPOSED LEFT SIDE AND REAR ELEVATIONS        |
| 3.- C-2 NEW YORK STATE CODE - REQUIREMENTS - DETAILS                    | 8.- A-4 BUILDING SECTION AND CONSTRUCTION DWG DETAILS |
| 4.- A-1 PROPOSED CELLAR/FOUNDATION AND FIRST FLOOR PLANS                |   |
| 5.- A-2 PROPOSED 2ND. FLOOR & ROOF FRAMING PLANS                        |   |

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**REVISIONS**

NO.	DATE	DESCRIPTION
1	01/20/22	REVISSED AS PER VILLAGE OF FREEPORT COMMENTS
2		
3		

ISSUED TO	NO.	DATE

**APPLICATION NO.**

**APPLICANT/OWNER**

**ANTHONY & DANIELS SIME**  
ADDRESS:  
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**FREEPORT, N.Y. 11520**  
PHONE:  
**(631)432-2153**  
**EMERGENCY CONTACT:**  
**NAME: MIGUEL RAMIREZ**  
PHONE:  
**(631)704-6601**

**PROJECT TITLE**

**PROPOSED WD. FRAME WITH STUCCO FINISH ADDITION AND RENOV. TO 1-FAMILY RESIDENCE**

75 CARY PLACE  
FREEPORT, N.Y. 11520  
SEC. 54 BLK 321 LOT 3

**DRAWING TITLE**

TITLE INFORMATION  
PLOT PLAN, LOCATION  
MAP AND SYMBOL LIST  
AND ENERGY CALC.

<b>DRAWN BY:</b> MIGUEL RAMIREZ	<b>DRAWING NO.</b> <b>T-1</b>
<b>CHECKED BY:</b> FP	<b>PROJECT NO.</b> 1
<b>DATE:</b> DEC 2021	<b>SCALE:</b> AS SHOWN
	<b>8</b>

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ISSUED TO	NO.	DATE

**APPLICATION NO.**

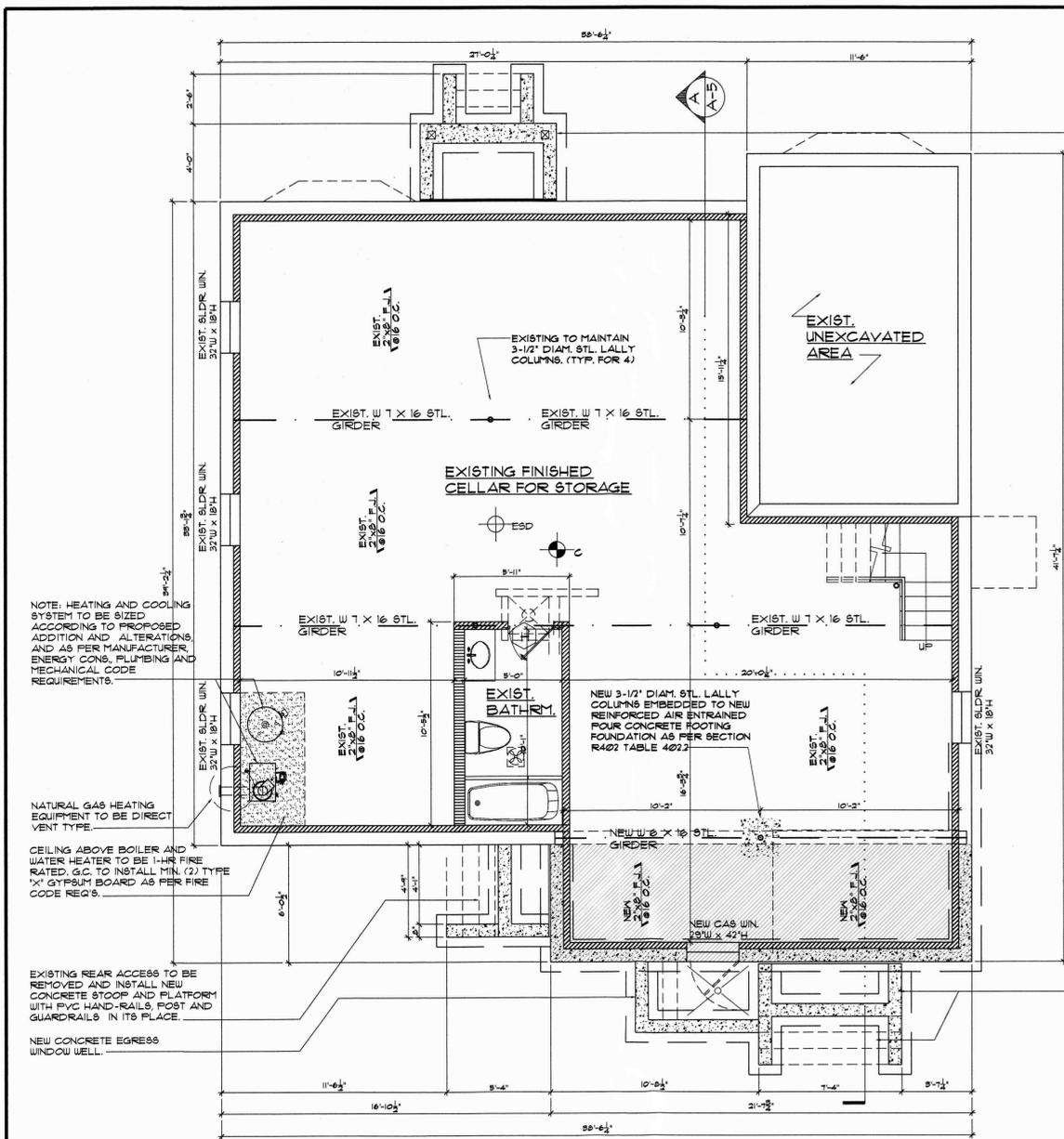
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**PROJECT TITLE**

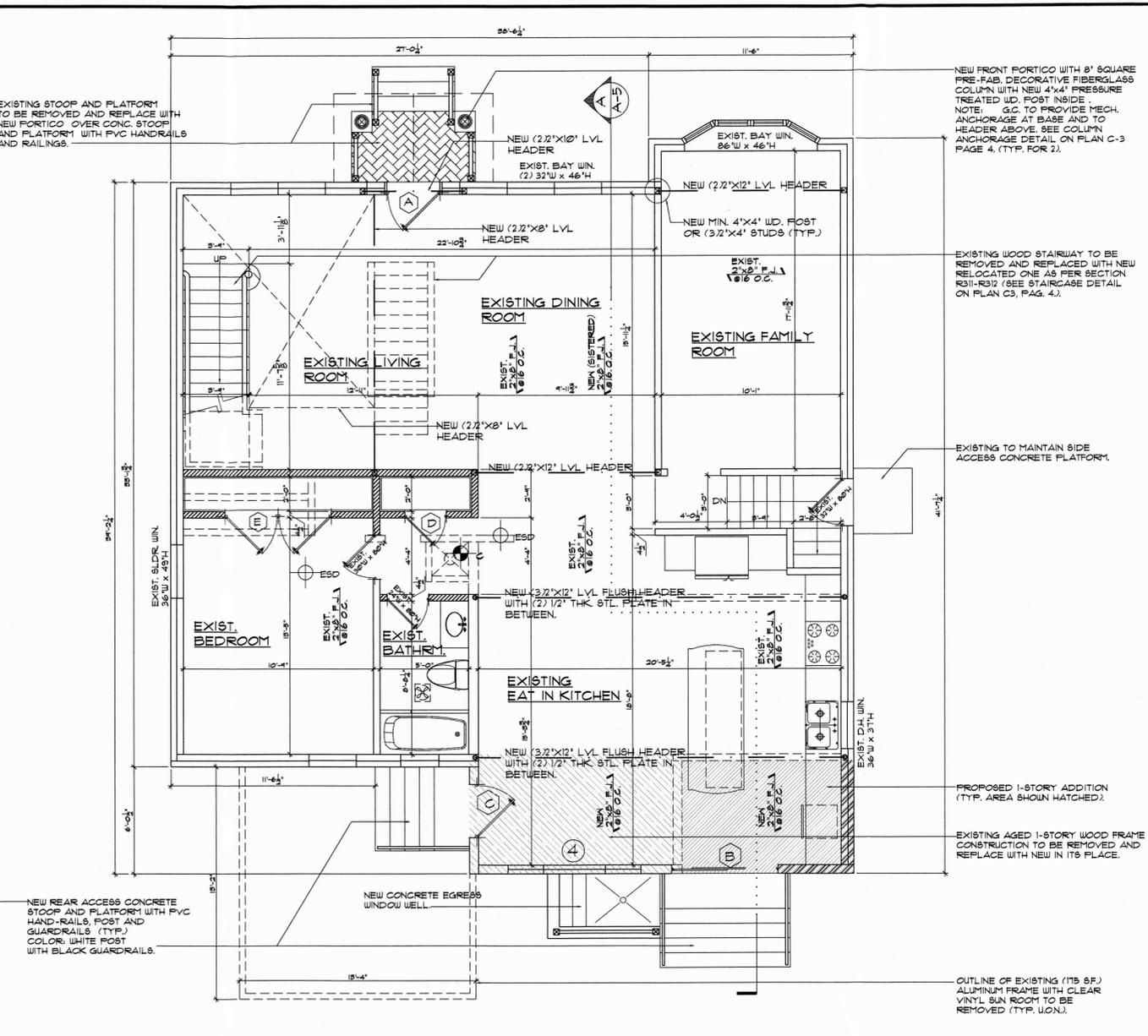
**PROPOSED WD. FRAME WITH STUCCO FINISH ADDITION AND RENOV. TO 1-FAMILY RESIDENCE**  
75 CARY PLACE  
FREEPORT, N.Y. 11520  
SEC. 54 BLK 321 LOT 3

**DRAWING TITLE**  
**CELLAR FOUNDATION & FIRST FLOOR PLAN**  
**WALL TYPE LEGEND AND GENERAL CONST. NOTES**

<b>DRAWN/DESIGN BY:</b> MIGUEL RAMIREZ	<b>DRAWING NO.</b> <b>A-1</b>
<b>CHECKED BY:</b> FP	<b>PROJECT NO.</b> 4
<b>DATE:</b> DEC 2021	<b>SCALE:</b> AS SHOWN
<b>SCALE:</b> AS SHOWN	<b>8</b>



**(A) EXISTING 1-FLOOR PLAN WITH PROPOSED ADDITION**  
SCALE: 1/4"=1' (AREA: 1220 SF.)



**(B) EXISTING 1-FLOOR PLAN WITH PROPOSED ADDITION**  
SCALE: 1/4"=1' (AREA: 1435 SF.)

**WALL TYPE LEGEND**

	EXISTING TO REMAIN EXT. 8" LOAD BEARING CONC. BLOCK FOUNDATION WALL WITH NEW INTERIOR FURRED OUT
	EXISTING WALL AND/OR EXISTING CONSTRUCTION TO BE REMOVED
	NEW 8" REINFORCED POURED CONCRETE FOUND. WALL WITH NEW INTERIOR FURRED OUT OVER 20' W. X 12' DP. POURED CONCRETE FOOTING (TYP. SHOWN HATCHED THIS)
	EXISTING INTERIOR & EXTERIOR WALL FRAME TO REMAIN
	NEW EXTERIOR WALL CONSTRUCTION OF CEMENTITIOUS FINISH OVER VINYL MESH FASTENED TO MIN. 1" RIGID INSULATION (R=6) OVER TYVECK VAPOR BARRIER OVER 1/2" CDX FLUID SHEATHING OVER 2"x4" STUDS @ 16" O.C. G.C. PROVIDE 3 1/2" FOIL-FACED BATT INSUL. (R=19) BETWEEN STUDS. FINISH INTERIOR 1/2" GYP. BD. (TYP.)
	INTERIOR WALL PARTITION CONSISTING OF (1) LAYER OF 1/2" GYP. BD. EACH SIDE OF 3 1/2" WD. STUDS @ 16" O.C. FROM FLOOR TIGHT TO THE UNDERSIDE OF STRUCTURE ABOVE
	1-HR FIRE RATED INTERIOR WALL PARTITION CONSISTING OF (1) LAYER OF 5/8" TYPE 'X' GYP. BD. EACH SIDE OF 3 1/2" WD. STUDS @ 16" O.C. FROM FLOOR TIGHT TO THE UNDERSIDE OF STRUCTURE ABOVE (TYP. AT BOILER ROOM AREA).

**SIMBOL LIST**

	ELECTRIC INTERCOM SMOKE DETECTOR (TYP.)
	ELECT. CARBON MONOXIDE DETEC. (TYP.)
	WINDOW NUMBER DESIGNATION (SEE WINDOW SCHEDULE ON PLAN A-1, PAGE 11)
	DOOR LETTER DESIGNATION (SEE DOOR SCHEDULE ON PLAN A-1, PAGE 11)
	EXHAUST FAN FOR MECHANICAL VENTILATION TO EXTERIOR W/ MIN. 90 CFM. CAPACITY.
	1-HR FIRE RATED CEILING ABOVE 1-CAR GARAGE AREA WITH (2) LAYERS OF TYPE 'X' GYP. BOARD.

**GENERAL NOTES:**

- SEE DRAWING A-3 FOR NEW DOOR AND WINDOW SCHEDULES.
- SEE DRAWING C-1 AND C-2 FOR THE RESIDENTIAL CODE OF NEW YORK STATE GENERAL CONSTRUCTION DETAILS, FASTENING/NAILING & STRAPPING SCHEDULES.
- NEW SMOKE ALARM DETECTOR TO BE INSTALLED AT EACH SLEEPING ROOM, HALLWAY & BASEMENT. ALL SMOKE DETECTORS TO BE INTERCONNECTED IN ACCORDANCE WITH SECTION R311 AND POWER SOURCE FOR SMOKE DETECTORS IS TO COMPLY WITH SECTION R312 OF THE NYS RESIDENTIAL CODE. (TYP.)
- NEW CARBON MONOXIDE DETECTOR IS TO BE INSTALLED, LISTED AND LABELED AS COMPLYING WITH 2024-2027 STANDARD AND TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- FOR BASEMENT 40R CELLAR WALLS, FOUND. WALLS, EXT. WALLS AND OTHER VERTICAL CONC. WORK EXPOSED TO THE WEATHER USE 3000 PSI AIR ENTRAINED CONCRETE.
- POORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS USE 3000 PSI AIR ENTRAINED CONCRETE.

**HEADER SCHEDULE:**  
ALL HEADERS OVER WINDOWS AND OPENINGS TO BE AS FOLLOWS:

- (2) 2"x8" FOR OPENINGS LESS THAN 3' WIDE
- (2) 2"x10" FOR OPENINGS BETWEEN 3' AND 8' WIDE
- (2) 2"x12" FOR OPENINGS BETWEEN 8' AND 12' WIDE
- FOR LARGER OPENINGS, SEE FLOOR PLANS.



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REVISIONS

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PROJECT TITLE

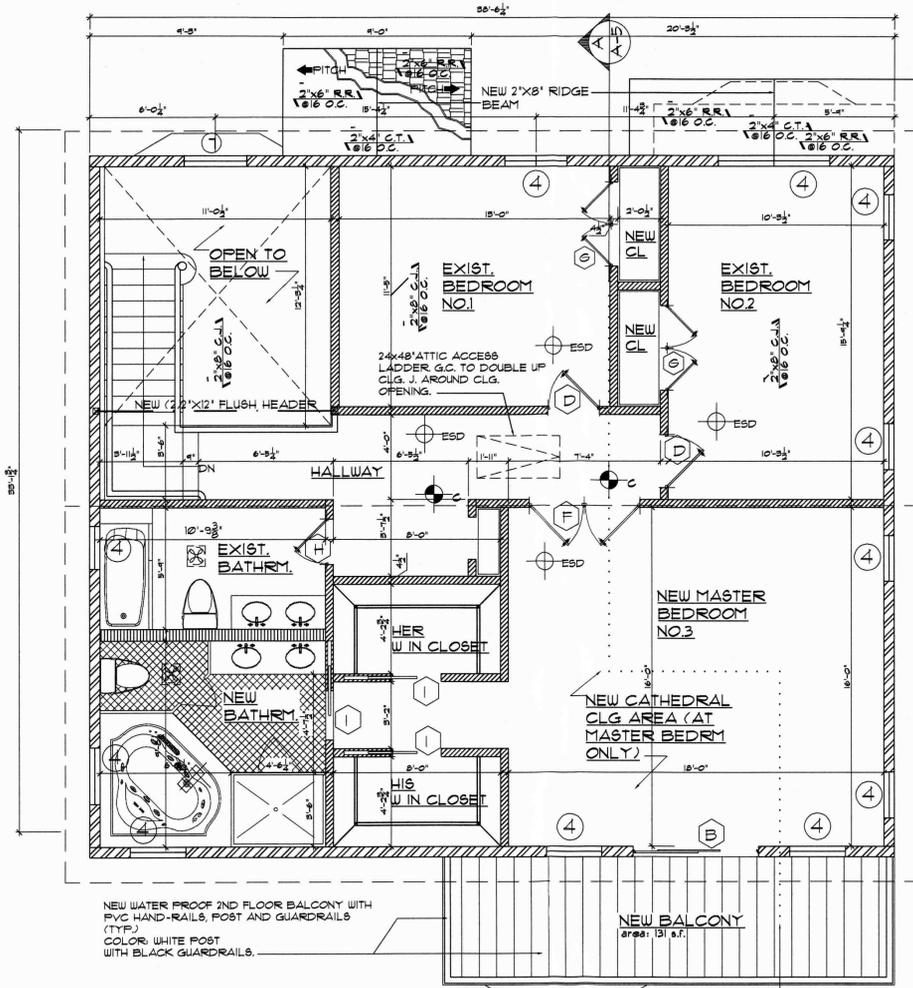
PROPOSED WD. FRAME WITH STUCCO FINISH ADDITION AND RENOV. TO 1-FAMILY RESIDENCE

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SEC. 64 BLK 321 LOT 3

DRAWING TITLE

CELLAR FOUNDATION & FIRST FLOOR PLAN WALL TYP LEGEND AND GENERAL CONST. NOTES

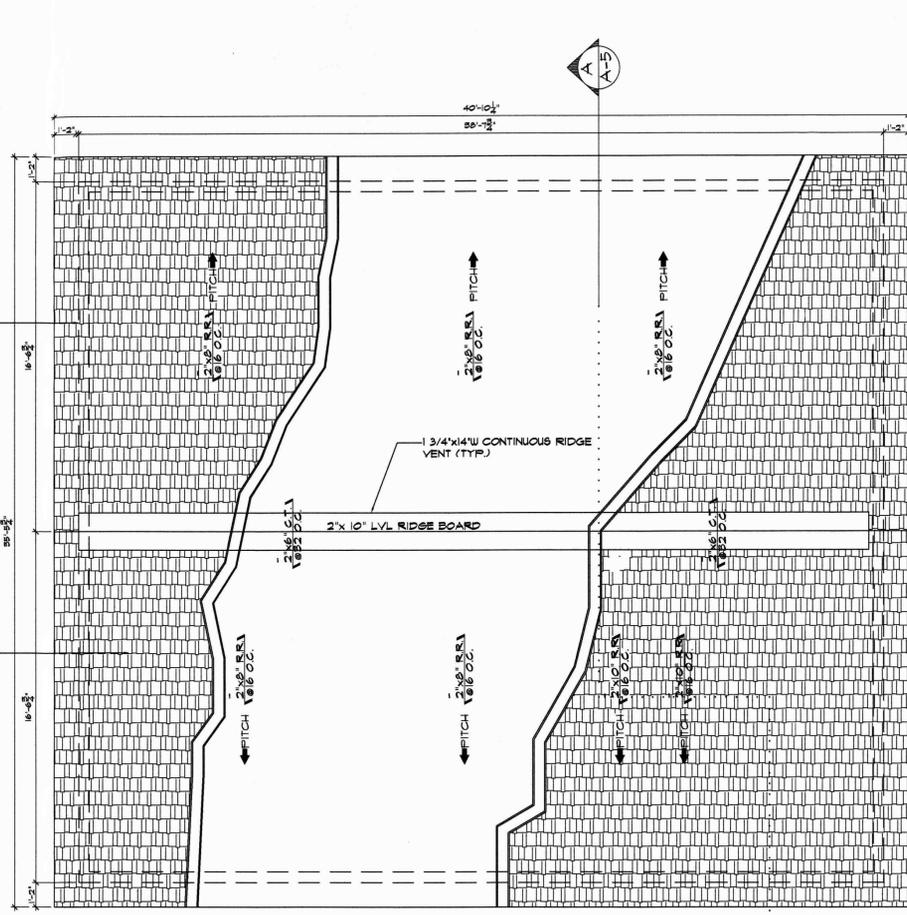
DRAWN/DESIGN BY: MIGUEL RAMIREZ	DRAWING NO. <b>A-1</b>
CHECKED BY: FP	PROJECT NO. 5
DATE: DEC 2021	SCALE: 2021/04
SCALE: AS SHOWN	8



**A** EXISTING 2ND FLOOR PLAN WITH PROP. ADDITION  
SCALE: 1/4"=1' (AREA: 1211 SF)

OUTLINE OF ROOF WALL STRUCTURE BELOW (TYP.)

G.C. TO REMOVE ALL EXISTING 2ND FL. ROOF STRUCTURE AND INSTALL NEW SELF-SEALING, FIBERGLASS REINFORCED ROOF SHINGLES OVER 30 LB. ROOF FELTS OVER 5/8" CDX FLUD. SHEATHING OVER 2"x8" ROOF BATTERS @ 16" O.C. (TYP.) (PROVIDE HURRICANE TIES AT JUNCTION W/ EXTERIOR WALLS.)



**B** ROOF FRAMING PLAN  
SCALE: 1/4"=1' (AREA: 1268 SF)

DOOR SCHEDULE (NEW)			
SYMBOL	DOOR SIZE	DESCRIPTION	QTY.
A	5'-0" X 6'-8"	SCUD PANEELED DOOR W SIDE LIGHTS	1
B	6'-0" X 6'-8"	VINYL CLAD WD. SLDR. DOOR	2
C	3'-0" X 6'-8"	VINYL CLAD WD. FRENCH DOOR	1
D	2'-6" X 6'-8"	FRE-FIN. SCUD, PANEELED DOOR	3
E	(2) 30" X 6'-8"	FRE-FIN. HCLD PANEELED DOOR	1
F	(2) 32" X 6'-8"	FRE-FIN. SCUD, PANEELED DOOR	1
G	(2) 30" X 6'-8"	FRE-FIN. HCLD PANEELED DOOR	2
H	2'-4" X 6'-8"	FRE-FIN. SCUD PANEELED DOOR	2
I	2'-4" X 6'-8"	FRE-FIN. SCUD PANEELED POCKET DOOR	3
J	(2) 2'-6" X 6'-8"	FRE-FIN. SCUD BI-FOLD DOOR	0
K	(2) 2'-0" X 6'-8"	FRE-FIN. HCLD, BI-FOLD DOOR	0
		TOTAL QUANTITY NEEDED FOR THIS JOB	17

- FOR ALL EXISTING DOORS TO REMAIN, SEE PLANS.
- 'SCUD' DENOTES - SOLID-CORE WOOD
- 'HCLD' DENOTES - HOLLOW-CORE WOOD

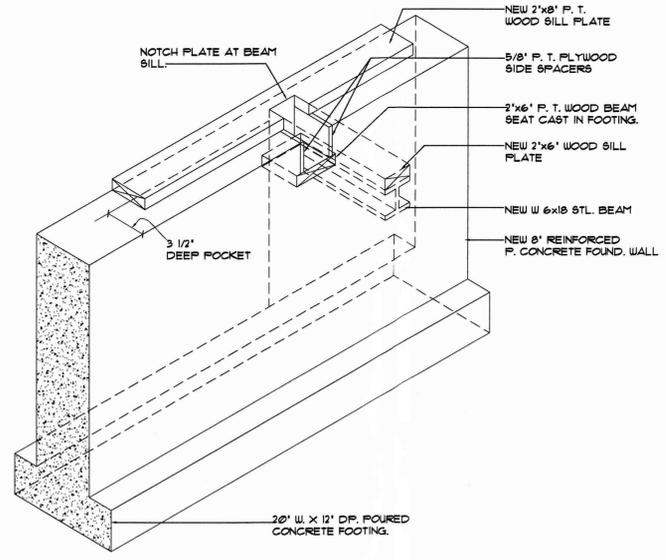
WINDOW SCHEDULE 1,2,, (NEW)				
NUMBER	ROUGH OPENING DIM.	WINDOW MODEL	STYLE	QTY.
1	2'-8 5/8" W X 1'-1 1/4" H	2817	AWNING	6
2	2'-8 1/8" W X 4'-9 1/4" H	20846	DOUBLE-HUNG	14
3	2'-2 1/8" X 3'-1 1/4" H	20210	DOUBLE-HUNG	3
4	3'-2 1/8" X 3'-6"	3032	DOUBLE-HUNG	3
5	60" W X 24" HT	APCW4924	SPECIALTY WINDOW	2
6	3'-2 1/8" W X 4'-9 1/4" H	3046	DOUBLE-HUNG	5
7	2'-6 1/8" X 3'-6 1/4" H	CA-2636	DOUBLE-HUNG	1
			TOTAL QUANTITY NEEDED FOR THIS JOB	34

- WINDOWS MEET EGRESS REQUIREMENTS (SEE CARPENTRY NOTES)
- WINDOWS MEET EGRESS REQUIREMENTS (SEE CARPENTRY NOTES)  
PROVIDE AT LEAST (1) WINDOW (OR DOOR) IN EACH HABITABLE SPACE FOR EMERGENCY ESCAPE IN CONFORMANCE WITH N.Y.S. CODE SEC. R310 MIN OPENING OF 5.7 SQ. FEET (5.0 SQ. FEET @ GRADE LEVEL WHEN GRADE TO SILL IS LESS THAN 44" OR LESS) W/ MINIMUM NET HEIGHT 24" AND MINIMUM NET WIDTH OF 20" (OPERATION W/O NEED FOR TOOLS) BOTTOM OF OPENING @ 44" MAXIMUM AFF.
  - ALL WINDOW MODEL NUMBERS SHOWN ARE ANDERSEN WINDOW 400 SERIES BRAND, U.O.N. (NOTE: G.C. CAN SUBSTITUTE WITH ANOTHER WINDOW MANUF. AS LONG AS IT MEETS THE SAME CODE REQUIREMENTS.)
  - ALL WINDOWS MUST BE ANDERSEN 'LOW E'
  - FOR ALL EXISTING WINDOWS TO REMAIN, SEE PLANS.
  - ALL WINDOWS TO MEET 110 MPH WIND CRITERIA WITH CODE REQUIRED GLAZING.

LIGHT, VENTILATION AND HEATING

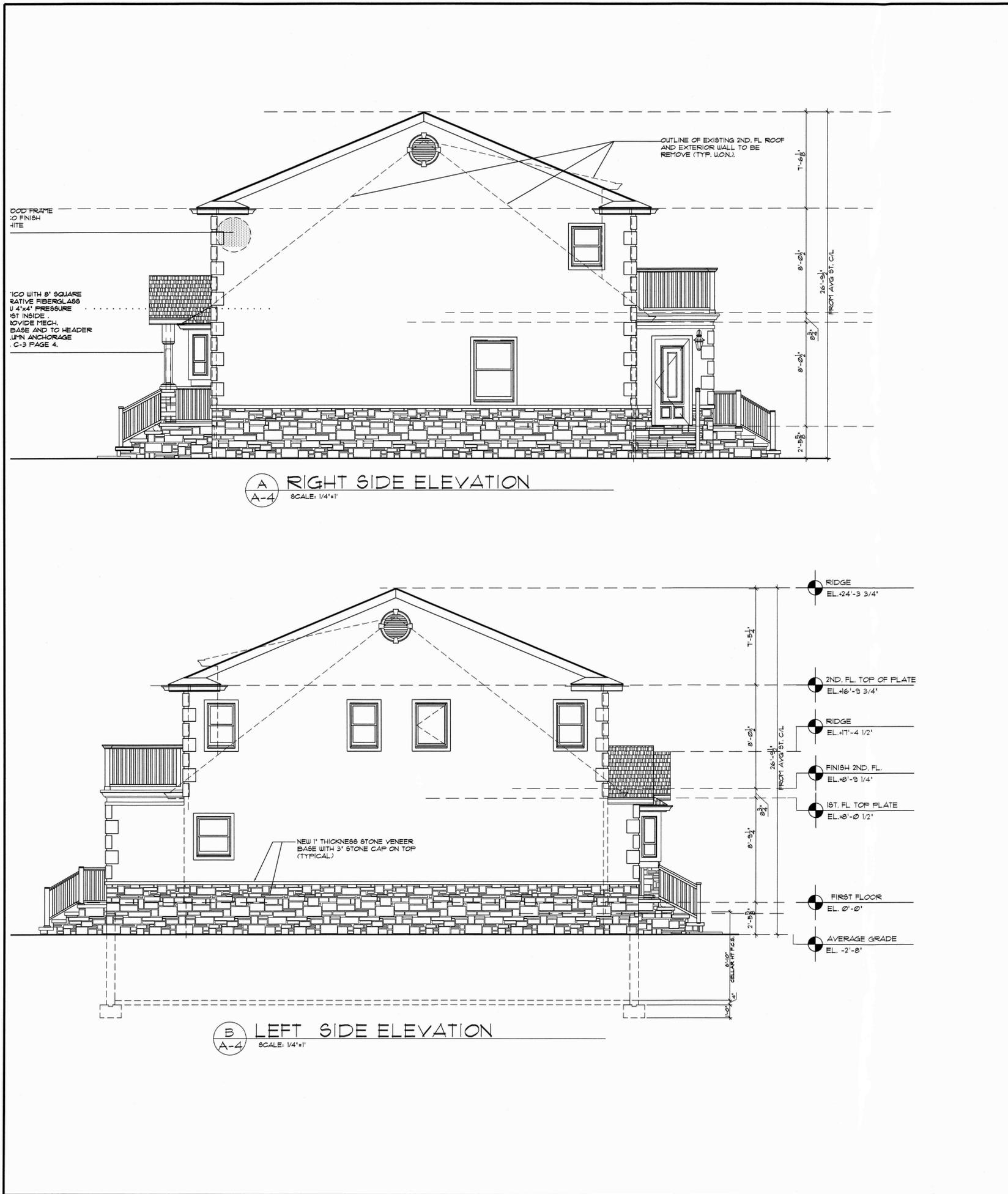
USE	AREA (ft <sup>2</sup> )	WIDTH	AVERAGE CEILING	MINIMUM CEILING	NATURAL* LIGHT	NATURAL VENTILATION*
LIVING	120	7'-0"	7'-6"	5'-0"	8% FLOOR AREA	4% FLOOR AREA
DINING	70	7'-0"	7'-6"	5'-0"	8% FLOOR AREA	4% FLOOR AREA
KITCHEN	50	N.A.	7'-6"	5'-0"	8% FLOOR AREA	4% FLOOR AREA
BEDROOM	70	7'-0"	7'-6"	5'-0"	8% FLOOR AREA	4% FLOOR AREA
BATHROOM	N.A.	N.A.	7'-0"	5'-0"	3 SQUARE FEET	1-1/2 SQUARE FEET
BASEMENT	-	-	7'-0"	5'-0"	-	-

\* See sections R303.1 & R303.3 for mechanical ventilation and artificial light.



**C** BEAM POCKET, FOOTING/FOUND. WALL DETAIL  
SCALE: NOT TO SCALE





### STAIR/GUARDRAIL DETAIL SECTION 311, R312

mm) measured vertically from the sloped plane adjoining the tread nosing or from the floor surface of the landing or platform.

**R311.5.3 Stair treads and risers.**

**R311.5.3.1 Rise height.** The maximum riser height shall be 8 1/8 inches (209 mm). The rise shall be measured vertically between leading edges of adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm).

**R311.5.3.2 Tread depth.** The minimum tread depth shall be 10 inches (254 mm). The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm). Wider treads shall have a minimum tread depth of 10 inches (254 mm) measured as above at a point 12 inches (305 mm) from the side where the treads are narrower. Wider treads shall have a minimum tread depth of 6 inches (152 mm) at any point. Within any flight of stairs, the greatest wider tread depth at the 12 inch (305 mm) width line shall not exceed the smallest by more than 3/8 inch (9.5 mm).

**R311.5.3.3 Profile.** The radius of curvature at the leading edge of the tread shall be no greater than 1/8 inch (3.2 mm). A nosing not less than 1/4 inch (6.4 mm) but not more than 1 1/8 inch (32 mm) shall be provided on stairways with solid risers. The greatest nosing projection shall not exceed the smallest nosing projection by more than 1/8 inch (3.2 mm) between two stories, including the nosing at the level of floors and landings. Beveling of nosing shall not exceed 1/8 inch (3.2 mm). Risers shall be vertical or sloped from the vertical at an angle not more than 30 (0.51) rad from the vertical. Open risers are permitted, provided that the opening between treads does not permit the passage of a 4-inch diameter (102 mm) sphere.

**R311.5.4 Landings for stairways.** There shall be a floor or landing at the top and bottom of each stairway.

**Exceptions:**

- A landing is not required where the tread depth is a minimum of 11 inches (279 mm).
- The opening between adjacent treads is not limited on stairs with a total rise of 762 mm (25 feet) or less.

**R311.5.4.1 Landings for stairways.** There shall be a floor or landing at the top and bottom of each stairway.

**Exceptions:** A floor or landing is not required at the top of an interior flight of stairs, provided a door does not swing over the stairs.

A flight of stairs shall not have a vertical rise greater than 12 feet (3658 mm) between floor levels or landings.

The width of each landing shall not be less than the stairway served. Every landing shall have a minimum dimension of 36 inches (914 mm) measured in the direction of travel.

**R311.5.5 Stairway walking surface.** The walking surface of treads and landings of stairways shall be sloped no steeper than one unit vertical in 48 inches horizontal (2-percent slope).

**R311.5.6 Handrails.** Handrails shall be provided on at least one side of each continuous run of treads or flight with four or more risers.

**R311.5.6.1 Height.** Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm).

**R311.5.6.2 Continuity.** Handrails for stairways shall be continuous for the full length of the flight from a point directly above the top riser of the flight to a point directly above the lowest riser of the flight. Handrail ends shall be returned or shall terminate in a level position or safety terminal. Handrails adjacent to a wall shall have a space of not less than 1 1/2 inch (38 mm) between the wall and the handrail.

**Exceptions:**

- Handrails shall be permitted to be interrupted by a newel post at the turn.
- The use of a volute, turnout, starting nosing or starting nosing shall be allowed over the lowest tread.

**R311.5.6.3 Handrail grip size.** All required handrails shall have one of the following types or provide equivalent graspability.

- Type I. Handrails with a circular cross section shall have an outside diameter of at least 1 1/8 inch (32 mm) and not greater than 2 inches (51 mm). If the handrail is not circular, it shall have a perimeter dimension of at least 4 inches (102 mm) and not greater than 6 inches (152 mm) with a maximum cross section dimension of 2 1/8 inches (57 mm).
- Type II. Handrails with a perimeter greater than 6 1/4 inches (160 mm) shall provide a graspable finger recess area on both sides of the profile. The finger recess shall begin within a distance of 1/4 inch (6 mm) from the leading edge of the profile and achieve a depth of at least 1/4 inch (6 mm) within 1 1/2 inch (38 mm) before the widest portion of the profile. This required depth shall continue for at least 1/4 inch (6 mm) to a level that is not less than 1/4 inch (6 mm) before the widest portion of the profile. The minimum width of the handrail above the recess shall be 1 1/2 inch (38 mm) to a maximum of 2 1/8 inches (57 mm). Edges shall have a minimum radius of 101 inches (25 mm).

**R311.5.7 Illumination.** All stairs shall be provided with illumination in accordance with Section R303.6.

**R311.5.8 Special stairways.** Circular stairways, spiral stairways, winders and ballhead enclosure stairways shall comply with all requirements of Section R311.5 except as specified below.

**R311.5.8.1 Spiral stairways.** Spiral stairways are permitted for interior use as a component of the means of egress from a habitable room, a basement or an attic, provided the minimum width shall be 26 inches (660 mm) with each tread having a 7/8-inch (190 mm) minimum tread depth at 12 inches from the narrower edge. All treads shall be identical, and the rise shall be no more than 9 1/2 inches (241 mm). A minimum headroom of 6 feet 6 inches (1982 mm) shall be provided. A spiral stair is not permitted to be the only means of egress from a story of a building.

**R311.5.8.2 Ballhead enclosure stairways.** Stairways serving ballhead enclosures, not part of the required building egress, providing access from the outside grade level to the basement shall be exempt from the requirements of Section R311.5.8.1 and R311.5.8.2 where the maximum height from the basement finished floor level to grade adjacent to the stairway does not exceed 8 feet (2438 mm), and the grade level opening to the stairway is covered by a ballhead enclosure with hinged doors or other approved means.

**R311.6 Ramps.**

**R311.6.1 Maximum slope.** Ramps shall have a maximum slope of one unit vertical in eight units horizontal (12.5-percent slope).

**R311.6.2 Landings required.** A minimum 3-foot-by-3-foot (914 mm by 914 mm) landing shall be provided.

- At the top and bottom of ramps.
- Where doors open onto ramps.
- Where ramps change direction.

**R311.6.3 Handrails required.** Handrails shall be provided on at least one side of all ramps exceeding a slope of one unit vertical in 12 units horizontal (8.3-percent slope).

**R311.6.3.1 Height.** Handrail height, measured above the finished surface of the ramp slope, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm).

**R311.6.3.2 Handrail grip size.** Handrails on ramps shall comply with Section R311.5.6.3.

**R311.6.3.3 Continuity.** Handrails where required on ramps shall be continuous for the full length of the ramp. Handrail ends shall be returned or shall terminate in a level position or safety terminal. Handrails adjacent to a wall shall have a space of not less than 1 1/2 inches (38 mm) between the wall and the handrail.

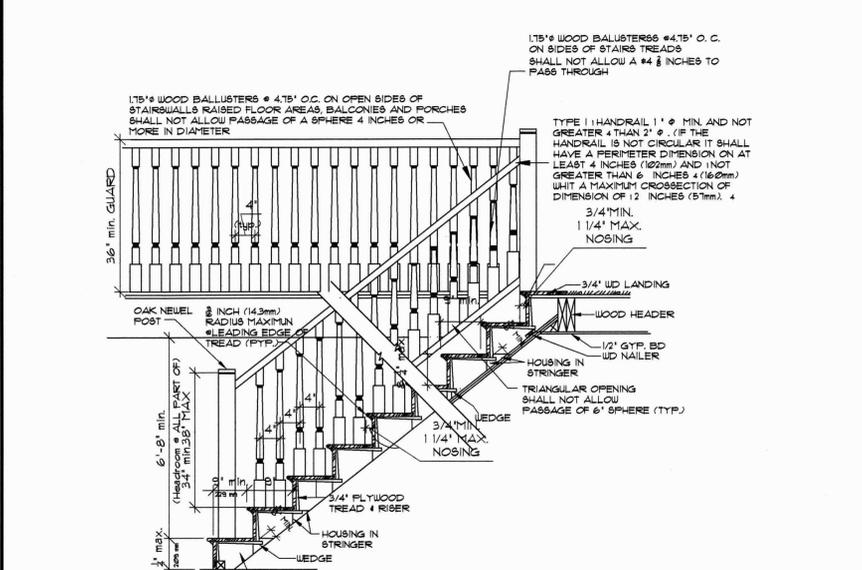
**SECTION 311 GUARDS, BALUSTERS OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES (762 MM) ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES (914 MM) IN HEIGHT.** Open sides of stairs with a total rise of more than 30 inches (762 mm) above the floor or grade below shall have guards not less than 36 inches (914 mm) in height measured vertically from the nosing of the treads.

Fences and decks which are enclosed with insect screening shall be provided with guards where the walking surface is located more than 30 inches (762 mm) above the floor or grade below.

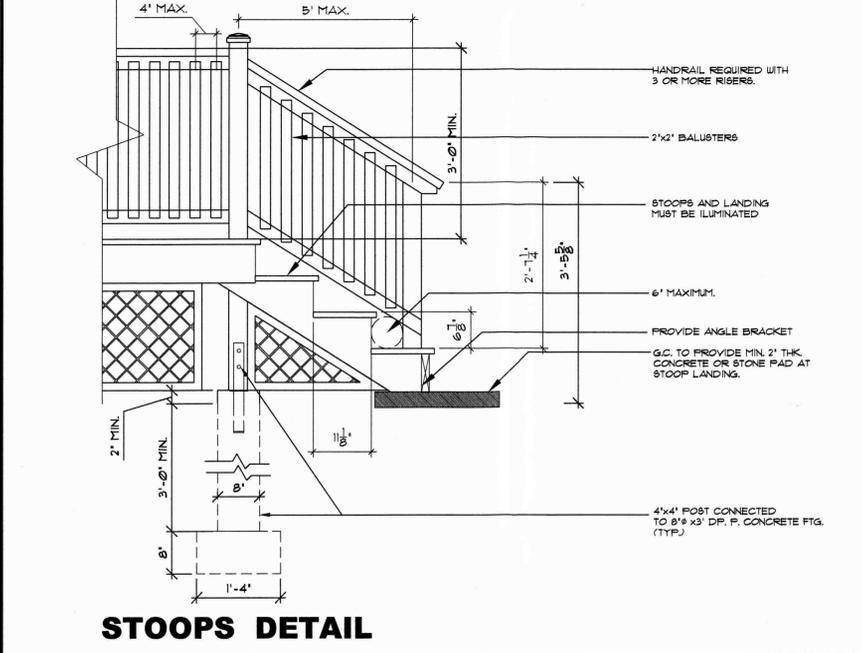
**R312.3 Guard opening limitations.** Required guards on open sides of stairways, raised floor areas, balconies and porches shall have intermediate rails or ornamental closures which do not allow passage of a sphere 4 inches (102mm) or more in diameter.

**Exceptions:**

- The triangular openings formed by the riser, tread and bottom rail of a guard at the open side of a stairway are permitted to be of such a size that a sphere 6 inches (152 mm) cannot pass through.
- Openings for required guards on the sides of stair treads shall not allow a sphere 4 1/4 inches (107 mm) to pass through.



### INTERIOR STAIRWAY DETAIL



### STOOPS DETAIL

**FRANCISCO PEREZ, PE**  
Professional Engineer  
1503 91st. Street  
North Bergen, NJ 07047  
Phone: (201)908-9009  
E-mail: fperez.eng@gmail.com

**CONSULTANT**

**MAR DRAFTING**  
RESIDENTIAL & COMMERCIAL DESIGN

23 LAMONT PLACE  
WEST BABYLON, N.Y. 11704  
OFFICE: (631) 221-2445  
MOBILE: (631) 704-6601  
E-MAIL: MARDRAFTING@GMAIL.COM

**REVISIONS**

NO.	DATE	DESCRIPTION
1	01/2022	REVISED AS PER VILLAGE OF FREEPORT COMMENTS

**ISSUED TO** NO. DATE

**APPLICATION NO.**

**APPLICANT/OWNER**  
ANTHONY & DIANELIS SIME  
ADDRESS:  
75 Cary Place  
FREEPORT, N.Y. 11520  
PHONE:  
(631)432-2153  
EMERGENCY CONTACT:  
NAME: MIGUEL RAMIREZ  
PHONE:  
(631)704-6601

**PROJECT TITLE**  
PROPOSED WD. FRAME WITH STUCCO FINISH ADDITION AND RENOV. TO 1-FAMILY RESIDENCE  
75 CARY PLACE  
FREEPORT, N.Y. 11520  
SEC. 64 BLK 321 LOT 3

**DRAWING TITLE**  
RIGHT AND LEFT SIDE ELEVATIONS, STAIRWAY AND GUARDRAILS CODE REQUIREMENTS DETAILS

**DRAWN/DESIGN BY:** MIGUEL RAMIREZ  
**CHECKED BY:** FP  
**DATE:** DEC 2021  
**SCALE:** AS SHOWN

**DRAWING NO.**  
**A-4**

**PROJECT NO.** 7  
**SCALE:** 2021014  
**AS SHOWN** 8



CONSULTANT

**MAR**  
DRAFTING  
RESIDENTIAL & COMMERCIAL DESIGN

33 LAMONT PLACE  
WEST BABYLON, N.Y. 11704  
OFFICE: (631) 662-2448  
MOBILE: (631) 704-6601  
E-MAIL: MARDRAFTING@GMAIL.COM

REVISIONS

NO.	DATE	DESCRIPTION
1	01/2022	REVISED AS PER VILLAGE OF FREEPORT COMMENTS
2		
3		

ISSUED TO	NO.	DATE

APPLICATION NO.

APPLICANT/OWNER

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75 Cary Place  
FREEPORT, N.Y. 11520  
PHONE:  
(631)432-2153  
EMERGENCY CONTACT:  
NAME: MIGUEL RAMIREZ  
PHONE:  
(631)704-6601

PROJECT TITLE

PROPOSED WD. FRAME WITH STUCCO FINISH ADDITION AND RENOV. TO 1-FAMILY RESIDENCE

75 CARY PLACE  
FREEPORT, N.Y. 11520  
SEC. 64 BLK 321 LOT 3

DRAWING TITLE

BUILDING SECTION, INT. AND EXTERIOR AIR SEALING DETAIL AND STONE VENEER DETAIL

DRAWN/DESIGN BY:

MIGUEL RAMIREZ

CHECKED BY:

FP

DATE:

DEC 2021

SCALE:

AS SHOWN

DRAWING NO.

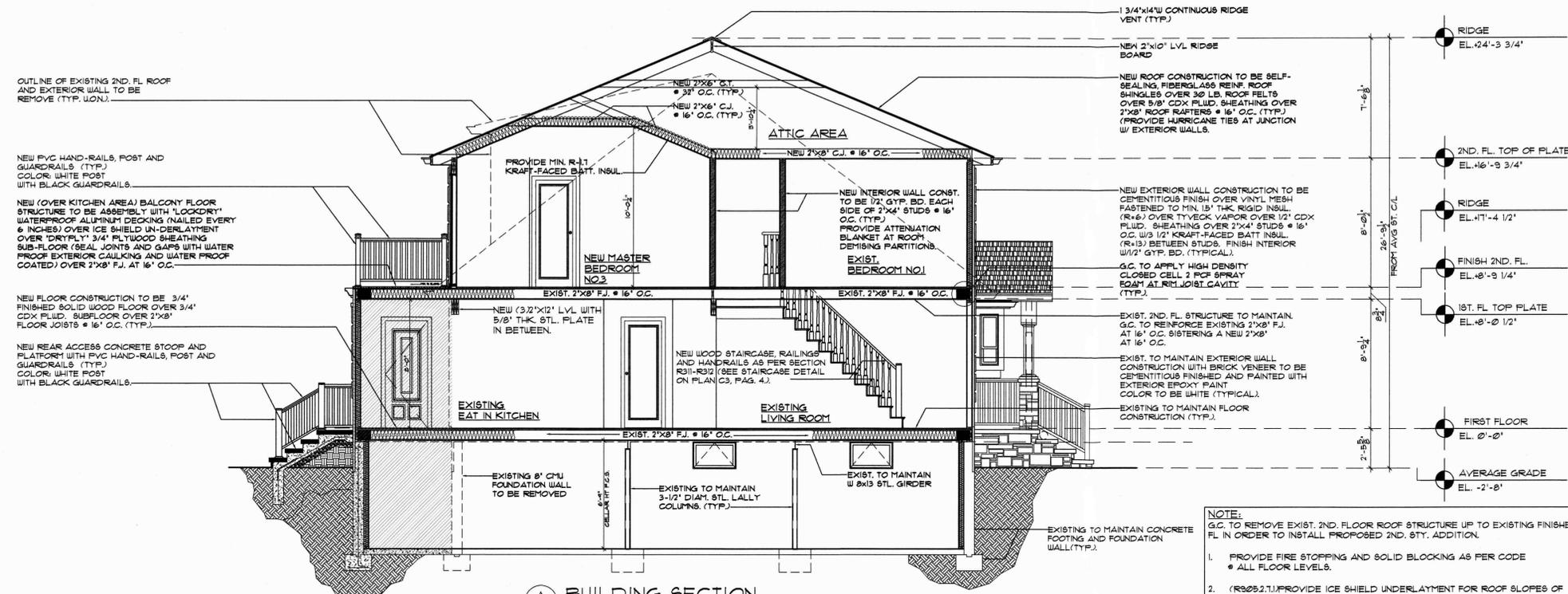
A-5

PROJECT NO.

8

2021014

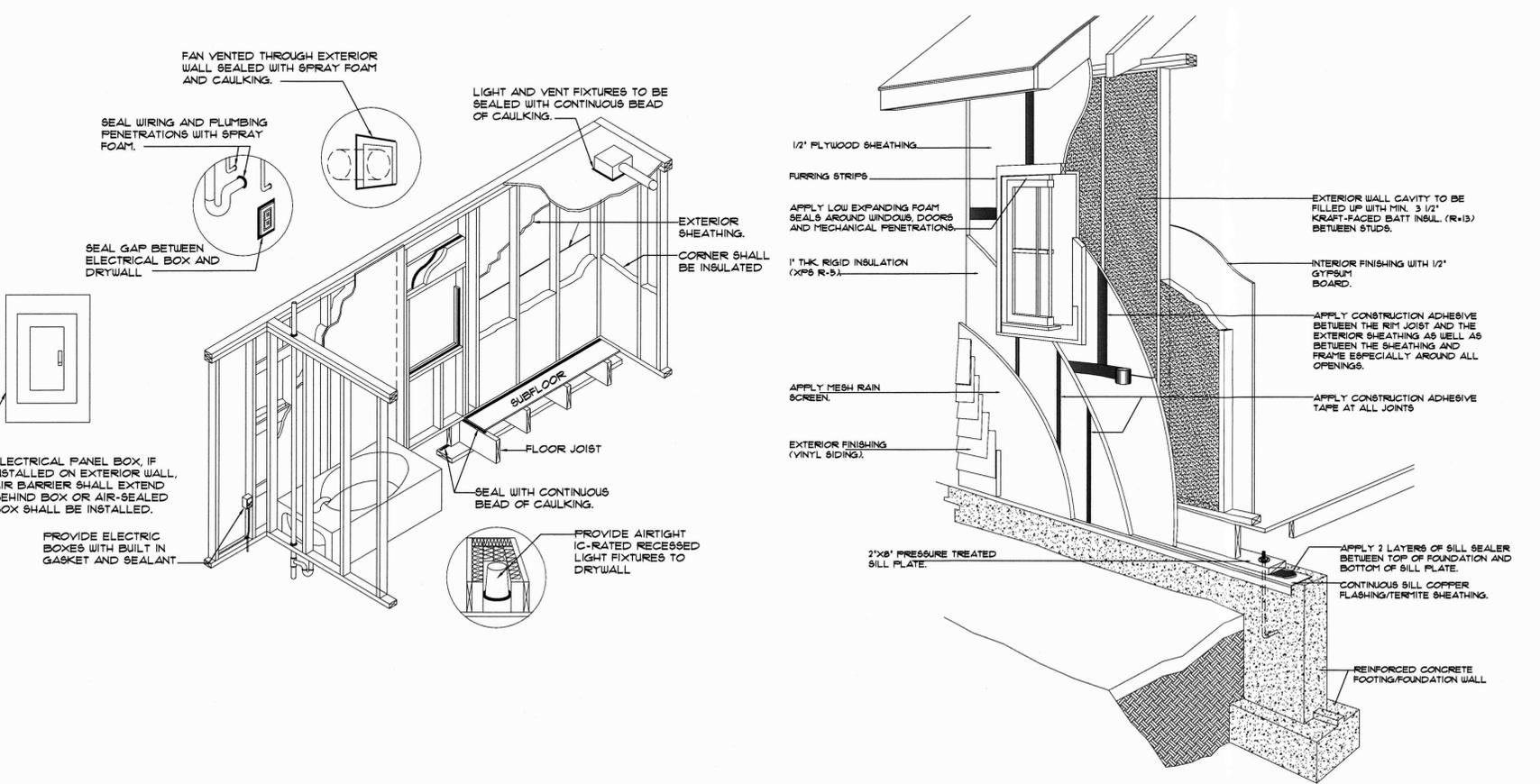
8



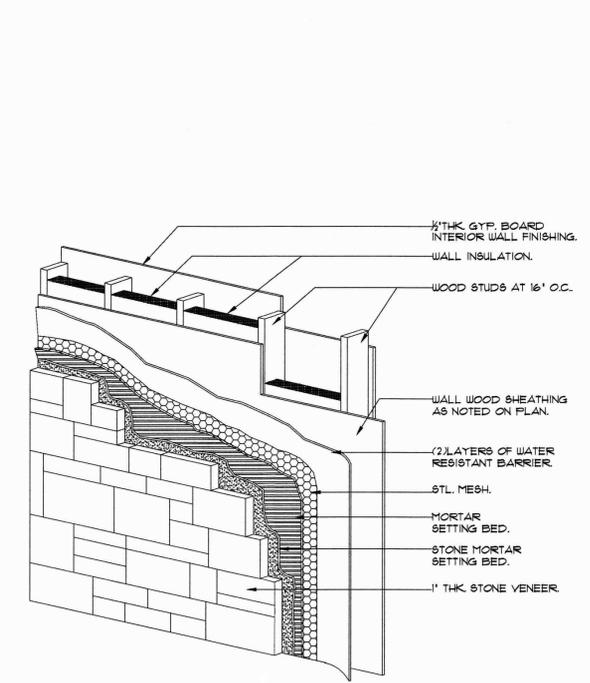
**A** BUILDING SECTION  
SCALE: 1/4"=1'

NOTE:  
G.C. TO REMOVE EXIST. 2ND. FLOOR ROOF STRUCTURE UP TO EXISTING FINISHED FL. IN ORDER TO INSTALL PROPOSED 2ND. STY. ADDITION.

- PROVIDE FIRE STOPPING AND SOLID BLOCKING AS PER CODE @ ALL FLOOR LEVELS.
- (R-20) PROVIDE ICE SHIELD UNDERLAYMENT FOR ROOF SLOPES OF FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (33 PERCENT SLOPE) OR GREATER. UNDERLAYMENT SHALL BE ONE LAYER APPLIED IN THE FOLLOWING MANNER: UNDERLAYMENT SHALL BE APPLIED SINGLE FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2 INCHES, FASTENED SUFFICIENTLY TO HOLD IN PLACE. DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL. END LAPS SHALL BE OFFSET BY 6 FEET.



**B** INTERIOR AND EXTERIOR AIR SEALING DETAIL  
SCALE: NOT TO SCALE



**C** STONE VENEER DETAIL  
SCALE: NOT TO SCALE



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

February 28, 2022  
**AMENDED LETTER OF DENIAL**

Jay Holin  
110 Cornelius Street  
Freeport, NY 11520

**RE: Address: 110 Cornelius Street, Freeport, NY**  
**Zoning District: Residence A      Sec 62 Blk 90 Lot 4**

**Building Permit Application #20212506**

**Description: Expand front porch from 55 sq. ft. to 108 sq. ft.**

Dear Sir/Madam:

Your application has been reviewed by the Building Department and it has been determined that the above captioned building permit application must be denied for the following reason(s):

1) **Village Ordinance §210-6A. "Conformity required"**: No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located. The proposed plan that you have submitted indicates that the property will not be in conformity.

2) **Village Ordinance §210-41A(1). Required Yards- Front**. The principal building on a lot shall provide a minimum front yard depth of 20 ft. The application submitted shows a proposed porch with a front yard setback of 7.82. A previous variance was granted for a setback of 13 ft. This application will require a variance of 5.4 ft. less front yard setback than required.

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-2202** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. **Only after this initial appointment should the additional copies be made.**

RE: 110 Cornelius Street, Freeport, NY

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,



Sergio A. Mauras  
Superintendent of Buildings  
Jonathan Smith, Building Inspector

Enclosure

cc: Village Clerk  
Russell Jordan, R.A.

SITE PLAN APPROVAL NEEDED

Yes: X No:         

RECEIVED  
MAY 16 1:52  
VILLAGE OF FREEPORT, NY  
CLERK'S OFFICE

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. # 20212506

Location: 110 Cornelius Street, Freeport, NY

Applicant : Jay Holin

Description: Expand front porch from 55 sq. ft. to 108 sq. ft.

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

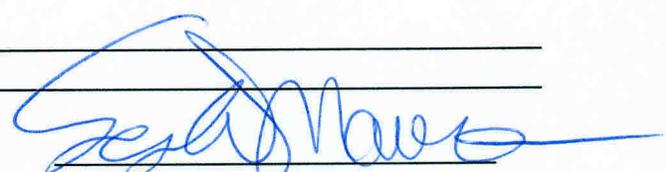
**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

DATED: February 28, 2022  
Amended

  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.



SEC. 62 BLK. 90 LOT. 4

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter  
Of  
the Application of

JAY HOLIN

To The Board of Appeals of the Village of Freeport, New York

Index No. \_\_\_\_\_

COMPLY WITH ORIGINAL NOTES

The application of JAY HOLIN

respectfully states and alleges:

Strike out inapplicable phrase

1. That the applicant (resides at) (~~has its principal office for the conducting of its business at~~)

110 CORNELIUS ST, FREEPORT, NY 11520

State whether applicant is owner, lessee, or has option or contract. If other than owner, state briefly terms of agreement.

2. That the premises affected by this application is located at 110 CORNELIUS ST FREEPORT NY Land Map of Nassau County

Sec. 62 Blk. 90 Lot(s) 4

and that the interest which the applicant has in the property concerned is that of OWNER

3. That (~~the applicant~~) (the applicant's duly authorized ARCHITECT) on or about the

11 day of Nov 2021, filed in the office of the Department of Buildings of the Village of

Freeport, New York, an application for a Building Permit. Documents filed with said application were as follows:

PLANS, ENVIRONMENTAL FORM, SURVEY

Obtain reason for denial from Department of Buildings.

4. That on or about the 10 day of FEB, 2022, the Department of Buildings denied said

application; upon information and belief that the reason for said denial was as follows: \_\_\_\_\_

INSUFFICIENT FRONT YARD SETBACK

Describe by construction and number of stories. If none, so state.

5. That the nature of the improvements now upon said premises is as follows: SINGLE

FAMILY HOUSE

State nature of use of property. If a business, give brief description.

6. That said premises are now being used as follows: SINGLE FAMILY HOUSE

Describe fully and clearly the use desired.

7. That the applicant seeks authority to make use of said premises as follows: SINGLE

FAMILY HOUSE

Strike out whichever word is not applicable. Follow language in ordinance.

8. Upon information and belief that a (~~permit~~) (variance) for such use may be granted by this Board by

virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the

State of New York 210-12. H YARD, LOT MODIFICATIONS

Refer where possible to paragraphs and section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the

application involves a subdivision of property, describe the existing property: NA

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

10. That the grounds for this application are as follows: THE REQUESTED YARD MODIFICATION IS IN KEEPING WITH THE NEIGHBORHOOD

11. That any deed restrictions running with the land prohibiting the desired use are as follows: NONE

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous proceeding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: 28 February, 2022 JCH

BY: JAY HOLIN  
ITS: OWNER

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York )  
County of Nassau ) ss:

The applicant JAY HOLIN named in the foregoing application, being duly sworn, depose and say that HE read the foregoing application subscribed by HIM and knows the contents thereof; and that the same is true to HIS own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters HE believes 9 true.

RECEIVED  
DZMAA-1  
VILLAGE OF FOREPORT  
CLERK'S OFFICE  
Signature of Applicant

LISA M DEBOURG  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01DE6294362 Sworn to before me this 28 day  
Qualified in Nassau County of February 2022  
My Commission Expires December 2025  
Notary Public Lisa M Debourg

Notice  
Conflict of Interest

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

28 February 2022  
Date Year

JCH  
Signature

Affidavit of Owner

To be completed only if the owner is not the applicant.

State of New York )  
County of Nassau ) ss:

I \_\_\_\_\_ being duly sworn, depose and say:

That he/she (the owner of \_\_\_\_\_) (is the \_\_\_\_\_ of \_\_\_\_\_ the property concerned is correct to the best of the knowledge of deponent \_\_\_\_\_.)

That the owner \_\_\_\_\_ consents to the granting of the authority sought in the above application.

Sworn to before me this \_\_\_\_\_ day

of \_\_\_\_\_, 20 \_\_\_\_\_.

\_\_\_\_\_  
Signature

Notary Public \_\_\_\_\_

617.20  
Appendix B  
Short Environmental Assessment Form

20212506

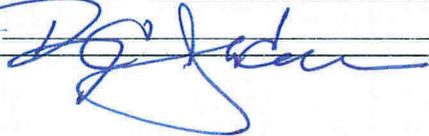
**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: <p style="text-align: center; font-size: 1.2em; color: blue;">HOLM RESIDENCE</p>			
Project Location (describe, and attach a location map): <p style="text-align: center; font-size: 1.2em; color: blue;">110 CORNELLIUS ST. FREEPORT NY 11520</p>			
Brief Description of Proposed Action: <div style="text-align: center; color: blue; opacity: 0.5; font-size: 0.8em;">RECEIVED MAY 1 10 30 AM '01 OFFICE OF FREEPORT TOWN ENGINEER'S OFFICE</div>			
Name of Applicant or Sponsor: <p style="font-size: 1.2em; color: blue;">RUSSELL JORDAN</p>		Telephone: 516-241-5969 E-Mail:	
Address: <p style="font-size: 1.2em; color: blue;">44 CASINO ST.</p>			
City/PO: <p style="font-size: 1.2em; color: blue;">FREEPORT</p>		State: <p style="font-size: 1.2em; color: blue;">NY</p>	Zip Code: <p style="font-size: 1.2em; color: blue;">11520</p>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO  YES  X
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO  YES  X
3.a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			0.136 acres 0.004 acres 0.136 acres
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		X	
b. Consistent with the adopted comprehensive plan?			X
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO		YES X
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO		YES X
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	X	YES
b. Are public transportation service(s) available at or near the site of the proposed action?		X	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			X
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO		YES X
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO		YES X
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO		YES X
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	X	YES
b. Is the proposed action located in an archeological sensitive area?		X	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO		YES X
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		X	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	X	YES
16. Is the project site located in the 100 year flood plain?	NO		YES X
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO	X	YES
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	X	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	X	
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>RUSSELL JORDAN</u>	Date: <u>11/2/2021</u>	
Signature: 		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 CLERK'S OFFICE

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

# DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 202/250  
 Filing Date 11/4/2021

## Application for Erection of Buildings or Alterations

**IMPORTANT** - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) <u>110 CORNELLIUS ST</u>	ZONING DISTRICT <u>RES A</u>
	(No.) (Street)	
	BETWEEN <u>SPORTSMANS</u> AND <u>ARTHUR</u>	
	(Cross Street) (Cross Street)	
SECTION <u>62</u> BLOCK <u>90</u> LOT <u>4</u>	APPROX. LOT SIZE <u>60</u> x <u>100</u>	LOT AREA <u>6000</u>

### II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

<b>A. TYPE OF IMPROVEMENT</b> 1     New building 2   <input checked="" type="checkbox"/> Addition-Alteration (If residential, enter number of new housing units added. If non-state none) 3     Swimming Pool 4     Repair (replacement) 5     Bulkhead (New, Repair) 6     Fence 7     Moving (relocation)		<b>B. PROPOSED OR EXISTING USE</b> <b>RESIDENTIAL</b> 11   <input checked="" type="checkbox"/> One Family 12     Two families 13     Apartment - Enter No. of Units _____ 14     Transient hotel, motel, or dormitory - Enter No. of Units _____ 15     Garage or Accessory Structure 16     Other - Specify _____ <b>NON RESIDENTIAL - Complete Part "E"</b> 17     Industrial 18     Office, bank, professional 19     Stores, mercantile 20     Church, other religious 21     Hospital, Institutional 22     Other - Specify _____	
<b>C. COST</b> 10 TOTAL COST OF IMPROVEMENT \$ <u>2,700</u>		<b>D. DESCRIPTION OF PROJECT</b> <u>ENLARGE FRONT PORCH</u> <u>53 SQ FT</u>	

### III. IDENTIFICATION - To be completed by all applicants

NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee <u>JAY HOLIN</u>	<u>110 CORNELLIUS</u> <u>917</u> <u>FREEPORT NY 11520</u>	<u>518</u> <u>9794</u>
2. Contractor		
3. Architect or Engineer <u>RUSSELL JORDAN</u>	<u>44 CASINO ST</u> <u>516</u> <u>FREEPORT NY 11520</u>	<u>241</u> <u>5969</u>

### IV. OWNER - CONTRACTOR STATEMENT

Building permit is issued subject to the provisions of Section 57 of the Workmen's Compensation Law.

Workmen's Compensation Certificate No. \_\_\_\_\_ Company \_\_\_\_\_ Exp. Date \_\_\_\_\_

Contractor or Owner \_\_\_\_\_ (Print)  
 Address \_\_\_\_\_  
 Phone \_\_\_\_\_

State of New York  
 County of Nassau

JAY HOLIN being duly sworn, says that HE (He or She) is the contractor or owner of the above mentioned building. That the items of the above application and the contents of said building or alteration, is correct to the best of HIS (His or Her) knowledge and belief and agrees to conform to all applicable laws of this jurisdiction.

Sworn to before me this 4 day of November, 2021. My Commission Expires November 21.

M. Shesne C. Little (Notary Public)  
[Signature] (Applicant Signature)  
 County, N.Y.

### V. FLOOD ZONE

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?  
 YES  NO \_\_\_\_\_  
 IF YES, WHICH ZONE? AE

IS PROJECT TO REPAIR FLOOD DAMAGE?  
 YES \_\_\_\_\_ NO

**PROJECT DESCRIPTION**

Total/First Flr Square Feet 772

Upper Flrs Square Feet 772

# of Fixtures 7

# of Floors 2

Occup. Type 1 FAMILY

### VI. VALIDATION (Official Use Only)

Building Permit Number _____	Approved by: _____ Superintendent of Buildings
Building Permit Issued _____	
Building Permit Fee \$ _____	



110 Cornelius West Side



110 Cornelius Front South Side



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116 Cornelius



110 Cornelius Subject Property

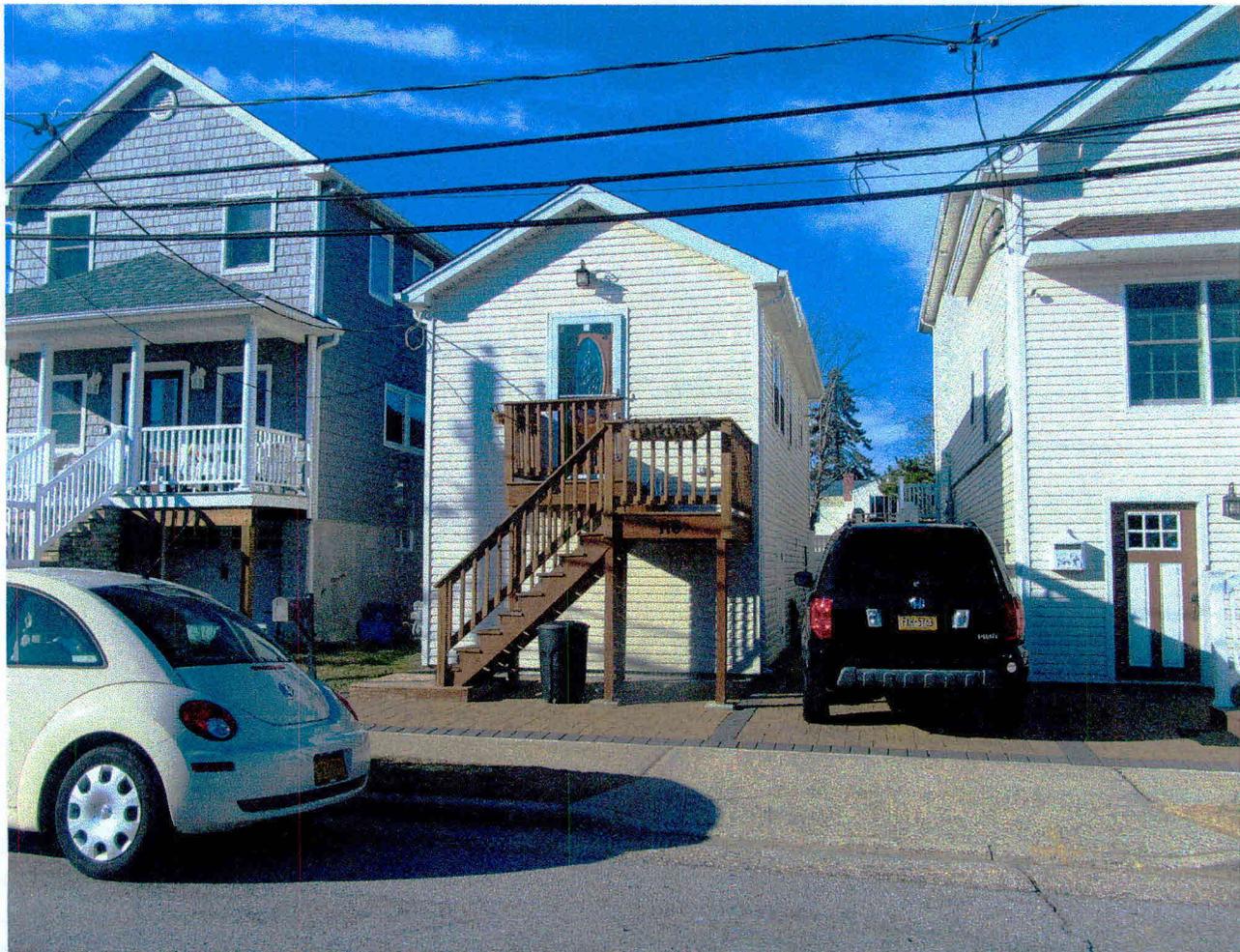


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120 Cornelius above

118 Cornelius below





**Russell C. Jordan Architect**  
 44 Casino Street, Freeport, New York 11520  
 Phone: 516-241-5969  
 E-mail: RJordanArchitect@aol.com

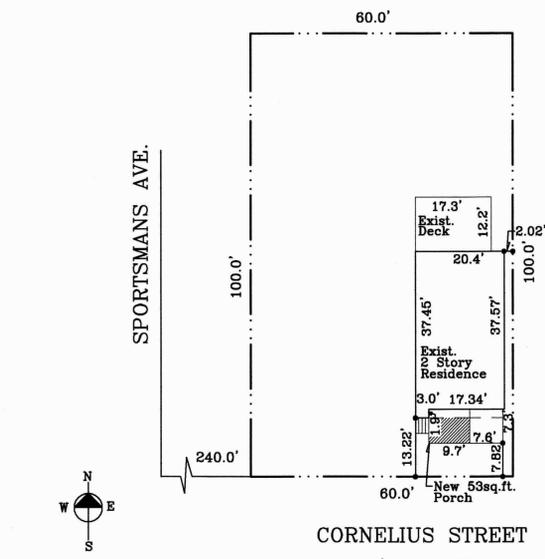
**Holin Residence**  
 110 Cornelius Street, Freeport, NY 11520

**Proposed Enlarge Front Porch Plans, Elevation Site Plan**

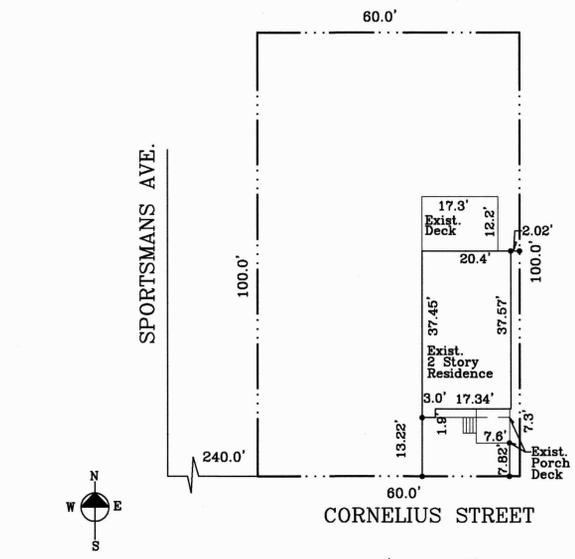
Revisions	
#000	10-28-2021
	11-1-2021
200	1-3-2022
	ZBA Analysis

Version: BD-1  
 For Filing with the Building Department

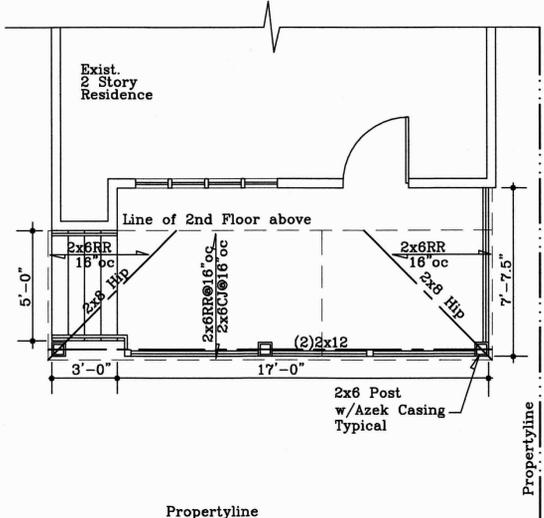
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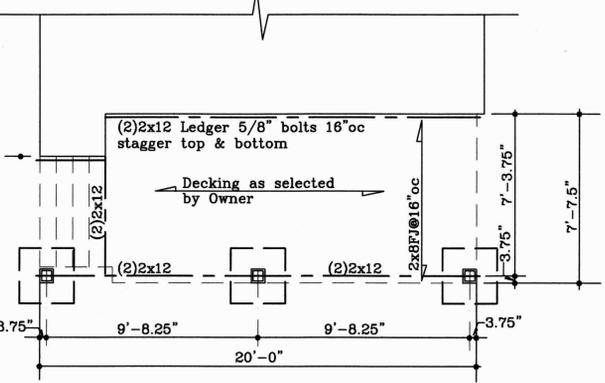
**PROPOSED SITE PLAN**  
 110 Cornelius Street, Freeport, NY 11520



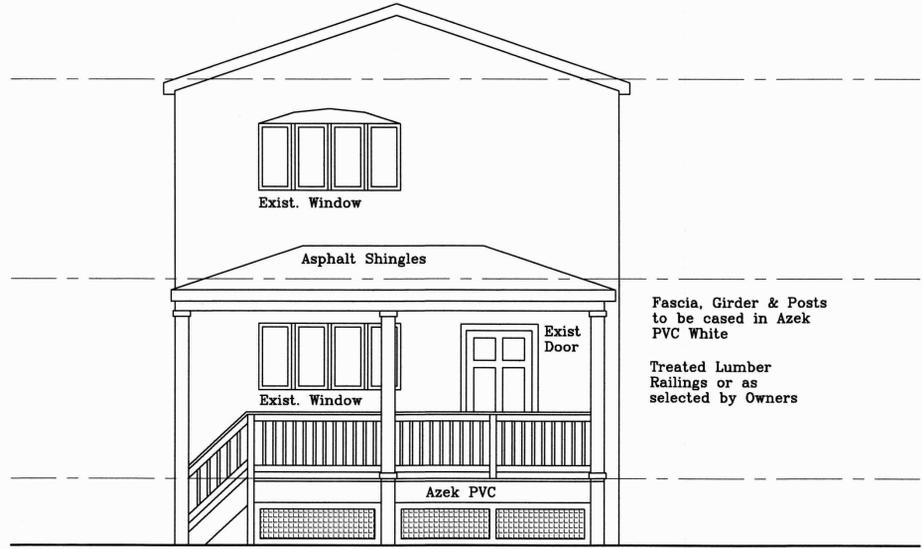
**EXISTING SITE PLAN**  
 110 Cornelius Street, Freeport, NY 11520



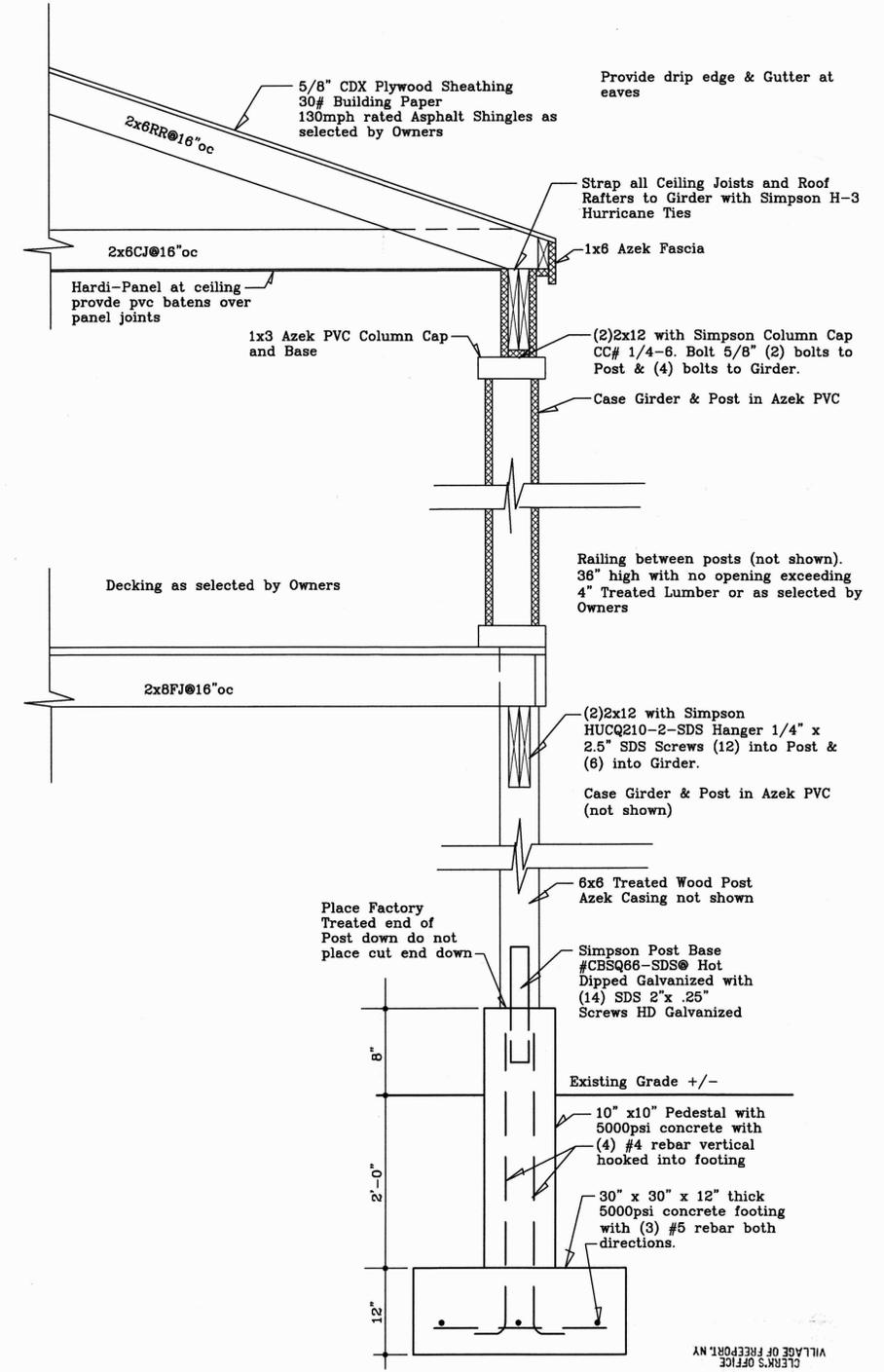
**1st Floor Plan**  
 Scale: 1/4" = 1'-0"



**Foundation Plan**  
 Scale: 1/4" = 1'-0"



**Front, (South), Elevation**  
 Scale: 1/4" = 1'-0"



**Typical Porch Section**  
 Scale: 1" = 1'-0"