

Application Date: 2/5/24
Fees Paid: \$325.00

SP# 3702

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 9 Rosedale ave ZONING DISTRICT Residence
SECTION 55 BLOCK 232 LOT L LOT SIZE: APARTIAL

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	<input type="checkbox"/> PROPERTY OWNER
Name: <u>SAMANTHA OWNER</u>			Name: <u>Jean Pures</u>
Address: _____			Address: <u>9 Rosedale ave</u>
Telephone #: _____			Telephone #: <u>516-836-0687</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: _____ Proposed Land Use: Replace existing driveway

Description of Proposed Work: Replaced existing driveway plus existing front driveway extension on left side of driveway 9x20

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied. _____ YES NO

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VILLAGE OF FREEPORT, NY

APPLICANT'S SIGNATURE
Sworn to before me this 21
day of January, 2024

1-21-24
DATE

Notary Public: _____

Property Owner's Consent: I, JEAN PURES am (are) the owner(s) of the subject property and consent to the filing of this application.

PROPERTY OWNER'S SIGNATURE
Sworn to before me this 21
day of January, 2024

EDY. BICHOTTE 1-21-2024
NOTARY PUBLIC, STATE OF NEW YORK DATE
Registration No. 01B16137515
Qualified in Suffolk County
Commission Expires 11-28-2025

Notary Public: _____

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER
January 11, 2024

Jean Panier
9 Rosedale Ave
Freeport , NY 11520

Residence

RE: 9 Rosedale Ave Freeport, NY
Zoning District – Apartment. Sec. 55 Blk. 232, Lot 6
Building Permit Application #20243602
Description– Replace existing driveway (1,239 SF) with steps.

Market

Dear Sir/Madam:

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VILLAGE OF FREEPORT, NY

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes__ No_X_

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

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Notice

X Negative Declaration

Positive Declaration
CLEAR'S OFFICE
VILLAGE OF FREEPORT, NY

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20243602

Location: 9 Rpsedale Ave, Freeport, NY

Applicant: Jean Panier

Description: Replace existing driveway (1,239 SF) with steps.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: January 11, 2024

Sergio A. Mauras

Sergio A. Mauras

Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

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Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

CLERK'S OFFICE
MUNICIPALITY OF FREEPORT, NY

Part 1 - Project and Sponsor Information			
Name of Action or Project: EXISTING DRIVEWAY AND FRONT EXTENSION			
Project Location (describe, and attach a location map): EXISTING BRICK TOP TO NEW CONCRETE			
Brief Description of Proposed Action: All existing brick walkway, driveway and front extended driveway 1,239 SF			
Name of Applicant or Sponsor: JEAN F. PANIER		Telephone: 516) 836-0657	
Address: 9 ROOSEDALE AVE		E-Mail:	
City/PO: FREEPORT		State: NY	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES X
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES X
3.a. Total acreage of the site of the proposed action?		_____ acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): <u>DRIVEWAY</u> <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban <i>none apply</i>			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<p style="text-align: right;">CLEAR'S OFFICE</p> <p style="text-align: right;">VILLAGE OF</p> <p style="text-align: right;">2024 FEB - 5 P 3:11</p>			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Jean C PANICY</u>	Date: <u>1/14/26</u>	
Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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JR construction
Carpenter Lic # MO-446630000
IF ANY QUESTION
call me at (516) 852-3381

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
<u>JR construction c.</u>	<u>01-18-24</u>
Name of Lead Agency	Date
<u>JOSE GUERRA</u>	
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
<u>[Signature]</u>	
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

existing Driveway
 Dimensions

50.00'

COMMERCIAL STREET

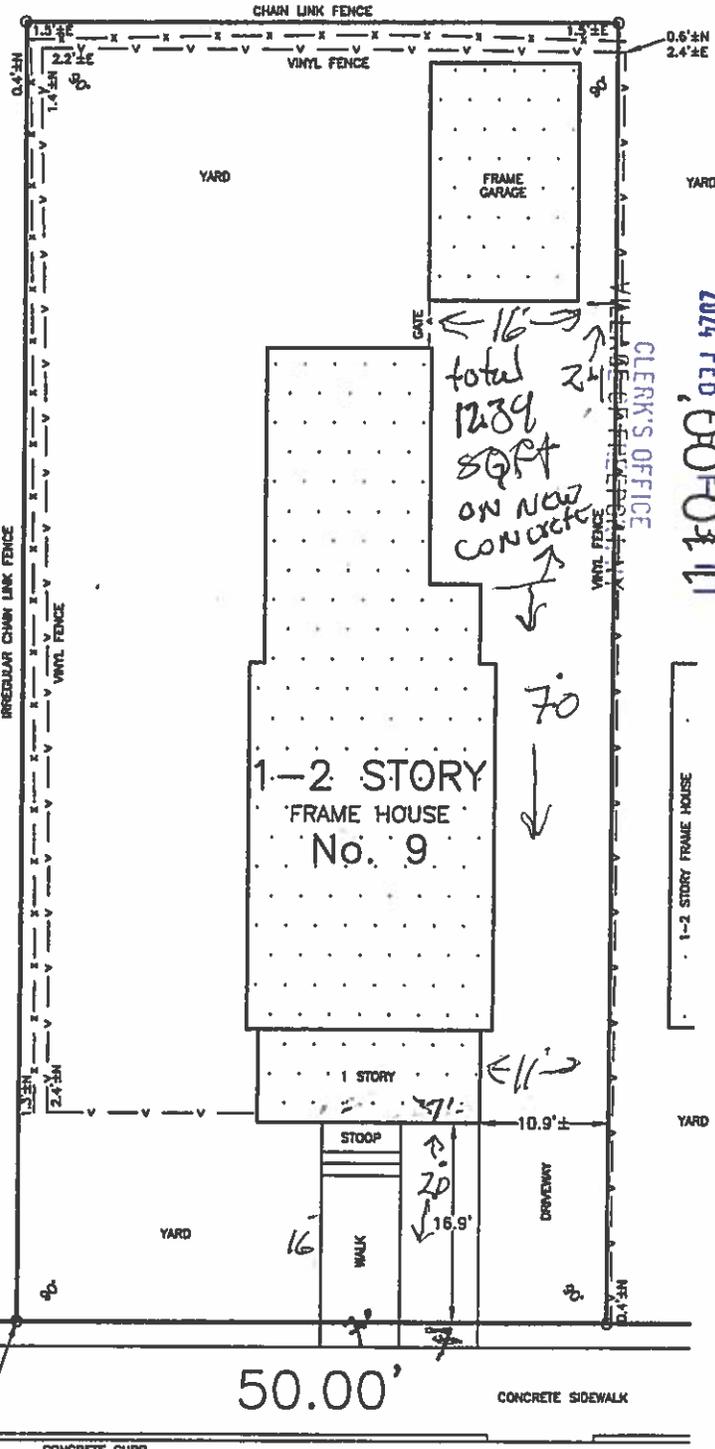
110.00'

102.60'

50.00'

ROSEDALE AVENUE

NOTES:
 1. THIS SURVEY WAS PREPARED FOR MUNICIPALITY PURPOSES ONLY AND IS SUBJECT TO WHATEVER A MORE COMPLETE TITLE SEARCH MAY REVEAL.
 2. SURVEYED AS IN POSSESSION.
 3. THE SURVEYOR HAS NO KNOWLEDGE OF ANY ENCUMBRANCES OR OTHER CLAIMS AFFECTING THE PROPERTY UNLESS THEY ARE SHOWN ON THE RECORDS OF THE TOWN OF HEMPSTEAD.
 4. THE SURVEYOR HAS NO KNOWLEDGE OF ANY UNRECORDED EASEMENTS OR OTHER CLAIMS AFFECTING THE PROPERTY UNLESS THEY ARE SHOWN ON THE RECORDS OF THE TOWN OF HEMPSTEAD.
 5. THE SURVEYOR HAS NO KNOWLEDGE OF ANY UNRECORDED EASEMENTS OR OTHER CLAIMS AFFECTING THE PROPERTY UNLESS THEY ARE SHOWN ON THE RECORDS OF THE TOWN OF HEMPSTEAD.
 6. THE SURVEYOR HAS NO KNOWLEDGE OF ANY UNRECORDED EASEMENTS OR OTHER CLAIMS AFFECTING THE PROPERTY UNLESS THEY ARE SHOWN ON THE RECORDS OF THE TOWN OF HEMPSTEAD.
 7. THIS SURVEY IS A FINAL SURVEY AND THE SURVEYOR HAS NO KNOWLEDGE OF ANY UNRECORDED EASEMENTS OR OTHER CLAIMS AFFECTING THE PROPERTY UNLESS THEY ARE SHOWN ON THE RECORDS OF THE TOWN OF HEMPSTEAD.
 8. THE SURVEYOR HAS NO KNOWLEDGE OF ANY UNRECORDED EASEMENTS OR OTHER CLAIMS AFFECTING THE PROPERTY UNLESS THEY ARE SHOWN ON THE RECORDS OF THE TOWN OF HEMPSTEAD.
 9. THE SURVEYOR HAS NO KNOWLEDGE OF ANY UNRECORDED EASEMENTS OR OTHER CLAIMS AFFECTING THE PROPERTY UNLESS THEY ARE SHOWN ON THE RECORDS OF THE TOWN OF HEMPSTEAD.
 10. THE SURVEYOR HAS NO KNOWLEDGE OF ANY UNRECORDED EASEMENTS OR OTHER CLAIMS AFFECTING THE PROPERTY UNLESS THEY ARE SHOWN ON THE RECORDS OF THE TOWN OF HEMPSTEAD.



total 1239 SQFT ON NEW CONCRETE

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driveway Extension 7' x 16.9'

CERTIFIED TO:

JEAN F PANIER
 CHOSEN ABSTRACT LLC
 FIRST AMERICAN TITLE INSURANCE COMPANY
 UNITED MORTGAGE CORP.

DATE SURVEYED: JULY 12, 2023
 ANASTASIA I. PARSATOON
 LAND SURVEYING, P.C.
 1300 JERICO TURNPIKE, STE. 207
 NEW HYDE PARK, NY 11040
 OFFICE (347) 525-1338
 EMAIL: NYMAPPINGOLUTIONS@GMAIL.COM



TITLE No.
 73-292

TAX MAP
 SECTION 55
 BLOCK 232
 LOT 6

FILED MAP
 SECTION
 BLOCK
 LOT

INC. VILLAGE OF FREEPORT
 TOWN OF HEMPSTEAD
 COUNTY OF NASSAU
 STATE OF NEW YORK

4-10101

ANASTASIA I. PARSATOON, L.S.
 NEW YORK LICENSE 051088

Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) <u>9 Rose Dale Ave</u> ZONING DISTRICT _____
	BETWEEN <u>FDR</u> AND _____
	SECTION <u>55</u> BLOCK <u>232</u> LOT <u>4</u> APPROX. LOT SIZE _____ X _____ LOT AREA _____

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

<p>A. TYPE OF IMPROVEMENT</p> <p>1 New building</p> <p>2 Addition-Alteration (if residential, enter number of new housing units added. If none-state none)</p> <p>3 Swimming Pool</p> <p>4 Repair (replacement)</p> <p>5 Bulkhead (New, Repair)</p> <p>6 Fence</p> <p>7 Moving (Location)</p>	<p>B. PROPOSED OR EXISTING USE</p> <p>RESIDENTIAL</p> <p>11 One Family</p> <p>12 Two families</p> <p>13 Apartment - Enter No. of Units _____</p> <p>14 Transient hotel, motel, or dormitory - Enter No. of Units _____</p> <p>15 Garage or Accessory Structure</p> <p>16 Other - Specify <u>Replaced existing driveway</u></p> <p>NON RESIDENTIAL - Complete Part "E"</p> <p>17 Industrial</p> <p>18 Office, bank, professional</p> <p>19 Stores, mercantile</p> <p>20 Church, other religious</p> <p>21 Hospital, institutional</p> <p>22 Other - Specify _____</p>
--	---

<p>C. COST</p> <p>10 TOTAL COST OF IMPROVEMENT <u>\$10,000.</u></p>	<p>D. DESCRIPTION OF PROJECT</p> <p><u>REPLACE OF EXISTING DRIVEWAY + WIDEN WAS BLACK TOP AND GOT REPLACE TO CONCRETE DRIVEWAY NO CHANGES WAS 12' MADE 8-30-23 STEPS ALSO D</u></p>
--	--

III. IDENTIFICATION - To be completed by all applicants

	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. N
1. Owner or Lessee	<u>Jean F DANIEL</u>	<u>9 Rose Dale Ave</u>	<u>516-06</u>
2. Contractor	<u>José Gouveia, JR Construction, 516-852-3381</u>	<u>50 Jefferson Ave Roseton NY 11575</u> <u>JRGouveia@construction376@yahoo.com • Lic. # 7751</u>	
3. Architect or Engineer			

IV. OWNER - CONTRACTOR STATEMENT

Building permit is issued subject to the provisions of Section 57 of the Workmen's Compensation Law.

Workmen's Compensation Certificate No. 11044663000 Company JR CONSTR Exp. Date 4-2024

Contractor or Owner Jean F Daniel (Print)

Address 9 Rose Dale Ave, Roseton, NY 11575

Phone 516-836-0657

Douglas C. Jackson
Notary Public, State of New York
Reg. No. 01JA0006761
Qualified in Nassau County
Commission Expires 04/28/27
State of New York
County of Nassau

Jean F Daniel being duly sworn, says that JR CONSTR is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of _____ knowledge and belief and agrees to conform to all applicable laws of this jurisdiction. (His or Her)

Sworn to before me this 27th day of Dec, 2023

V. FLOOD ZONE

IS PROJECT LOCATED WITH A DESIGNATED FLOOD HAZARD ZONE? YES _____ NO X

IF YES, WHICH ZONE? _____

IS PROJECT TO REPAIR FLOOD DAMAGE? YES _____ NO X

PROJECT DESCRIPTION

Total/First Flr Square Feet _____

Upper Flrs Square Feet _____

of Fixtures _____

of Floors _____

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VILLAGE OF FREEPORT, NY





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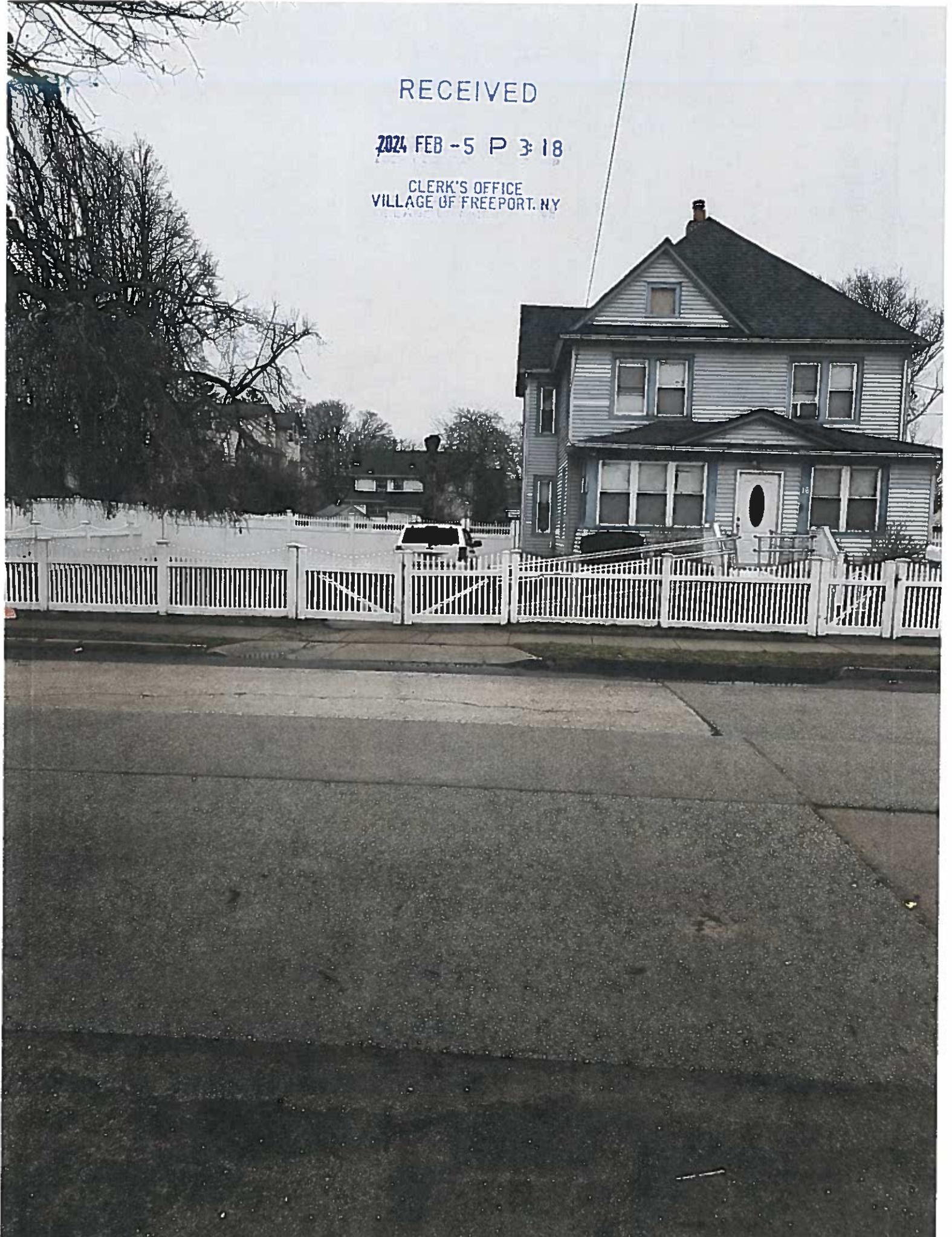
CLERK'S OFFICE
OF FREEPORT, NY



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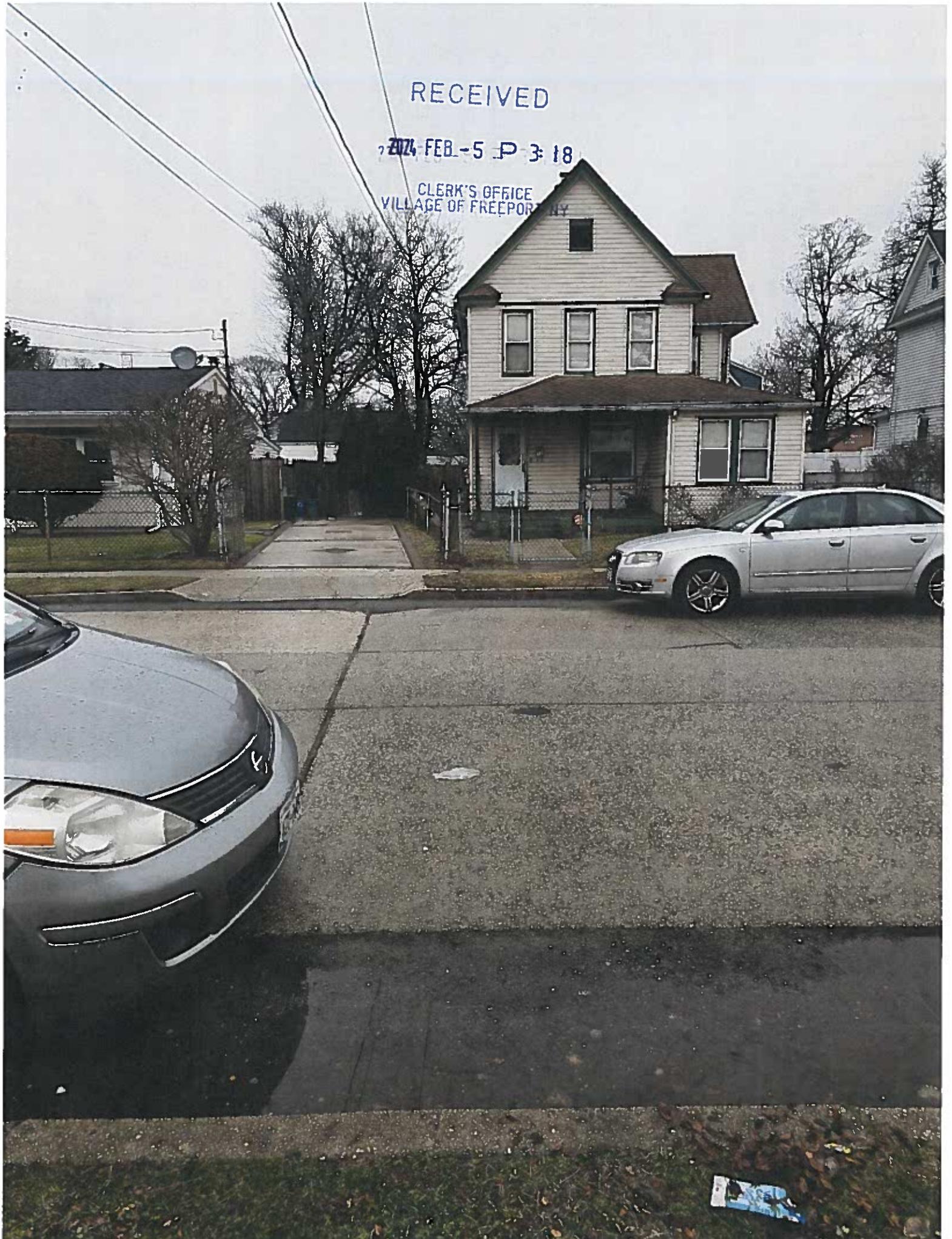
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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



Application Date: 3/4/2024
 Fees Paid: \$ 32500
173.02
\$500.00

SP# 3113

INCORPORATED VILLAGE OF FREEPORT
 SITE PLAN REVIEW APPLICATION
 PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 168 ATLANTIC AVENUE ZONING DISTRICT BUS. B.
 SECTION 62 BLOCK 113 LOT 218 LOT SIZE: 16,675 SQ. FT.

<input type="checkbox"/> TENANT APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Maic Kemp LLC</u> <u>BASSER KAUFMAN OF FREEPORT</u>		Name: <u>BASSER KAUFMAN OF FREEPORT LLC</u>
Address: <u>151 IRVING PLACE</u> <u>WOODMERE N.Y. 11598</u>		Address: <u>151 IRVING PLACE</u> <u>WOODMERE N.Y. 11598</u>
Telephone #: <u>516 569-3700</u>		Telephone #: <u>516-569-3700</u>

Attorney Name: DOMINICK MINERVA Address: 107 SOUTH CENTRAL AVE
 (optional) Phone #: 516-872-7400 VALLEY STREAM N.Y. 11580

Present Land Use: RESTAURANT Proposed Land Use: RESTAURANT

Description of Proposed Work: INTERIOR AND EXTERIOR ALTERATIONS
TO EXISTING RESTAURANT

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
 A. The subject property is zoned Residence A or Residence AA.
 B. The proposed construction is not a new building or dwelling.
 C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

Maic Kemp _____ YES

_____ NO
February 27, 2024
 DATE

APPLICANT'S SIGNATURE
 Sworn to before me this 27th
 day of February, 2024.
[Signature]
 Notary Public

Leah Sobel
 Notary Public, State of New York
 Registration No. 01508402868
 Qualified in Nassau County
 Commission Expires January 13, 2025

Property Owner's Consent:
 I, Maic Kemp on behalf of Basser Kaufman of Freeport, LLC am (are) the owner(s) of the subject property and consent to the filing of this application.
Maic Kemp _____
 PROPERTY OWNER'S SIGNATURE
 Sworn to before me this 27th
 day of February, 2024.
[Signature]
 Notary Public

Leah Sobel
 Notary Public, State of New York
 Registration No. 01508402868
 Qualified in Nassau County
 Commission Expires January 13, 2025

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____

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INC. VILLAGE OF FREEPORT

Department of Buildings

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FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER
February 22, 2024

168 Atlantic Ave LLC
168 Atlantic Ave
Freeport, NY 11520

RE: 168 Atlantic Ave, Freeport, NY 11520
Zoning District: Business B Sec 62, Blk 113, Lot 218 (~~415, 413~~)
Building Permit Application #20233561

Description: Interior and exterior alterations to exiting restaurant.

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,


Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

cc: Village Clerk

ZBA Approval Needed: Yes _ No X

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

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Notice

2024 MAR -4 P 3: 11

X Negative Declaration

Positive Declaration
VILLAGE OF FREEPORT, NY

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20233561

Location: 168 Atlantic Ave , Freeport, NY 11520

Applicant: 168 Atlantic Ave LLC

Description : Interior and exterior alterations to exiting restaurant.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: February 22, 2024

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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617.20

Appendix B

Short Environmental Assessment Form

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY
Instructions for Completing

Part I - Project Information. The applicant or project sponsor is responsible for the completion of Part I. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part I based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part I. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part I - Project and Sponsor Information			
Name of Action or Project:			
Project Location (describe, and attach a location map): 168 Atlantic Avenue, Freeport, New York 11520			
Brief Description of Proposed Action: Interior and Exterior Alterations to existing restaurant			
Name of Applicant or Sponsor: Basser Kaufman of Freeport LLC		Telephone: 516-569-3700	
Address: 151 Irving Place		E-Mail: Marc@basserkaufman.com	
City/PO: Woodmere		State: NY	Zip Code: 11598
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES
3.a. Total acreage of the site of the proposed action?		.38 acres	
b. Total acreage to be physically disturbed?		0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.38 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

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VILLAGE OF FREEPORT, NY

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>Basser Kaufman of Freeport LLC</u> Date: <u>11/30/2023</u></p> <p>Signature: by: <u>[Signature]</u></p>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

DEC 06 2023

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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VILLAGE OF FREEPORT, NY

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency

Date

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)

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DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 20233561

Filing Date 12/6/23

CLERK'S OFFICE VILLAGE OF FREEPORT, NY

Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections I, II, III, IV, V

I. LOCATION OF BUILDING
AT LOCATION: 168 Atlantic Avenue, ZONING DISTRICT: Business B
BETWEEN: Guy Lombardo Avenue AND S. Ocean Avenue
SECTION: 52 BLOCK: 113 LOT: 218 APPROX. LOT SIZE: 115 x 165 LOT AREA: 16,675

II. TYPE AND COST OF BUILDING - All applicants complete Parts A & C.

A. TYPE OF IMPROVEMENT
1 [] New Building
2 [X] Addition or Alteration in structural, floor number or use...
3 [] Substituting Pool
4 [] Repair (Replacement)
5 [] Workover (New, Repair)
6 [] Fence
7 [] Slowing (Retardation)
B. PROPOSED OR EXISTING USE
RESIDENTIAL: 11 [] Det. Family, 12 [] Two Family, 13 [] Apartment...
NON-RESIDENTIAL - County Part "E": 17 [] Industrial, 18 [] Office, bank, institutional, 19 [] Store, warehouse, 20 [] Church, other religious, 21 [] Hospital, institutional, 22 [X] Other - Specify: Restaurant

C. COST
10 TOTAL COST OF IMPROVEMENT: \$250,000.00
D. DESCRIPTION OF PROJECT
Interior and Exterior Alterations to existing restaurant

III. IDENTIFICATION - To be completed by all applicants

Table with 4 columns: NAME, MAILING ADDRESS - Number, Street, City and state, Zip, TEL. NO.
1. Owner or Lessee: 168 Atlantic Avenue, Freeport, NY 11520
2. Contractor: Bassar Kaufman of Freeport LLC, Woodmere, NY 11598
3. Architect or Engineer: Nail Macdonald, Setauket, NY 11733

IV. OWNER-CONTRACTOR STATEMENT

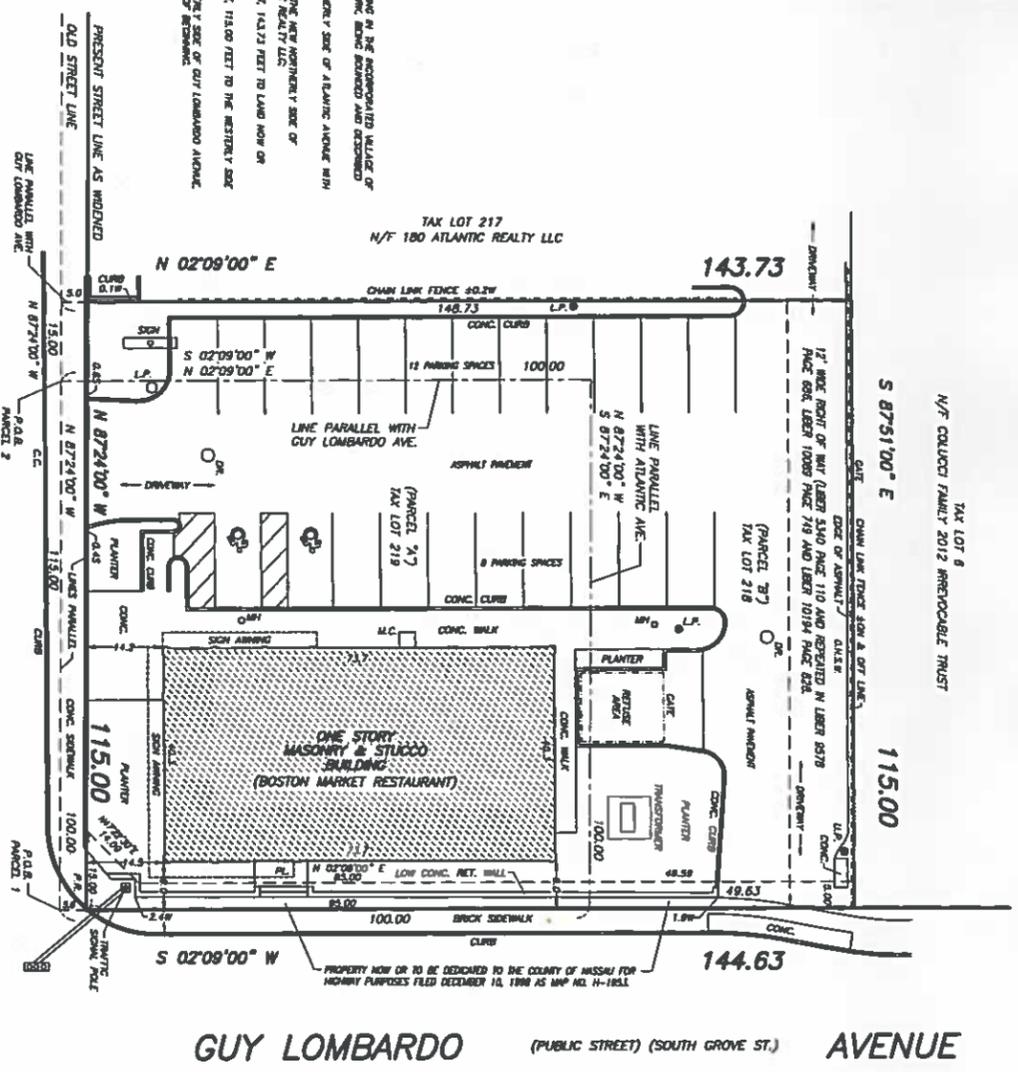
Building permit is being subject to the provisions of Section 27 of the Workmen's Compensation Law...
Contractor: Bassar Kaufman of Freeport LLC
Address: 151 Irving Place, Woodmere NY
Phone: 516-569-3700
Steven Kaufman, being duly sworn, says that he is the owner or owner of the above mentioned building...
Notary Public: Nassau County, N.Y.

V. FLOOD ZONE

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE? YES [] NO []
IF YES, WHICH ZONE?
IS PROJECT TO REPAIR FLOOD DAMAGE? YES [] NO []
PROJECT DESCRIPTION: Total/First Floor Square Feet [], Upper First Square Feet [], # of Fixtures [], # of Floors [], Occup. Type []

member LEAH SOBEL, Notary Public, State of New York, No. 01SO6402865, Qualified in Nassau County, Commission Expires January 13, 2024

VI. VALUATION (to be filled in by Dept)
Building Permit Number, Building Permit Issued, Building Permit Fee, Approved by, Superintendent of Buildings



GUY LOMBARDO AVENUE (PUBLIC STREET) (SOUTH GROVE ST.)

ATLANTIC AVENUE (PUBLIC STREET)

GENERAL DESCRIPTION:
 ALL THAT CERTAIN PLOT, PART OF PARCEL OF LAND, STATE, TOWNSHIP AND BEING IN THE INCORPORATED VILLAGE OF ALTA, COUNTY OF HENRIETTA, COUNTY OF MASSACHUSETTS AND STATE OF NEW YORK, BEING BOUND AND DESCRIBED AS FOLLOWS:
 BEGINNING AT THE CORNER FORMED BY THE INTERSECTION OF THE NORTH-WEST CORNER OF A PLAIN AREA WITH THE WESTERN CORNER OF GUY LOMBARDO AVENUE (SOUTH GROVE STREET);
 RUNNING NORTH 02°09'00" WEST 143.73 FEET TO THE POINT OF BEGINNING;
 RUNNING NORTH 02°09'00" WEST 115.00 FEET TO THE POINT OF BEGINNING;
 RUNNING SOUTH 02°09'00" WEST 115.00 FEET TO THE POINT OF BEGINNING;
 RUNNING SOUTH 02°09'00" WEST 144.63 FEET TO THE POINT OF BEGINNING;
 BEING 1.87 ACRES, MORE OR LESS, AS SHOWN ON THE ATTACHED MAP.

LEGEND:

LOT	LA
CONCRETE	CC
ASPHALT	AS
PAVING	PA
GRASS	GR
WOOD	WD
SHRUBS	SH
ROCK	RO
UTILITY	UT
BOUNDARY	BL
ADJACENT	AD
PROPOSED	PR
EXISTING	EX
RECORD	RE
PLAT	PL
MAP	MA
PLAN	PLA
SECTION	SEC
TOWNSHIP	TOW
COUNTY	COUNT
STATE	STATE

ALTA CERTIFICATION
 TO: STEWART TITLE INSURANCE COMPANY, ADVANCE TITLE GROUP AGENCY, LLC AND BASED KATHMAN OF FREEDOM, LLC
 THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 ANNUAL STANDARD DETAIL REQUIREMENTS FOR ALTA/N.S.P.S. LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND N.S.P.S. AND INCLUDES ITEMS 1, 4, 7, 8, 9, 10, 11, 14, 16, 17 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 24, 2023.
 DATE OF PLAN OR MAP: AUGUST 2, 2023
 DRAWN & CALLED:
 LICENSE NO. 000088

GRAPHIC SCALE 1" = 20'

TITLE ACQUIRED BY DEED FROM MIRIAM F. CHALL TO 188 ATLANTIC AVENUE, LLC DATED DECEMBER 3, 2018 AND RECORDED ON DECEMBER 17, 2018 IN LIBER 13744 PAGE 348.
SURVEY ITEMS CORRESPONDING TO SCHEDULE B - PART 2

1. ADJACENT TITLE GROUP AGENCY, LLC AS AGENT FOR STEWART TITLE INSURANCE COMPANY COMMITMENT NO. 23-CH-00141 WITH AN EFFECTIVE DATE OF JULY 1, 2023.
 2. MAP SHOWING NEUL PROPERTY TO BE DEDICATED TO THE COUNTY OF MASSACHUSETTS FOR HIGHWAY PURPOSES FILED DECEMBER 14, 1988 AS MAP NO. H-1882 (PLOTTED).
 3. REPORT OF MAINTENANCE AS SET FORTH IN DEED RECORDED IN LIBER 2340 PAGE 110 AND REPEATED IN LIBER 5278 PAGE 68, LIBER 10089 PAGE 744 AND LIBER 10194 PAGE 628 (PLOTTED).

LEGAL DESCRIPTION

ALL THAT CERTAIN PLOT, PART OF PARCEL OF LAND, STATE, TOWNSHIP AND BEING IN THE INCORPORATED VILLAGE OF FREEDOM, TOWN OF HENRIETTA, COUNTY OF MASSACHUSETTS AND STATE OF NEW YORK, BEING BOUND AND DESCRIBED AS FOLLOWS:
 BEGINNING AT THE CORNER FORMED BY THE INTERSECTION OF THE NORTH-WEST CORNER OF A PLAIN AREA WITH THE WESTERN CORNER OF GUY LOMBARDO AVENUE (SOUTH GROVE STREET);
 RUNNING NORTH 02°09'00" WEST 143.73 FEET TO THE POINT OF BEGINNING;
 RUNNING NORTH 02°09'00" WEST 115.00 FEET TO THE POINT OF BEGINNING;
 RUNNING SOUTH 02°09'00" WEST 115.00 FEET TO THE POINT OF BEGINNING;
 RUNNING SOUTH 02°09'00" WEST 144.63 FEET TO THE POINT OF BEGINNING;
 BEING 1.87 ACRES, MORE OR LESS, AS SHOWN ON THE ATTACHED MAP.

NO.	DATE	REVISION
1.	NOVEMBER 14, 2023	CERTIFICATION REVISED

MAP OF PROPERTY SITUATED IN
FREEDOM
 MASSACHUSETTS
 188 ATLANTIC AVENUE
 TAX SECT.: 62 TAX BLOCK: 113 TAX LOTS: 218 & 219

Empire State Land Surveyor, P.C.
 Frank I. Galluzzo, Professional Land Surveyor
 Records of Albert A. Bianco - Robert B. Hoffmann
 Stephen J. Reid - M. Berry Carrano - G. W. Hayward
 I. Underwater & Lipp - Robert E. Corbin - William J. Duly
 1005 Glen Cove Avenue, Glen Head, NY 11545
 empirestate@esul.com | (516) 340-8901

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 VILLAGE OF FREEDOM, NY



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SEATTLE, WASHINGTON 98134
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STARBUCKS TEMPLATE VERSION: 0203.04.24
ARCHITECT OF RECORD



WILLIAM F. COLLINS, AN ARCHITECT, L.P.
12-1 TECHNOLOGY DRIVE, SETAUKET, NY 11723



PROJECT NAME:
168 ATLANTIC AVENUE
PROJECT ADDRESS:
168 ATLANTIC AVENUE
FREEPORT, NY 11520
JURISDICTION:
VILLAGE OF FREEPORT

STORE #: 83061
SBUX PROJECT #: 102424-001
WFC PROJECT #: 23-15604
ISSUE DATE: 02/13/2024
DESIGN MANAGER: PALOMA VIDAL
PRODUCTION DESIGNER: JOSEPH DERAMO
CHECKED BY: CHRIS CRANS

Rev	Date	By	Description
1221723			WFC ILL SUBMISSION

SHEET TITLE:
OVERALL SITE PLAN
SCALE AS SHOWN
PAGE NUMBER: 12 OF 121
A-101.00

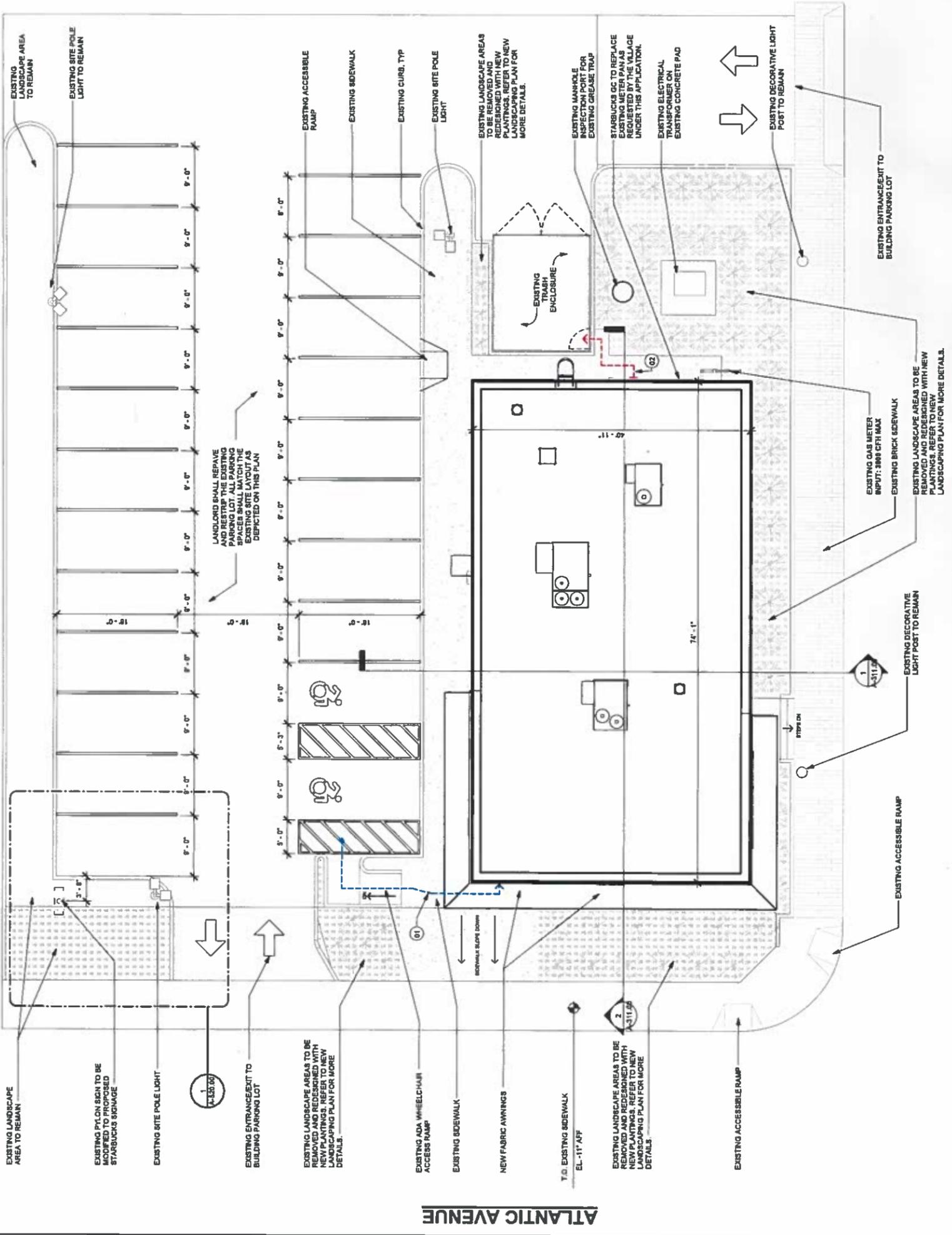
GENERAL NOTES

- REFER TO EXTERIOR ELEVATIONS ON SHEET A301 FOR FINISHES AND MATERIALS. REFER TO ELECTRICAL PLANS FOR ELECTRICAL REQUIREMENTS.
- LANDSCAPING TO BE PROVIDED PER ZONING CODE AND SUSTAINABILITY REQUIREMENTS.
- DRIVE-THRU EQUIPMENT INCLUDING VEHICLE DETECTION LOOP, WIRELESS COMMUNICATION AND MONITORING SHALL BE COORDINATED BY STARBUCKS CONSTRUCTION MANAGER. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- PROVIDE 8" (50MM) THICK CONCRETE PAVING THE LENGTH OF THE DRIVE-THRU LANE. EXTENT TO INCLUDE DRIVE-THRU ENTRY POINT THROUGH WINDOW STANDING PAD.
- GENERAL CONTRACTOR TO APPLY CONCRETE SEALER TO ALL EXTERIOR CONCRETE PATIO AND WALKWAY SURFACES.
- GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.
- PROVIDE DETECTABLE WARNING (IF APPLICABLE PER LOCAL CODE) AT TRANSITION FROM SIDEWALK TO DRIVEABLE.
- ACCESSIBLE PARKING SPACES AND ACCESSIBLES SHALL HAVE SURFACE SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS.
- REFER TO ELECTRICAL DRAWINGS FOR BITE RELATED ELECTRICAL WORK.
- SCAPE AND REPAINT ALL EXISTING PAINTED SITE FEATURES INCLUDING, BUT NOT LIMITED TO CURBS, BOLLARDS, RAILINGS AND BITE LIGHTING BASES.
- SEE SHEET A002 FOR ARCHITECTURAL SITE DETAILS.

SHEET NOTES

ALL WORK SHOWN IN THIS DRAWING SET SHOULD BE PERFORMED BY THE STARBUCKS GC UNDER OTHERS' SUPERVISION. THE STARBUCKS GC SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE WORK LETTER SUPERSEDE THIS DRAWING SET.

- ACCESSIBLE PATH OF TRAVEL.
- PEDESTRIAN PATH TO TRASH ENCLOSURE.



2024 MAR -4 P 3:12
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VILLAGE OF FREEPORT, NY



1 SITE PLAN
Scale: 1/8" = 1'-0"



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STARBUCKS TEMPLATE VERSION: 0201.04.24
ARCHITECT OF RECORD
WFC ARCHITECTS
WILLIAM F. COLLINS, AIA ARCHITECTS, LLP
12-1 TECHNOLOGY DRIVE, SETAuket, NY 11763



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168 ATLANTIC AVENUE
FREEPORT, NY 11520
PROJECT ADDRESS:
168 ATLANTIC AVENUE
FREEPORT, NY 11520
PROJECT NAME:
VILLAGE OF FREEPORT

83061
STORE #
SBUX PROJECT #: 102424-001
WFC PROJECT #: 23-15604
ISSUE DATE: 02/13/2024
DESIGN MANAGER: PALOMA VIDAL
PRODUCTION DESIGNER: JOSEPH DERAMO
CHECKED BY: CHRIS CRANS

Rev	Date	By	Description

1927/22 JWF: JL SUBMISSION
SHEET TITLE:
**RENDERED EXTERIOR
ELEVATIONS WITH FINISHES**
SCALE: AS SHOWN
PAGE NUMBER: 48 OF 121
A-216.00

BUILDING SIGNAGE - SOUTH ELEVATION

DESIGN ID #	PROPOSED SIGNAGE TYPE	QUANTITY	PROPOSED SIGNAGE SQUARE FEET	TOTAL ALLOWABLE SQ. FOOTAGE	PROPOSED SIGNAGE HEIGHT	ALLOWABLE SIGNAGE HEIGHT
13183	48" INTERNALLY ILLUMINATED DISK SIGN TO BE PROVIDED AND INSTALLED BY SB SIGNAGE VENDOR. AREA OF 4.47' DIAMETER. CIRCLE = 12.57 SF	1	12.57 SF	74.5' WIDTH OF WALL X 1.5 SF = 111 SF	4'-0" (DOES NOT COMPLY)	3'-0"

SUMMARY
SIGNAGE IS COMPLIANT WITH TOTAL PROPOSED SIGNAGE FOOTAGE IS 12.57 SF. VARIANCE NEEDED FOR HEIGHT ALLOWABLE SIGNAGE HEIGHT IS 3'-0" AND THE PROPOSED IS 4'-0".

BUILDING SIGNAGE - EAST ELEVATION

DESIGN ID #	PROPOSED SIGNAGE TYPE	QUANTITY	PROPOSED SIGNAGE SQUARE FEET	TOTAL ALLOWABLE SQ. FOOTAGE	PROPOSED SIGNAGE HEIGHT	ALLOWABLE SIGNAGE HEIGHT
18487	18" INTERNALLY ILLUMINATED CHANNEL LETTERS "STARBUCKS" WORDMARK SIGNAGE EACH LETTER TO BE PROVIDED AND INSTALLED BY SB SIGNAGE VENDOR. AREA = 14'-8" X 1'-9" = 21.75 SF	1	21.75 SF	41'-7" WIDTH OF WALL X 1.5 SF = 62 SF	1'-4" AFF (COMPLIES)	3'-0"

SUMMARY
SIGNAGE IS COMPLIANT WITH TOTAL PROPOSED SIGNAGE FOOTAGE IS 21.75 SF. SIGNAGE IS COMPLIANT WITH HEIGHT RESTRICTIONS.

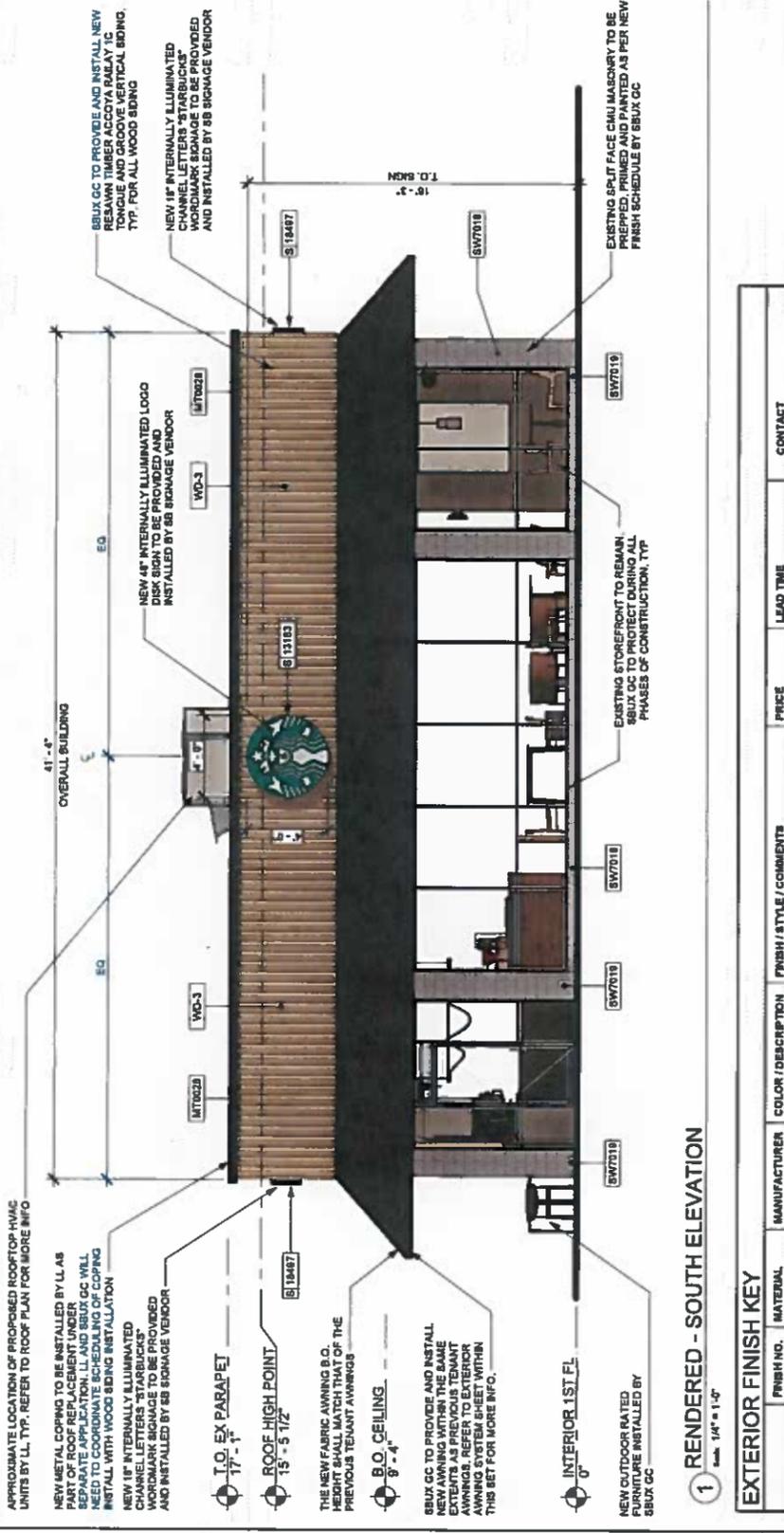
VILLAGE OF FREEPORT SIGNAGE RESTRICTIONS

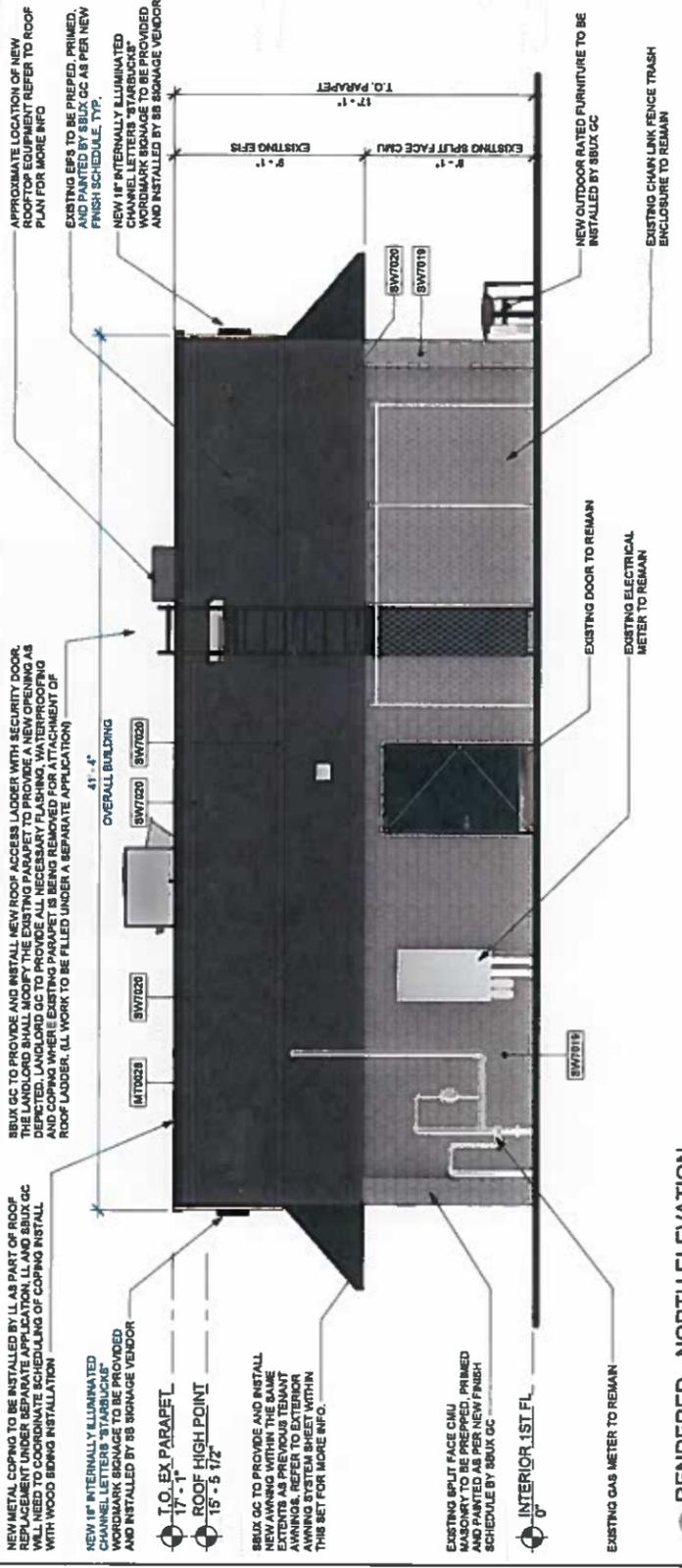
BUILDING WALL SIGNAGE RESTRICTIONS

- ALL SIGNAGE SHALL BE MORE THAN 12 INCHES FROM WALL THEY ARE AFFIXED. (ALL COMPLY)
- SIGNS THAT FRONT ON A PUBLIC WALKWAY, THE LOWER EDGE OF SIGN SHALL NOT BE LESS THAN 7 FEET IN HEIGHT ABOVE THE LEVEL OF THE PUBLIC WALKWAY. (ALL COMPLY)
- NOT EXCEED HEIGHT OF 3 FEET AND NOT EXTEND HIGHER THAN THE TOP OF PARAPET IN ONE-STORY BUILDING. (VARIANCE NEEDED FOR SOUTH ELEVATION)
- ALL SIGNAGE SHALL NOT EXTEND ABOVE THE BOTTOM OF THE SILL OF THE WINDOWS OR THE SECOND STOREY FLOOR LINE. (ALL COMPLY)
- NO WALL SIGN OR COMBINATION OF SIGNS ON ANY SINGLE PROPERTY FRONTAGE IN A BUSINESS DISTRICT INCLUDING INTERIOR SIGNS, SHALL EXCEED AN AREA IN SQUARE FEET EQUIVALENT TO 1 1/2 TIMES THE LINEAR LENGTH IN FEET OF THE STRUCTURE ON SUCH FRONTAGE. (ALL COMPLY)
- SIGNS SELF-ILLUMINATED FROM WITHIN. ALL WIRING SHALL BE SELF-ENCLOSED IN METAL RACEWAYS. (VARIANCE REQUIRED FOR ALL)

BUILDING WALL SIGNAGE SCHEDULE - "B"

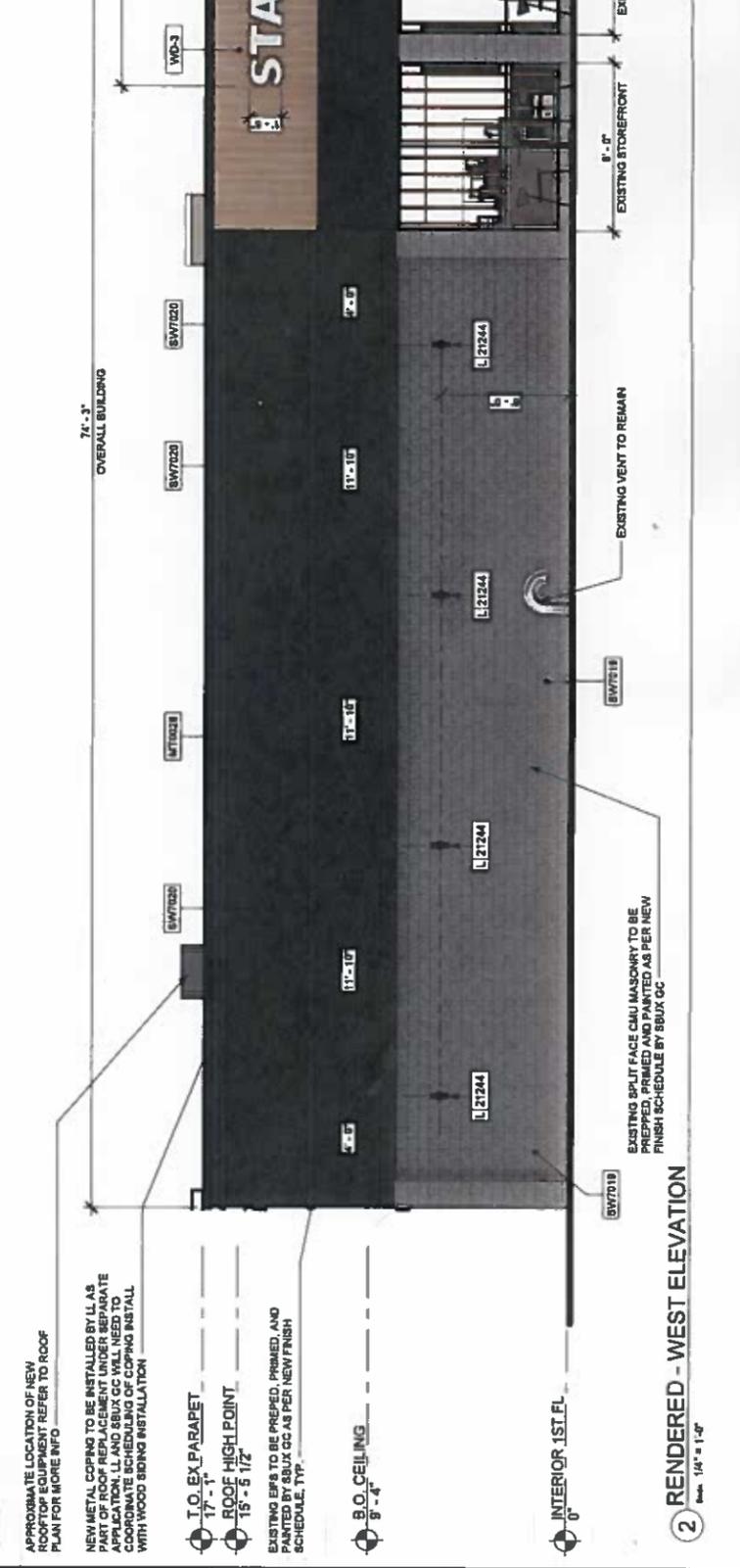
DESIGN ID	COUNT	DESCRIPTION	FINISH	INST. BY	COMMENTS
13183	1	DISK - 48" ILLUMINATED FLUSH MOUNTED EVOLVED	SB	GC	GC TO COORDINATE WITH SBUX SIGNAGE VENDOR.
18487	2	CHANNEL LETTERS - 18" X 1'-9" MOUNTED - 18" X 1'-9" MOUNTED - 18" X 1'-9" MOUNTED	SB	GC	WRITE CHANNEL LETTERS GC TO COORDINATE WITH SBUX SIGNAGE VENDOR.





1 RENDERED - NORTH ELEVATION
Scale: 1/4" = 1'-0"

FINISH NO.	MATERIAL	MANUFACTURER	COLOR / DESCRIPTION	FINISH / STYLE / COMMENTS	PRICE	LEAD TIME	CONTACT
SW7020	PAINT	SHERWIN WILLIAMS	SW7020 - BLACK FOX	EXISTING UPPER EPS TO REMAIN AND BE PAINTED WITH NEW PAINT. PATCH AND REPAIR EXTERIOR SURFACE AS NEEDED.	TBD	TBD	
SW7019	PAINT	SHERWIN WILLIAMS	SW7019 - GAUNTLET GRAY	EXISTING LOWER CMU MASONRY WALL TO REMAIN AND BE PAINTED WITH NEW PAINT. PATCH AND REPAIR EXTERIOR SURFACE AS NEEDED.	TBD	TBD	
WD-3	TONGUE & GROOVE VERTICAL WOOD SIDING (8" T&G)	REBAWN TIMBER CO.	ACCOYA, RALLY 1C	FINISHED ON FACE ONLY SEALED ON ALL 3 SIDES WITH 3/8" REVEAL. MAXED WIDTHS 8' - 10' RANDOM LENGTHS	\$17.726F	10-12 WEEKS *SUBJECT TO CHANGE CONTACT REBAWN FOR CURRENT LEAD TIME	TRACEY BRANDENBERGER TRACEY@REBAWN.COM COM 415-706-3061 M 215-704-9877



2 RENDERED - WEST ELEVATION
Scale: 1/4" = 1'-0"

BUILDING SIGNAGE - NORTH ELEVATION

DESIGN DID #	PROPOSED SIGNAGE TYPE	QUANTITY	PROPOSED SIGNAGE SQUARE FEET	TOTAL ALLOWABLE SQ. FOOTAGE	PROPOSED SIGNAGE HEIGHT	ALLOWABLE SIGNAGE HEIGHT
16487	18" INTERNALLY ILLUMINATED CHANNEL LETTERS WITH WORDMARK SIGNAGE. EACH LETTER TO BE INDIVIDUALLY FED FROM BEHIND WITH NO EXPOSED CONDUIT.	1	21.75 SF	41.7' WIDTH OF WALL X 1.5 SF = 62 SF	1-4" AFF [COMPLIES]	3'-0"

BUILDING SIGNAGE - WEST ELEVATION

DESIGN DID #	PROPOSED SIGNAGE TYPE	QUANTITY	PROPOSED SIGNAGE SQUARE FEET	TOTAL ALLOWABLE SQ. FOOTAGE	PROPOSED SIGNAGE HEIGHT	ALLOWABLE SIGNAGE HEIGHT
16487	18" INTERNALLY ILLUMINATED CHANNEL LETTERS WITH WORDMARK SIGNAGE. EACH LETTER TO BE INDIVIDUALLY FED FROM BEHIND WITH NO EXPOSED CONDUIT.	1	21.75 SF	41.7' WIDTH OF WALL X 1.5 SF = 62 SF	1-4" AFF [COMPLIES]	3'-0"

VILLAGE OF FREEPORT SIGNAGE RESTRICTIONS

BUILDING WALL SIGNAGE RESTRICTIONS

- NOT EXTEND OR PROJECT MORE THAN 12 INCHES FROM WALL. THEY ARE AFFRONT. [ALL COMPLY]
- SIGNS THAT FRONT ON A PUBLIC WALKWAY THE LOWER EDGE OF SIGN SHALL NOT BE LESS THAN 7 FEET IN HEIGHT ABOVE FINISH GRADE.
- NOT EXCEED A HEIGHT OF 3 FEET AND NOTE CORNER VARIANCE NEEDED FOR SOUTH ELEVATION.
- BUILDING TALLER THAN ONE-STORY, SIGNS SHALL NOT EXTEND ABOVE THE BOTTOM OF THE SILL OF THE WINDOW OF THE SECOND STORY NOR EXTEND OR BE PLACED MORE THAN 18 FEET ABOVE THE OUTSIDE GRADE. [1-STORY FULL COMPLY]
- NO WALL SIGN OR COMBINATION OF SIGNS ON ANY SINGLE PROPERTY FRONTAGE IN A BUSINESS DISTRICT INCLUDING STRUCTURE ON SUCH FRONTAGE. [ALL COMPLY]
- NO SIGNAGE TO BE PLACED ON A SIGNAGE AREA EQUIVALENT TO 1% TIMES THE LINEAR LENGTH IN FEET OF THE STRUCTURE ON SUCH FRONTAGE. [ALL COMPLY]
- SIGNS SELF-ILLUMINATED FROM WITHIN. ALL WRITING SHALL BE SELF-ENCLOSED IN METAL RACEWAYS. VARIANCE REQUIRED FOR ALL.

BUILDING WALL SIGNAGE SCHEDULE - "B"

DESIGN ID	COUNT	DESCRIPTION	FLUSH	INST. BY	COMMENTS
13183	1	SIGN - DISK 8" ILLUMINATED FLUSH MOUNTED EVOLVED SB	GC	GC	GC TO COORDINATE WITH SBUX SIGNAGE VENDOR.
16487	2	SIGN - WORDMARK STARBUCKS FLUSH MOUNTED - 18IN	SB	GC	WRITE CHANNEL LETTERS, GC TO COORDINATE WITH SBUX SIGNAGE VENDOR.



STARBUCKS®
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 318-1575

ARCHITECT OF RECORD
WFC ARCHITECTS
WILLIAM F. COLLIER, AIA ARCHITECT, LLP
12-1 TECHNOLOGY DRIVE, SEATTLE, WA 98133



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MAY - 4 - 2024 3:13 PM
VILLAGE OF FREEPORT, NY
LARK'S OFFICE
168 ATLANTIC AVENUE
FREEPORT, NY 11520
JURISDICTION: VILLAGE OF FREEPORT

PROJECT NAME: 168 ATLANTIC AVENUE
PROJECT ADDRESS: 168 ATLANTIC AVENUE
PROJECT # 83081
STORE # SBUX PROJECT #: 102424-001
WFC PROJECT #: 23-15604
ISSUE DATE: 02/13/2024
DESIGN MANAGER: PALOMA VIDAL
PRODUCTION DESIGNER: JOSEPH DERAMO
CHECKED BY: CHRIS CRANS

REV	DATE	BY	DESCRIPTION

SHEET TITLE:
RENDERED EXTERIOR ELEVATIONS WITH FINISHES

SCALE: AS SHOWN
PAGE NUMBER: 47 OF 123
A-217.00

Application Date: 3/18/24
 Fees Paid: 2024

SP# 3816

**INCORPORATED VILLAGE OF FREEPORT
 SITE PLAN REVIEW APPLICATION
 PLANNING BOARD**

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 6 Saint Mary's Place ZONING DISTRICT Industrial B
 SECTION 62 BLOCK 230 LOT 56 LOT SIZE: 7250 Sq. Ft

<input type="checkbox"/> TENANT APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Same AS owner</u>		Name: <u>Jose V. Martinez / Esmeralda and Son Holdings LLC</u>
Address:		Address: <u>6. Saint Marks Place, Freeport NY 11520</u>
Telephone #:		Telephone #: <u>516-732-4483</u>

Attorney Name: _____ Address: _____
 (optional) Phone #: _____

Present Land Use: Residential Proposed Land Use: Office, Waiting Room
Reception Area

Description of Proposed Work: Replacement of windows + Front Door

I request a preliminary meeting: ___ YES NO

I request a waiver of the public hearing and hereby certify the following:
 A. The subject property is zoned Residence A or Residence AA.
 B. The proposed construction is not a new building or dwelling.
 C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
 _____ YES NO

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 VILLAGE OF FREEPORT NY

APPLICANT'S SIGNATURE
 Sworn to before me this _____
 day of _____, 20____.

DATE

Notary Public

Property Owner's Consent: Jose V. Martinez am (are) the owner(s) of the subject property and consent to the filing of this application.

Jose V. Martinez _____
 PROPERTY OWNER'S SIGNATURE DATE

Sworn to before me this 12th
 day of March, 2024

ELSA BAIREZ
 NOTARY PUBLIC, STATE OF NEW YORK
 NO. 01BA6428986
 QUALIFIED IN SUFFOLK COUNTY
 MY COMMISSION EXPIRES FEB 7, 2026

Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: ___ YES ___ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<u>Approved</u> _____ Denied Date: _____
Planning Board Signature: _____	Date: _____



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2024 MAR 18 P 2: 01

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER

March 13, 2024

Esmeralda + Son LLC
6 Saint Marys Place
Freeport, NY 11520

RE: 6 Saint Marys Place, Freeport, NY

Zoning District: Ind B Sec 62 Blk 230 Lot 56

Building Permit Application #20222569

Description: Maintain interior renovations and replace windows and front door.

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela hernandez

c: Village Clerk

ZBA Approval Needed: Yes ___ No X

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20222569

Location: 6 Saint Marys Pl

Applicant: Esmeralda + Son LLC

Description : Maintain interior renovations and replace windows and front door.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: March 13, 2024

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

Instructions for Completing

2024 MAR 18 P 2: 01

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: maintaining plans Renovating interior			
Project Location (describe, and attach a location map): 6 St. Mary's Pl, Freeport			
Brief Description of Proposed Action: maintaining the original plans for the interior, Nothing is changing just Renovating.			
Name of Applicant or Sponsor: Esmeralda and Son LLC		Telephone: 516-732-4485	
Address: 6 St. Mary's Pl.		E-Mail: Ferre.Posts1671@yahoo.com	
City/PO: Freeport		State: N.Y.	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?			_____ acres
b. Total acreage to be physically disturbed?			_____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			_____ acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Jose V. Martinez</u>		Date: <u>11/10/22</u>
Signature: <u>Jose V. Martinez</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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 VILLAGE OF FREETOWN

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

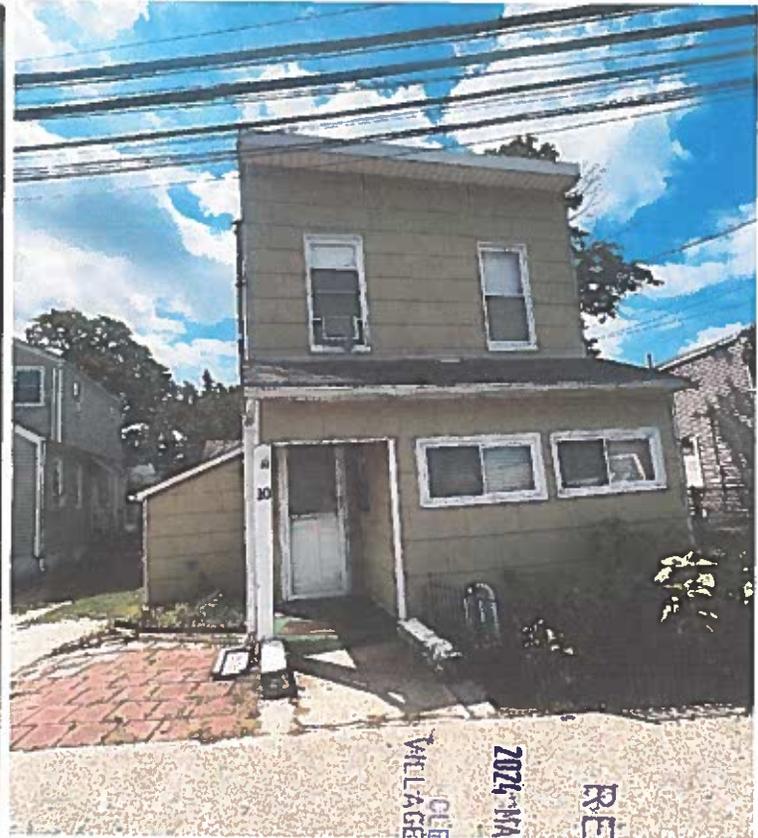
COUNTY OF ALBANY
 OFFICE OF THE CLERK
 COUNTY CLERK'S OFFICE
 100 STATE STREET
 ALBANY, NY 12242-1000
 (518) 462-3000

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 VILLAGE OF FREEPORT, NY

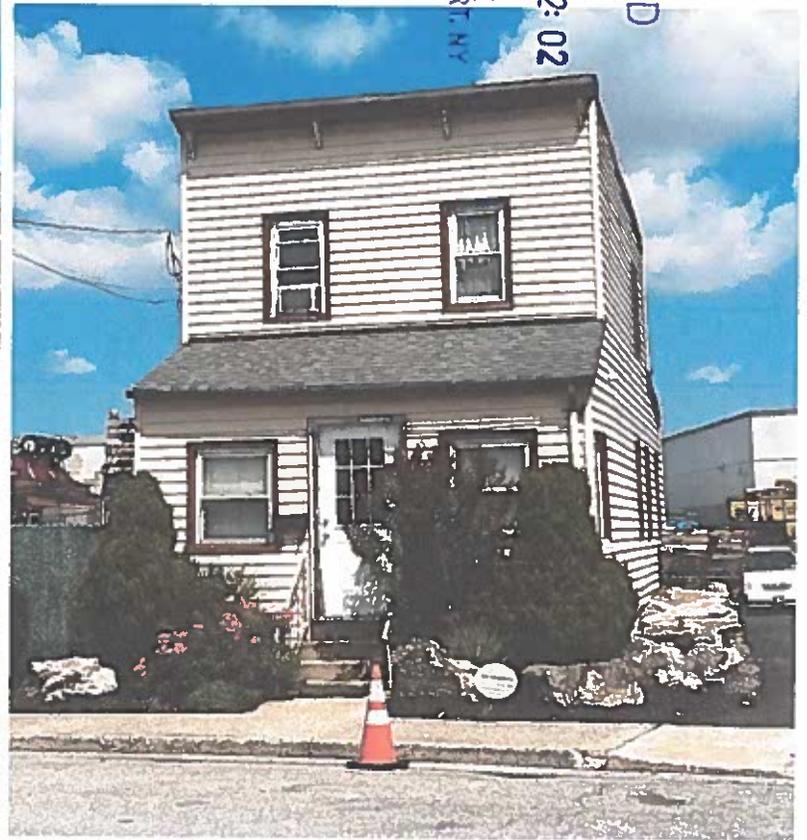
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)



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Village of Freeport - enQuest v6 P

CUSTOMER TRANSACTION RECEIPT

TODAY'S DATE: 3/18/24

CONTROL BATCH # 77527 DATE 03/18/2024
BATCH # 27318 TIME 10:43
RECEIPT # 479846 TELLER # 273
CHECK # OFFICE # 1

ESHERALDA SON LLC

SITE PLAN REVIEW BOARD

Pat 325.00

Payment Received:

CHECKS 325.00

Total Received 325.00

Less Payments 325.00

Cash Back .00

THANK YOU FOR YOUR PAYMENT

VILLAGE CLERK'S OFFICE

NAME: Esmeralda & Son LLC RE: 6 St. Mary's Pl DATE: 3/18/24

CHECK ONE	ACCOUNT CODE	DESCRIPTION	CHECK #	CASH	AMOUNT
	199	Alarm Permit \$50 per yr/\$125 pre 3 yr/\$50 sub			
	7	Auctioneer Permit \$25 per year/\$25 daily			
	8	Auto Wrecker License (New & Renewal)			\$575.00
	97/28	Banner Request (75% Elec Dept & 25% Clerk) (\$95)			
	6	Birth Certificate \$10 each copy/ \$22 for genealogy			
	37	Business License \$155 Food & Drink License \$115			
	11	Cabaret License			\$375.00
	14	Claim			

CASH ONLY IF ALL CheckLock™ SECURITY FEATURES LISTED ON BACK INDICATE NO TAMPERING OR COPYING



FENCE POSTS & LANDSCAPING INC.
699 Nassau Rd
Uniondale, NY, 11553
Off: 516 754 6457
Cell: 516 732 4483

CITIBANK, N.A.
410 UNIONDALE AVE
UNIONDALE, NY 11553
1-8210

5471

3/18/2024

PAY TO THE ORDER OF Village Of Freeport \$ **325.00
Three Hundred Twenty-Five and 00/100 DOLLARS

PROTECTED AGAINST FRAUD

Village Of Freeport
46 N Ocean Ave,
Freeport, NY 11520

Jose V. Martinez

⑈005471⑈ ⑆021000089⑆ 4974911986⑈

48	Roll Off Container (2 week intervals-up to 1 month)		\$50.00
49	Second Hand Dealer's License		\$375.00
12	Sewer Connection		
106	Sidewalk Contractor's Annual License		\$75.00
4	Sidewalk Permit (New \$220) (Existing \$40)		
✓ 110	Site Plan Review Board	5471	325.00
45	Street Opening Permit (\$250 + Cost of repairs)		
13	Subdivision Application		
69	Subpoena		
111	Taxi Cab Medallion License (New/Renewal)		\$525.00
100	Taxi Driver License Application (New)		\$75.00
101	Taxi Driver License Application (Renewal)		\$75.00
117	Temporary Storage Containers(90 days/+ \$50 max 120 days)		\$100.00
102	Tow Truck License (Each vehicle)		\$575.00
103	Transfer Taxi Medallion to New Vehicle		\$100.00
29	Zoning Board of Appeals		
	OTHER		

2024 MAR 18 PM 2:01

SIGNATURE:

[Signature]

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BILL # _____

JOB NO.: 17-42318
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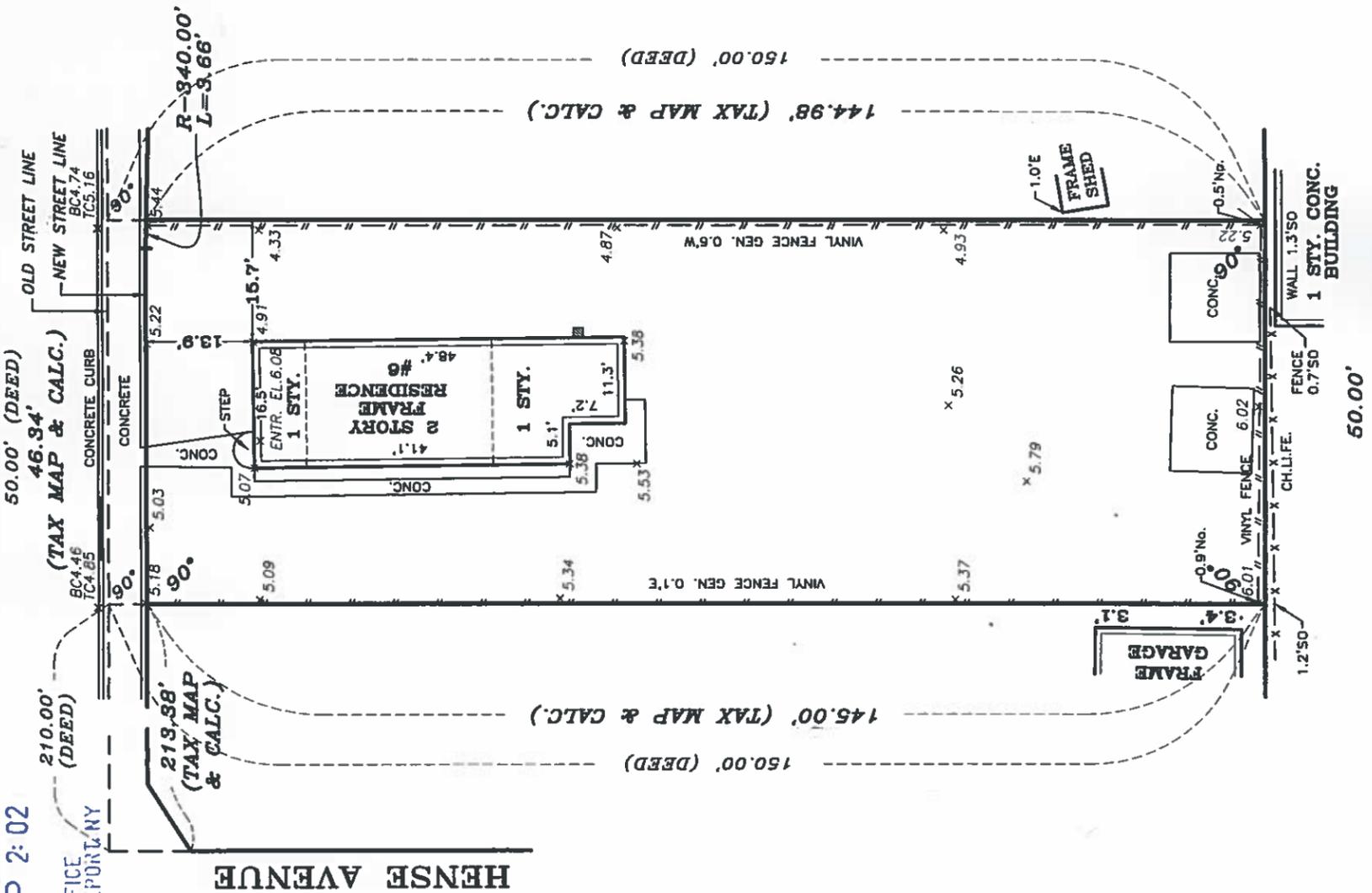
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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

x CL5.61

x CL5.29

ST. MARYS PLACE



- NOTES:**
- ELEVATION SHOWN HEREON REFER TO THE NAVD 1988 DATUM.
 - AREA OF THE PARCEL = 7,249.98 SQ.FT. = 0.166 ACRE

MAP of SURVEY

SURVEY OF: DESCRIBED PROPERTY
FILED MAP: N/A

LOCATED AT:
INCORPORATED VILLAGE OF FREEPORT,
TOWN OF HEMPSTEAD,
COUNTY OF NASSAU, STATE OF NEW YORK

TAX DESIGNATION:
SECTION: 62, BLOCK: 230, LOT: 56

SURVEYED ON: JUNE 08, 2017
AMENDED ON: DECEMBER 7, 2018 (UPDATE)

DRAWN BY: M.V./AH
CHECKED BY: A.T.



THE EXISTENCE OF RIGHT OF WAYS AND/OR EASEMENTS OF RECORD, IF ANY, NOT SHOWN ARE NOT CERTIFIED.

THE OFFSETS OR DIMENSIONS SHOWN FROM THE STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO GUIDE THE ERECTION OF FENCES, RETAINING WALLS, POOLS, PLANTING AREAS, ADDITIONS TO STRUCTURES AND ANY OTHER CONSTRUCTION.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.
COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

CERTIFICATION INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.



LEONARD J. STRANDBERG AND ASSOCIATES,
CONSULTING ENGINEERS AND LAND SURVEYORS, P.C.
32 SMITH STREET, FREEPORT, NY 11520
516-378-2064 • 212-219-4090 • FAX 516-378-6649

Application Date: 4/1/24
Fees Paid: \$325.00

SP# 3722

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 131 West Merrick Road ZONING DISTRICT Business "B"
SECTION 62 BLOCK 108 LOT 23 LOT SIZE: 19,998 SF

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input checked="" type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Bolla EM Realty, LLC</u>	Name: <u>Freeport Realty, LLC</u>
Address: <u>809 Stewart Avenue, Garden City, NY 11530</u>	Address: <u>8012 Tonnelle Avenue, North Bergen, NJ 07047</u>
Telephone #: <u>(516) 222-0222</u>	Telephone #: <u>(551) 558-4133</u>

Attorney or architect:
Name: Brown Altman & DiLeo, LLP by David N. Altman, Esq. Address: 538 Broadhollow Rd., Ste. 301
Phone #: (516) 222-0222 Melville, NY 11747

Present Land Use: Gasoline service station with auto repair shop
Proposed Land Use: Gasoline service station with convenience store

Description of Proposed Work: Remove existing canopy over existing dispensers, install a new 2,058 sf canopy over four (4) new dispensers, convert the existing 2,365 sf service station building into a 2,365 sf convenience store and make associated site and landscaping improvements.

I request a concept plan conference: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

BOLLA EM REALTY, LLC YES NO
By: [Signature] 2-6-24
APPLICANT'S SIGNATURE DATE

Sworn to before me this 6th day of February, 2024
Notary Public
Name: Harvinder Singh Title: Member, Crystal Cards
Notary Public, State of New York
Registration No. 01CE0003873
Qualified in Nassau County
Commission Expires March 27, 2027

Property Owner's Consent:
I, Adnan Kiriscioglu am (are) the owner(s) of the subject property and consent to the filing of this application.
By: [Signature] 1/31/2024
PROPERTY OWNER'S SIGNATURE DATE
Name: Adnan Kiriscioglu Title: Manager
Sworn to before me this 31st day of January, 2024
Notary Public
[Signature]



FOR VILLAGE USE ONLY
Site Plan Public Hearing Required: YES NO
Date of Hearing: _____
Date of Decision: _____
Village Clerk's Signature: _____ Approved _____ Denied _____
Date: _____
Planning Board Signature: _____ Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

AMENDED SITE PLAN LETTER

February 12, 2024

Freeport Realty LLC
8012 Tonnelle Ave
North Bergen NJ 07047

RE: 131 W Merrick Rd Freeport, NY

Zoning District – Business B Sec. 62 Blk. 108, Lot 23

Building Permit Application #20201583

Description– Remove existing canopy over existing dispensers, install 49' x 42' canopy over four (4) new dispensers, convert existing service station building (2,365 sq. ft.) to a convenience store and associated site improvements.

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

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ZBA Approval Needed: Yes X No

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Permit Applications 20201583

Location: 131 W. Merrick Road, Freeport, NY

Applicant: Freeport Realty LLC

Description: Remove existing canopy over existing dispensers, install 49' x 42' canopy over four (4) new dispensers, convert existing service station building (2,365 sq. ft.) to a convenience store and associated site improvements.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: February 12, 2024

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

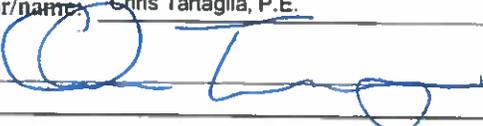
Part 1 - Project and Sponsor Information				
Name of Action or Project: Bolla Market with Filling Station and a Tim Horton's				
Project Location (describe, and attach a location map): 131 West Merrick Road, Freeport, NY 11520 (S: 62, B: 108, L:23), Southeast corner of West Merrick Road and South Ocean Avenue.				
Brief Description of Proposed Action: Removal of existing 81' X 22' canopy, three (3) multi-product dispensers (MPDs) on concrete islands and ID sign. Proposed construction of a 49' X 42' canopy over four (4) MPDs on concrete islands with conversion of existing 2,365 SF service station masonry building to convenience store with a Tim Horton's counter and associated site improvements.				
Name of Applicant or Sponsor: Chris Tartaglia, P.E. - High Point Engineering		Telephone: 516-777-4320 E-Mail: CTartaglia@HPeng.com		
Address: 1860 Walt Whitman Road, Suite 600,				
City/PO: Melville		State: NY	Zip Code: 11747	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: NC Dept. of Public Works 239f Approval, NC Dept. of Health Approval, NC Fire Marshall Approval.			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		0.4590 acres		
b. Total acreage to be physically disturbed?		0.4590 acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.4590 acres		
4. Check all land uses that occur on, are adjoining or near the proposed action.				
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other (Specify):				
<input type="checkbox"/> Parkland				

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: The proposed action meets the state energy code requirements.	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

VILLAGE OF FREEDOM, NY
CLERK'S OFFICE

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14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Stormwater shall be directed to on-site drain inlets/ catch basins and routed to subsurface drywells.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: <u>Spill #8900234, Closed 6/7/1989; Spill #9005693, Closed 8/23/2007.</u>	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Chris Tartaglia, P.E.</u> Date: <u>3/21/24</u>		
Signature:  Title: <u>Principal</u>		

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

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APPROVAL
SITE PLAN REVIEW BOARD DECISION

Building Permit Application #20201583

Date: February 28, 2023

Chairman, regarding Application SP#3427 for the premises located at 131 W Merrick Avenue, Freeport, NY 11520, the applicant comes before this Board seeking approval to remove existing canopy over existing dispensers, install a 49' x 42' canopy over four new dispensers. Convert existing 2,365 sq. ft. service station building to 2,040 sq. ft. convenience store with a 473 sq. ft. drive thru and associated site improvements.

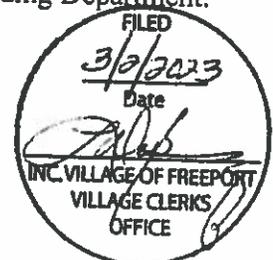
I, Annemarie diSalvo, move that this Board make the following findings of fact:

1. This application **AS AMENDED** will not produce an undesirable effect on the neighborhood, if the conditions below are met.
2. This application **AS AMENDED** will produce an aesthetically and conforming positive addition to the surrounding area if the conditions below are met.
3. This application **AS AMENDED** will not negatively alter the appearance of the neighborhood, if the conditions below are met.
4. The **SITE PLAN, SURVEY PRINT & ARTIST'S RENDERING** dated by the Village Clerks' office 2/9/2023 has been submitted by the applicant, reviewed and approved by the Site Plan Review Board. Said **SITE PLAN, SURVEY PRINT & ARTIST'S RENDERING** have been stamped, approved and signed by the applicant and/or the Chairman of the Site Plan Review Board.
5. The members of this Board are familiar with the neighborhood surrounding the applicant's site and have fully considered all documents and testimony concerning this application.

I further move that this application be **GRANTED** subject to the following conditions:

1. Applicant / Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant / Owner must execute an **AFFIDAVIT OF COMPLIANCE** and return same to the Office of the Village Clerk within thirty (30) days of this approval as a prerequisite for issuance of any permit.
3. Any changes and/or modifications to the approved plan are subject to further review by the Site Plan Review Board.
4. Applicant/Owner to provide 2 sets of stamped original final plans incorporating all conditions and modifications along with the signed affidavit of compliance to the Village Clerk's Office before issuance of a Building Permit.
5. Applicant/Owner will add low voltage accent landscape lighting.
6. Applicant/Owner must file for Sign permit under a separate application with the Building Department.
7. Applicant/Owner must file for permit for additional parking space with the Building Department.

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**APPROVAL
SITE PLAN REVIEW BOARD DECISION**

Building Permit Application #20201583

Date: February 28, 2023

8. The Planning Board, as lead agency, accepts the recommendation of the Building Department's negative SEQRA declaration and has determined that this is a Type II Action under SEQRA.
9. Applicant / Owner must obtain the appropriate permit(s) from the Building Department prior to any construction.

Second by Carole Ryan

The Clerk polled the Board as follows:

Carole Ryan	In Favor
Annemarie diSalvo	In Favor
Joy Fernandez	In Favor
Michael Hershberg	In Favor

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

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March 27, 2024

VIA HAND DELIVERY

Village of Freeport Planning Board
Incorporated Village of Freeport
46 N. Ocean Avenue
Freeport, New York 11520
Attn: Lisa M. DeBourg, Deputy Village Clerk

Re: Amended site plan application to the Village of Freeport (“Village”) Planning Board (the “Application”), by Bolla EM Realty, LLC (“Bolla”), as applicant, and Freeport Realty, LLC (“Freeport Realty”), as owner, to redevelop the property located at 131 W. Merrick Road, Freeport, New York 11520; NCTM No.: Sec. 62, Bk. 108, Lot 23 (the “Property”)
Our File No.: 100-111-109

Dear Members of the Village Planning Board

Our office represents Bolla in connection with the Property. As you may be aware, on February 28, 2023 this Board granted Bolla’s Site Plan Application to remove the existing canopy over existing dispensers, install a 49’ x 42’ canopy over four new fueling dispensers and to convert the existing 2,365 sf service station building to a 2,040 sf convenience store with a 473 sf drive-thru and associated site improvements (the “2023 Site Plan Approval”).

Bolla makes this request to amend the 2023 Site Plan Approval to convert the existing service station building (2,365 sf) into a convenience store. A drive-thru is no longer proposed. In furtherance thereof, enclosed are twelve (12) sets of the following Application submission documents:

1. Blue Application Form (one original included) executed by Freeport Realty and Bolla;
2. Certificate of Authorization from Freeport Realty (one original included);
3. Certificate of Authorization from Bolla (one original included);
4. Conflict of Interest Disclosure from Freeport Realty (one original included);
5. Conflict of Interest Disclosure from Bolla (one original included);
6. February 12, 2024 Amended Site Plan Letter issued by the Village Building Department;
7. February 12, 2024 Recommendation of SEQRA Negative Declaration issued by the Village Building Department;
8. January 16, 2024 to February 13, 2024 e-mail correspondence between the Applicant’s representatives and the Village Building Department that includes the following:
 - a. A description by the Applicant of the proposed revisions to the 2023 Site Plan Application; and
 - b. Confirmation from the Village Building Department that the instant Application does not require variance relief from the Zoning Board of Appeals.

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VILLAGE OF FREEPORT NY
PLANNING BOARD



BROWN
ALTMAN &
DILEO, LLP

9. March 21, 2024 Short Environmental Assessment Form, prepared by project engineer, Chris Tartaglia, P.E. of High Point Engineering (“HPE”);
10. July 20, 2023 Village Zoning Board of Appeals Resolution of Approval (Building Department Application # 20233252 and 20201583) granting area and sign variance relief;
11. February 28, 2023 Planning Board Site Plan Approval;
12. Site Plan Rendering (R-1), prepared by HPE, dated April 15, 2021, last revised December 28, 2023 (Rev. 1);
13. Site Plan (SP-2), prepared by HPE, dated March 10, 2020, last revised December 28, 2023 (Rev. 9);
14. Survey, prepared by Gallas Surveying Group, dated May 7, 2019;
15. Elevations (A-2.0), prepared by HPE, dated January 25, 2023, last revised March 18, 2024 (Rev. I), which shows all four sides of the building;
16. Color Building Elevations Rendering (R-2), prepared by HPE, last revised December 28, 2023 (Rev. 3);
17. Canopy & Freestanding ID / Price Sign Elevations Rendering (CA-1), prepared by HPE, dated March 19, 2020, last revised March 21, 2024 (Rev. 2);
18. Landscape Plan (SP-7), prepared by HPE, dated March 10, 2020, last revised December 28, 2023 (Rev. 9);
19. Floor Plan (A-1.0), prepared by HPE, dated January 5, 2023, last revised March 18, 2024 (Rev. I);
20. Four (4) color photographs of the Property;
21. Four (4) color photographs of surrounding properties; and
22. Check no. 57846 in the amount of \$350.00 payable to the “Village of Freeport” for the Application filing fee. \$325.00

We ask that the Application be placed on the next available Planning Board public hearing agenda. Please contact the undersigned if you have any comments or questions regarding this submission. Thank you for your time and attention to this matter.

Very truly yours,

BROWN ALTMAN & DILEO, LLP

By: 
David N. Altman, Esq.

Encl.

cc: Bolla EM Realty, LLC (attn: Harvinder Singh, Managing Member)
High Point Engineering (attn: Chris Tartaglia, P.E. & Nick Buscemi, EIT)

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CLERK'S OFFICE

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CERTIFICATE OF AUTHORIZATION

The undersigned, Adnan Kiriscioglu, certifies that he is a Manager of Freeport Realty, LLC, and further certifies as follows:

Adnan Kiriscioglu is and has been a duly authorized Manager of Freeport Realty, LLC, with authority to execute and deliver agreements binding Freeport Realty, LLC; and to perform such acts as may be legally, properly and reasonably required or necessary relating to the proposed redevelopment of the property located at 131 West Merrick Road, Freeport, New York; NCTM No. 62-108-23.

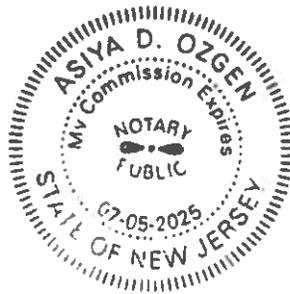
IN WITNESS WHEREOF, the undersigned has executed this Certificate of Authorization this 19th day of April, 2023.

FREEPORT REALTY, LLC

By: 
Name: Adnan Kiriscioglu
Title: Manager

Sworn to me before this the 19th day of April, 2023


Notary Public



VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

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CERTIFICATE OF AUTHORIZATION

The undersigned, Harvinder Singh, certifies that he is a Member of Bolla EM Realty, LLC, and further certifies as follows:

Harvinder Singh is and has been a duly authorized Member of Bolla EM Realty, LLC, with authority to execute and deliver agreements binding Bolla EM Realty, LLC; and to perform such acts as may be legally, properly and reasonably required or necessary relating to the proposed redevelopment of the property located at 131 West Merrick Road, Freeport, New York; NCTM No. 62-108-23.

IN WITNESS WHEREOF, the undersigned has executed this Certificate of Authorization this 24th day of April, 2023.

BOLLA EM REALTY, LLC

By: Harvinder Singh
Name: Harvinder Singh
Title: Member

Sworn to me before this the 24th day of April 2023

Crystal Cerdas
Notary Public

Crystal Cerdas
Notary Public, State of New York
Registration No. 01CE0003873
Qualified in Nassau County
Commission Expires March 27, 2027

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

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**Notice
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

FREEPORT REALTY, LLC

Date April 19, 2023.
Year

By: 
Name: Adnan Kiriscioglu
Title: Manager

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

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**Notice
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

BOLLA EM REALTY, LLC

2/6/24
(Date)

By: Harvinder Singh
Name: Harvinder Singh
Title: Member

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

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**INCORPORATED VILLAGE OF FREEPORT
ZONING BOARD OF APPEALS DECISION**

DATE: July 20, 2023

APPROVAL

Building Department Permit Application #20233252 and 20201583

Chairman, regarding Application #2023-10 and 2023-11 for the premises located at 131 W Merrick Road, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-212, 210-325, and 210-86A seeking approval for the installation of 4 ground signs and to remove existing canopy over existing dispensers and install 49' by 42' canopy over 4 new dispensers, convert existing service station building to convenience store with drive thru and associated site improvements.

I, Anthony Mineo, move that this Board make the following findings of fact:

A public hearing was held on June 15, 2023 wherein applicant was represented by attorney Matthew Ingber, Nick Buscemi, project engineer, and Aaron Roberts, project engineer. They are before the zoning board on behalf of Bolla to redevelop the gasoline fueling station and develop the Bolla Market with a Tim Horton's drive-thru at the property. The site plan that is before the Zoning Board was previously approved by site plan on February 28, 2023. The property has been a gasoline fueling station since 1958, in a neighborhood with commercial and office uses.

The gas station currently has 6 fueling positions and a canopy that is 11.9 feet from Merrick Road and a 2,365 square foot 3-bay auto service facility. The proposal will allow for 8 fueling positions with a canopy that runs parallel to Merrick Road, with a 2,040 square foot Bolla Market with a Tim Horton's drive-thru with two lanes. The project was first proposed as a single lane drive-thru, but Nassau County Public Works recommended a change to a drive-thru with two ordering lanes. Nassau County also changed the fueling canopy to a north-south configuration that violates the front yard setback. This change allows for vehicles to not block the entrance on Merrick Road. In order to do this however, they had to remove one parking space, so they have 6 spaces, instead of the 7 that are required. However, with 8 fueling positions, people getting gas will often stay parked at a fueling position while they run in to grab an item from the store, such that the expected parking demand will be met.

Regarding the signs, the site has a pylon sign that will be in the northwest corner of the site, as well as three directional signs for drive-thru use. When looking at the size of the signs, given that the ground sign proposed was 184.95 square feet, the Board asked if it could be made smaller. Mr. Ingber said yes, and Mr. Buscemi presented an alternative sign, which was marked as Applicant Exhibit A. The original sign was an eight foot system, which means the shell design is 8 feet by 8 feet alone. He proposed a six foot system where the main shell design is about 6 feet by 6 feet. This design removes a panel, and reduces the Tim Horton logo. They also increased the clearance beneath the sign to allow 7 feet underneath for motorist to be able to see. The overall sign size was

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reduced by about 75 square feet. The ground sign is non-conforming as to height and size.

Regarding the variances required for front yard setback parking, and signs:

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
 - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance;
 - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance;
 - c. that the requested area variance is insubstantial;
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district. To the contrary, the design of the site was created specifically in conjunction with input from Nassau County so as to minimize any disruption to the surrounding neighborhood.
 - e. that the alleged difficulty was not self-created. The original site plan did not require parking and front yard setback variances, but Nassau County required changes to make the site flow more functional.

I further move that this application be granted subject to the following conditions:

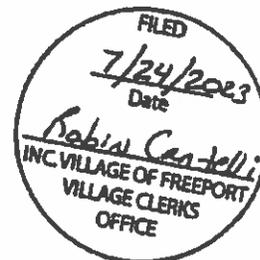
1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department.
3. This application for variance(s) is being granted on the basis of the specific use proposed. If anything in this application is to change, the applicant must return to the Board for further review.
4. Applicant must use the signage as proposed in applicant exhibit A, the six foot system, as opposed to the eight foot system originally proposed, labeled SN-1, Freestanding ID sign Alt 1A.

Second by: Jennifer Carey

The Clerk polled the Board:

Deputy Carey
Member Mineo
Member Hawkins
Chairperson Rhoden

In Favor
In Favor
In Favor
In Favor



VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

2024 APR - 1 P 1:36

RECEIVED

Matthew J. Ingber

From: Matthew J. Ingber
Sent: Tuesday, February 13, 2024 12:58 PM
To: 'Sergio A Mauras'; Nick Buscemi
Cc: Chris Tartaglia; David N. Altman; Andrew Stuart
Subject: RE: (External E-mail)RE: 131 West Merrick Road, Freeport - (HPE Job #SING18-08)

Thanks, Sergio. Appreciate your assistance.

Sincerely,

Matthew J. Ingber, Esq.
Brown Altman & DiLeo, LLP
538 Broadhollow Road, Suite 301
Melville, NY 11747
(516)222-0222 office
(516)222-0322 facsimile
mingber@brownaltman.com




From: Sergio A Mauras <smauras@freeportny.gov>
Sent: Tuesday, February 13, 2024 12:57 PM
To: Nick Buscemi <NBuscemi@hpeng.com>
Cc: Chris Tartaglia <ctartaglia@hpeng.com>; David N. Altman <daltman@brownaltman.com>; Matthew J. Ingber <mingber@brownaltman.com>; Andrew Stuart <astuart@hpeng.com>
Subject: RE: (External E-mail)RE: 131 West Merrick Road, Freeport - (HPE Job #SING18-08)

CAUTION: This email originated from outside of Brown Altman & DiLeo, LLP. Do not click links or open unexpected attachments unless you recognize the sender and know the content is safe.

Good afternoon.

After further discussion, please disregard. A refiling to the ZBA will not be required.

Sergio A Mauras CEO-CFM
Superintendent of Buildings
Inc. Village of Freeport
Freeport Building Department
516-377-2241
516-377-2242

CLEKRS OFFICE
VILLAGE OF FREEPORT, NY

2024 APR -1 P 1:36

RECEIVED

From: Sergio A Mauras
Sent: Tuesday, February 13, 2024 12:27 PM
To: Nick Buscemi <NBuscemi@hpeng.com>
Cc: Chris Tartaglia <ctartaglia@hpeng.com>; David N. Altman <daltman@brownaltman.com>; Matthew J. Ingber <mingber@brownaltman.com>; Andrew Stuart <astuart@hpeng.com>
Subject: RE: (External E-mail)RE: 131 West Merrick Road, Freeport - (HPE Job #SING18-08)

Good afternoon.

I have been advised that based upon the initial Zoning Decision, you will have to reapply to the zoning board. We will prepare the denial letter shortly.

Sergio A Mauras CEO-CFM
Superintendent of Buildings
Inc. Village of Freeport
Freeport Building Department
516-377-2241
516-377-2242

From: Nick Buscemi <NBuscemi@hpeng.com>
Sent: Tuesday, January 23, 2024 9:14 AM
To: Sergio A Mauras <smauras@freeportny.gov>
Cc: Chris Tartaglia <ctartaglia@hpeng.com>; David N. Altman <daltman@brownaltman.com>; Matthew J. Ingber <mingber@brownaltman.com>; Andrew Stuart <astuart@hpeng.com>
Subject: (External E-mail)RE: 131 West Merrick Road, Freeport - (HPE Job #SING18-08)

Good morning Sergio,

Following up on the below. I have reattached the documents here for your convenience.

Thank you,

Nicholas Buscemi, EIT
High Point Engineering
1860 Walt Whitman Road, Suite 600
Melville, NY 11747
P: 516-777-4320
F: 516-777-4321
Email: nbuscemi@hpeng.com

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY
2024 JAN 23 11:36 AM

The information contained in this communication is confidential and privileged proprietary information intended only for the individual(s) or entity to whom it is addressed. Any unauthorized use, distribution, copying, or disclosure of this communication is prohibited. All attached materials in the nature of computer aided design drafting (AutoCAD), photographs, or other electronic media are instruments of High Point Engineering for use solely with respect to the subject project. High Point Engineering shall be deemed the author of these documents and shall retain all common law,

statutory, and other reserved rights including copyright thereto. If you have received this communication in error, please contact the sender immediately at (516) 777 4320.

From: Nick Buscemi

Sent: Tuesday, January 16, 2024 5:18 PM

To: smauras@freeportny.gov

Cc: Chris Tartaglia <ctartaglia@hpeng.com>; David N. Altman <daltman@brownaltman.com>; Matthew J. Ingber <mingber@brownaltman.com>; Andrew Stuart <astuart@hpeng.com>

Subject: 131 West Merrick Road, Freeport - (HPE Job #SING18-08)

Good Evening Sergio,

I am reaching out regarding the Bolla Application located at 131 West Merrick Road, Freeport (BP App # 20201583). Our office along with Brown Altman & Dileo secured approvals on behalf of Bolla EM Realty from the Village Board and the BZA on 3/2/23 and 6/16/23, respectively. Since that time, the scope of the project has been revised. Attached for your use is a copy of the approved plan (PDF labeled "Approved Site Plan") and a copy of the new proposed plan (PDF labeled "Proposed Site Plan") showing the scope changes. Additionally, I have outlined the plan changes below for your ease of reference:

- Removal of the two-lane drive thru queue along the southerly property line.
 - o Removal of all appurtenances associated with the drive thru (i.e., vehicle height bars, digital menu boards, directional signs, pick up window, etc.)
- Removal of the 210 SF expansion on the south side of the building.
 - o Existing 2,365 SF building will be converted to a Bolla Market Convenience store.
- Modification to parking layout (reduction of 1 stall as removal of building expansion does not require as high of a parking demand).
- Area to the south of the building which was to be utilized for the drive thru is to be fenced off and paved, note this is where the dumpster will be as well.

At your earliest convenience, could you kindly review the attached items and advise if updated approvals from the Village Board will need to be sought after, and if so, can this be done administratively or will a new public hearing need to be held.

Thank you for your time,

Nicholas Buscemi, EIT
High Point Engineering
1860 Walt Whitman Road, Suite 600
Melville, NY 11747
P: 516-777-4320
F: 516-777-4321
Email: nbuscemi@hpeng.com

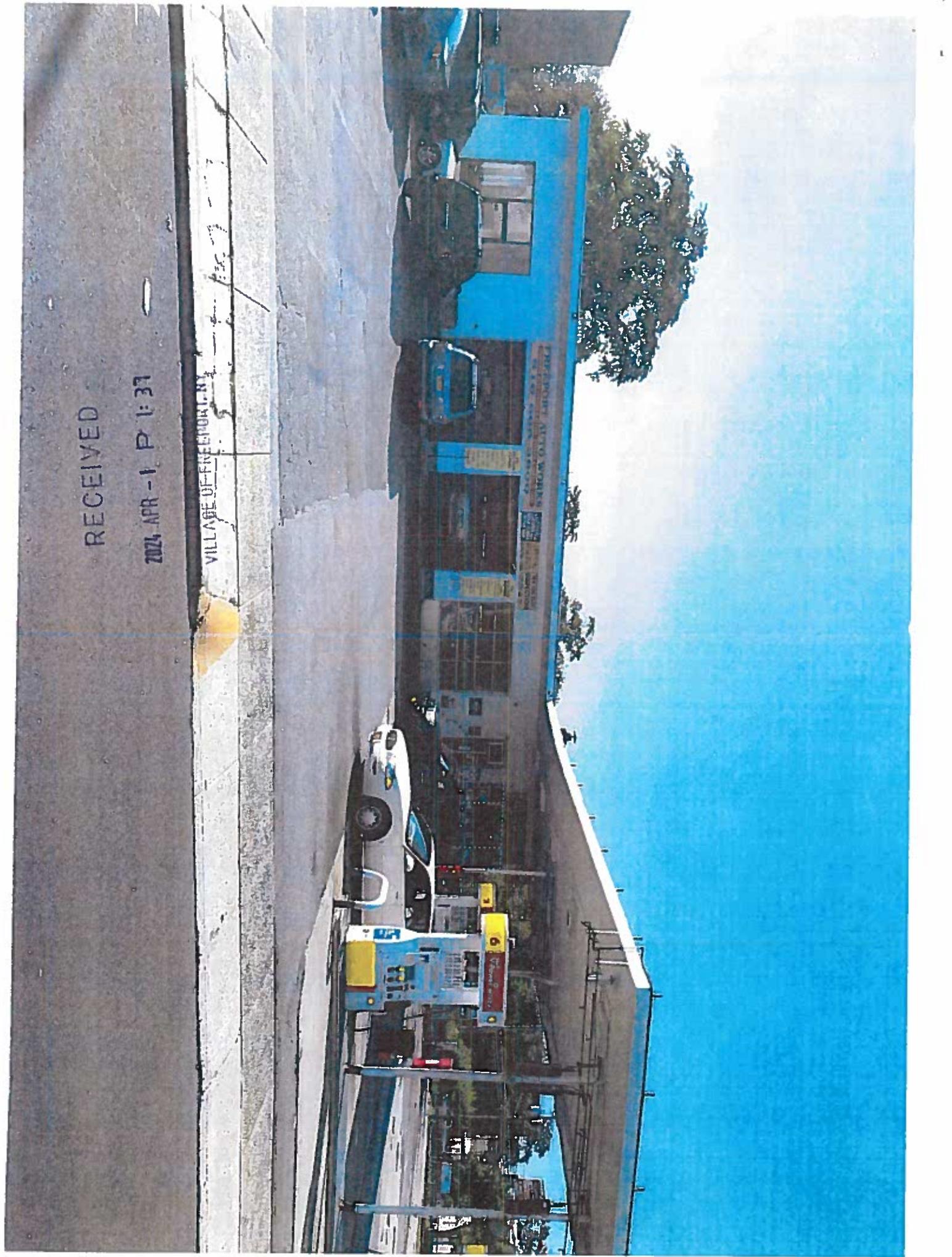
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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

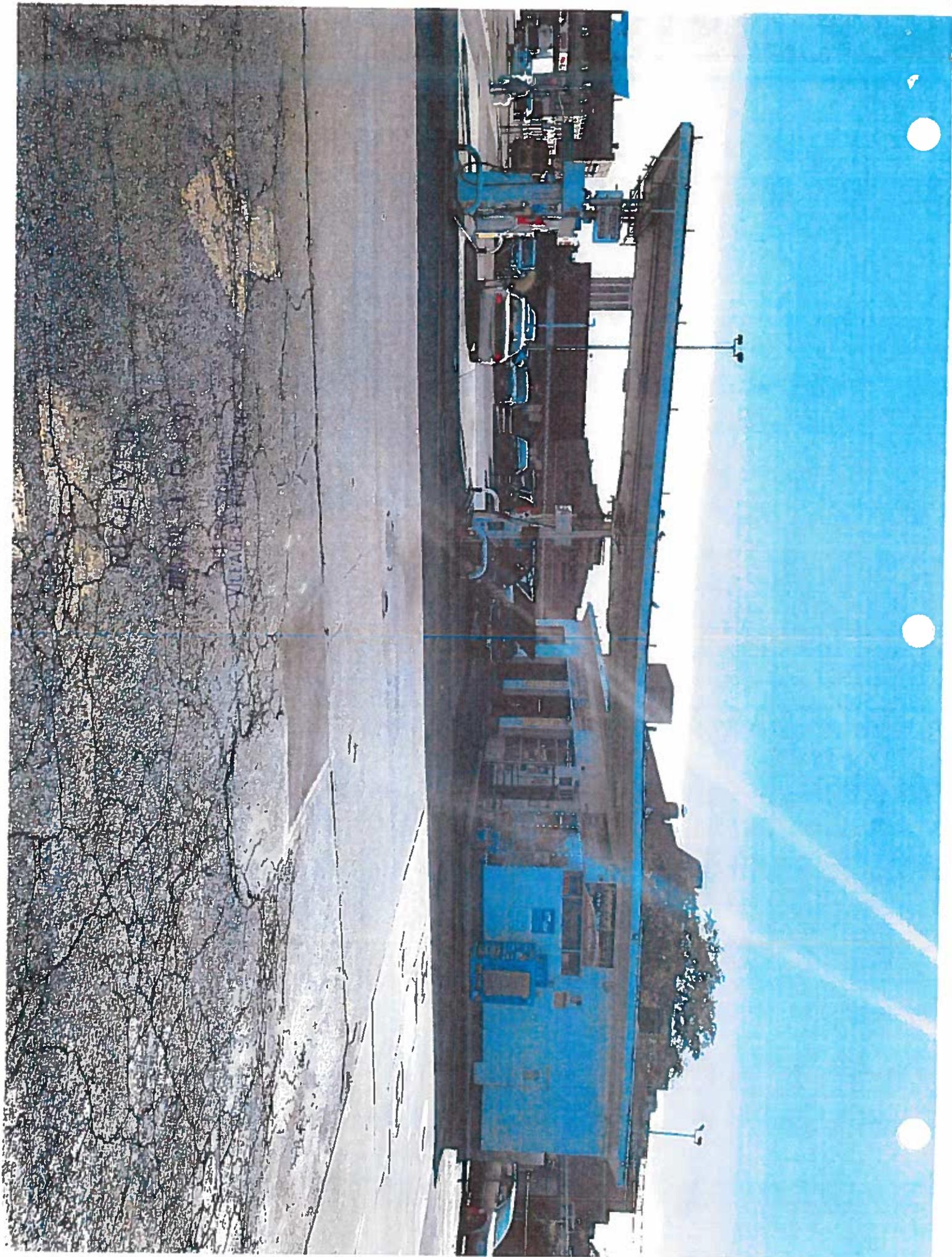
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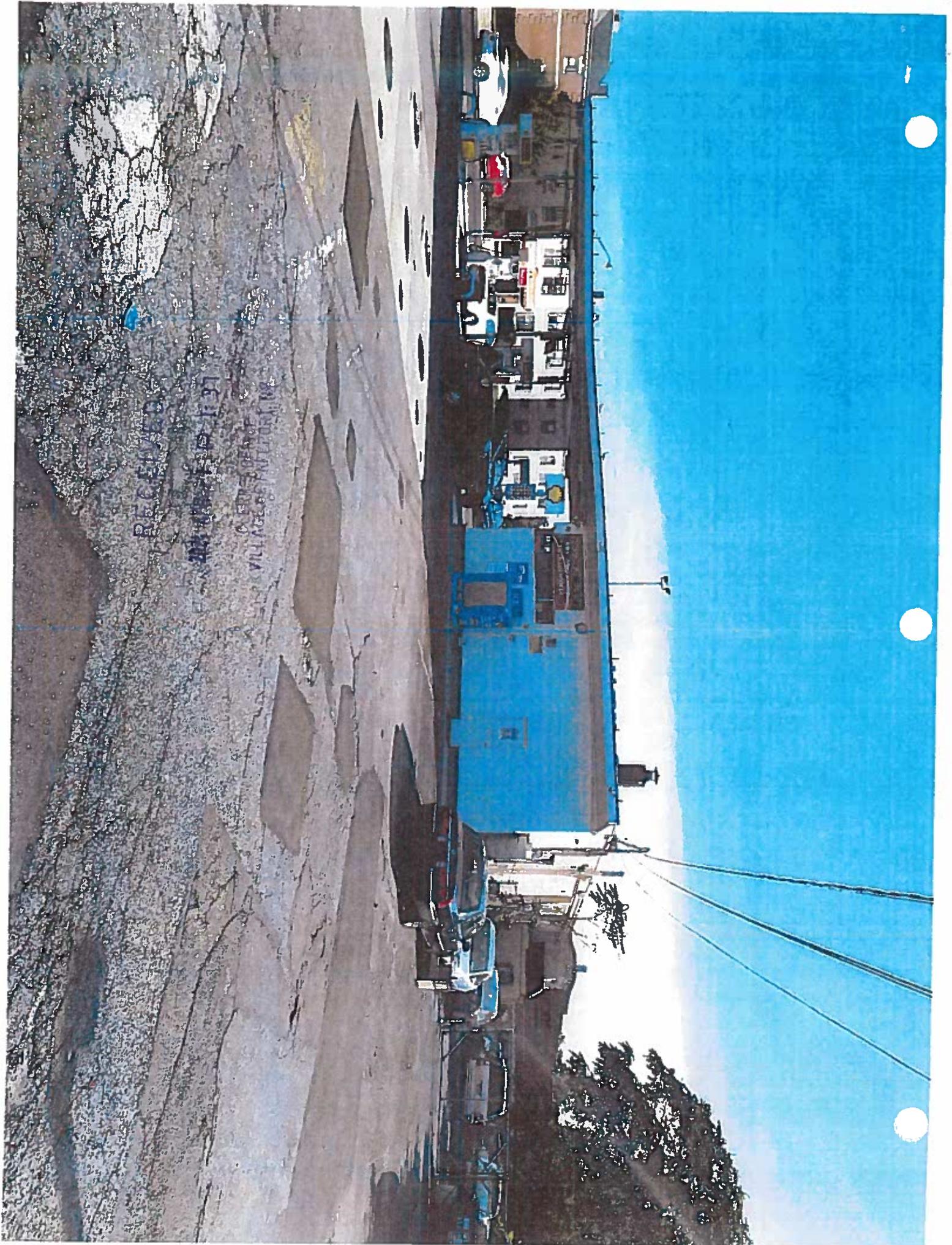
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VILLAGE OF FINEPORT, NY







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2024 APR -1 P 1:31

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VILLAGE OF FREEPORT, NY



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2017 APR - 11 PM EST

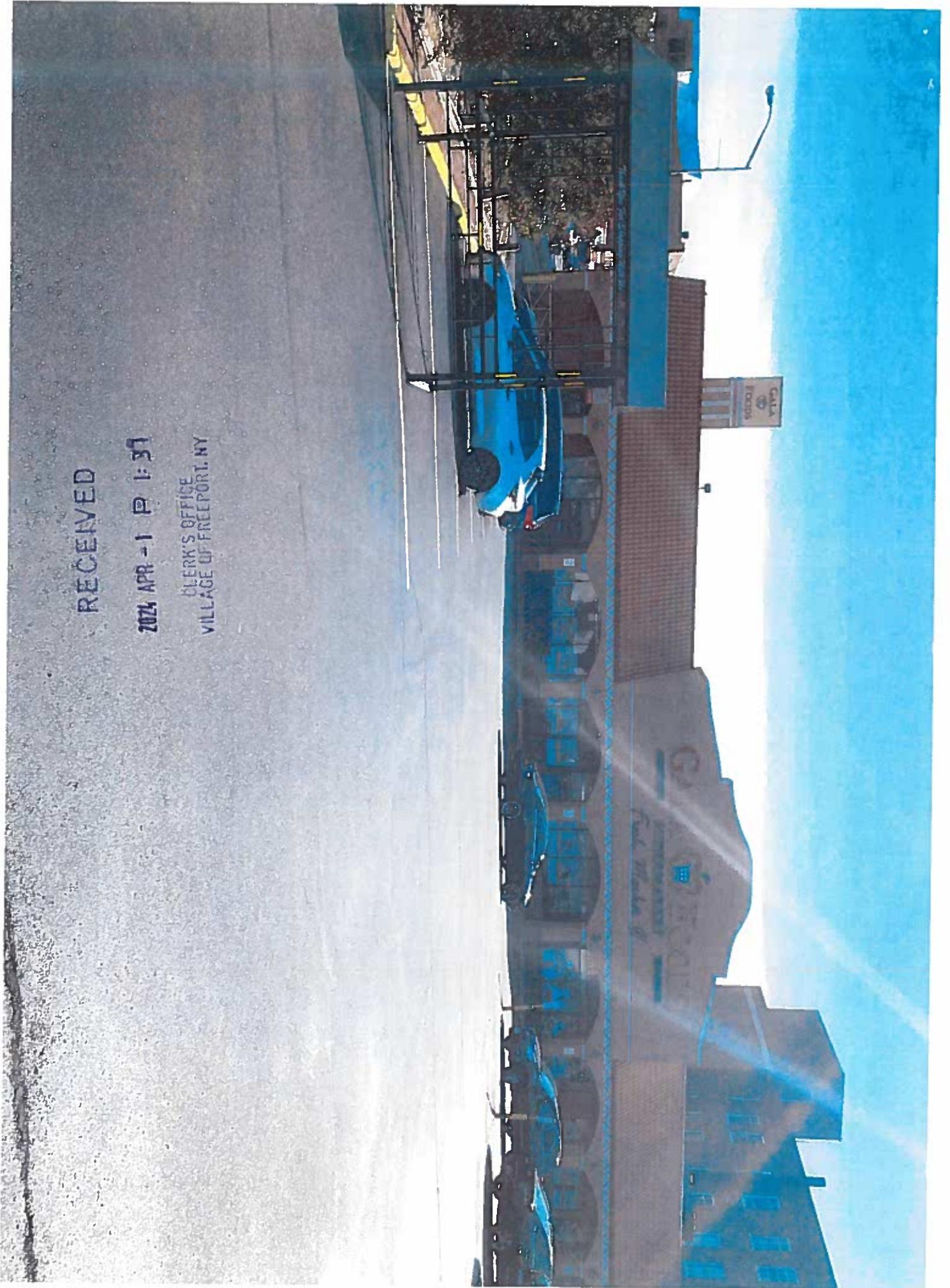
CLERK'S OFFICE
VILLAGE OF ERIEPORT, NY

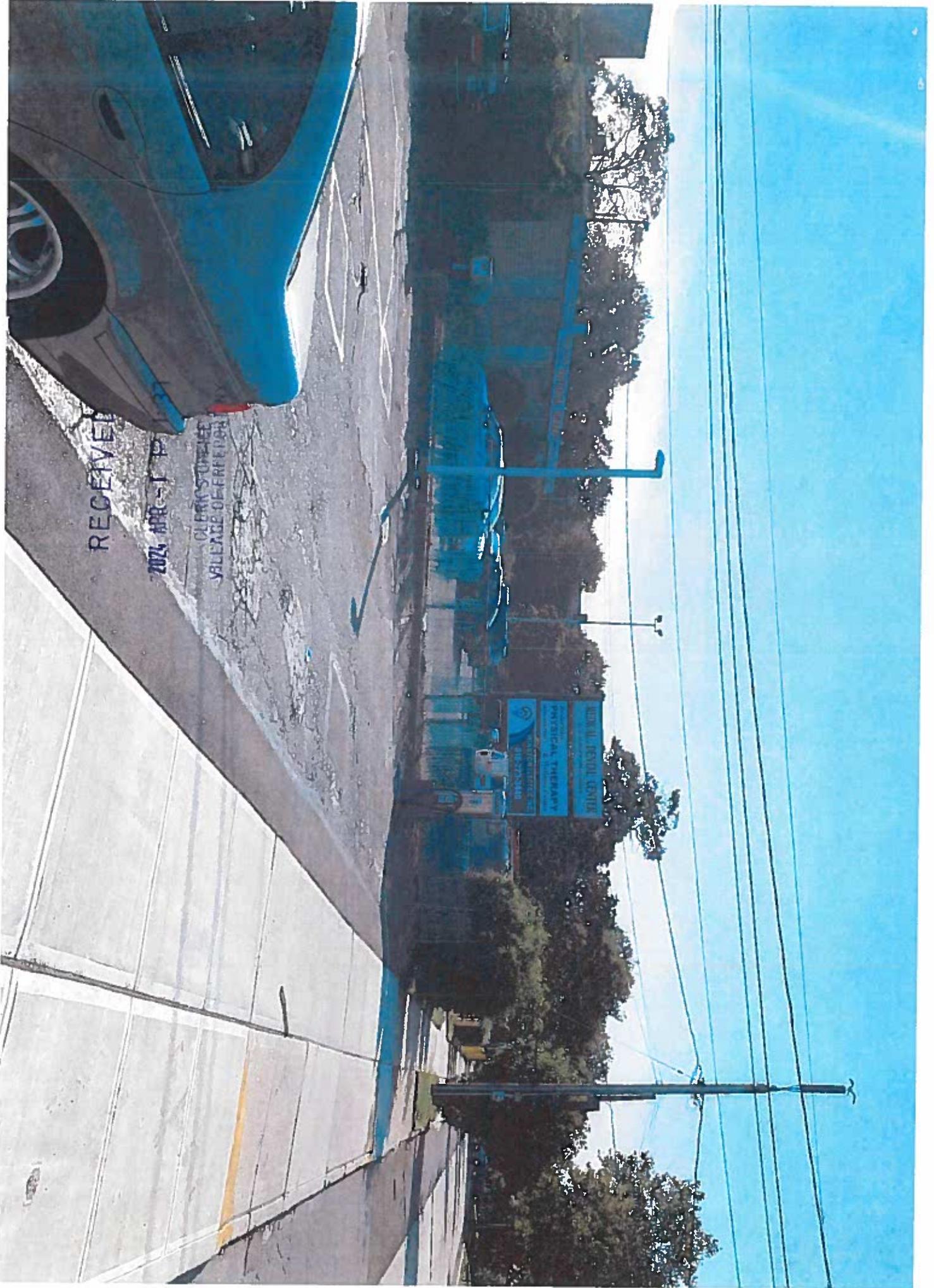


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VILLAGE OF FREEPORT, NY





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2024 APR - 1 P

CLERK STORAGE
VALERIE DE FRETTE

AMERICAN UNIVERSITY
WIND TUNNEL TOWER

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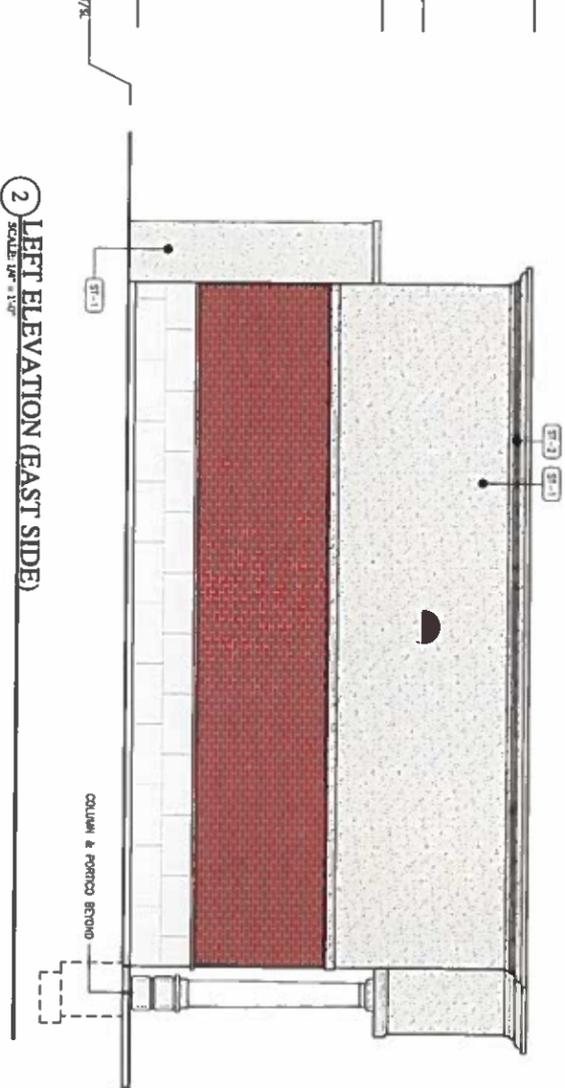
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



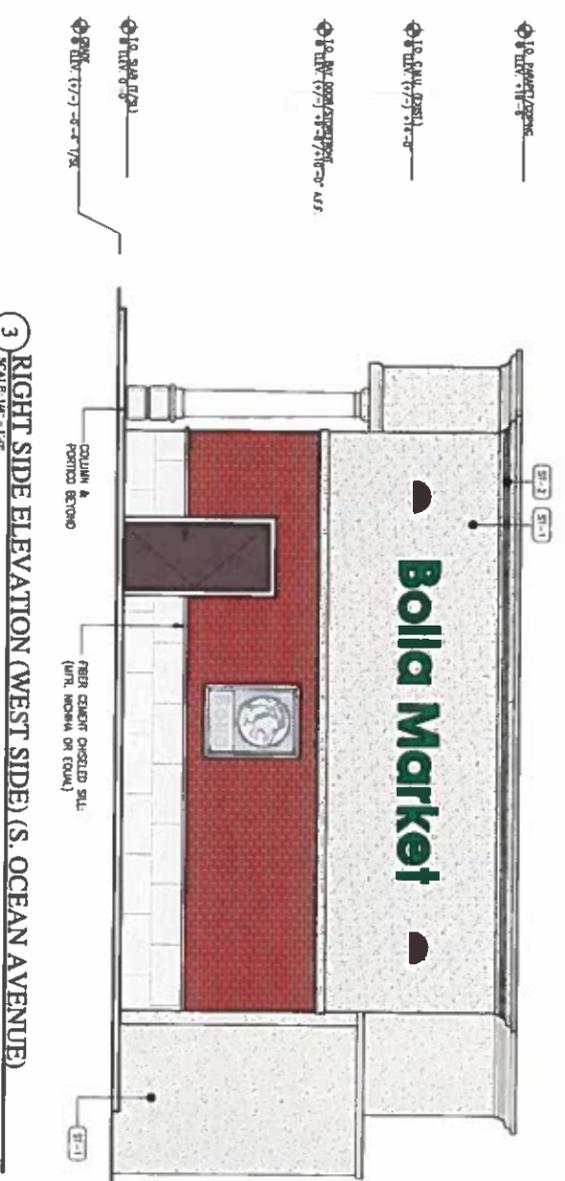


1 FRONT ELEVATION (NORTH) (MERRICK ROAD)
SCALE: 1/4" = 1'-0"

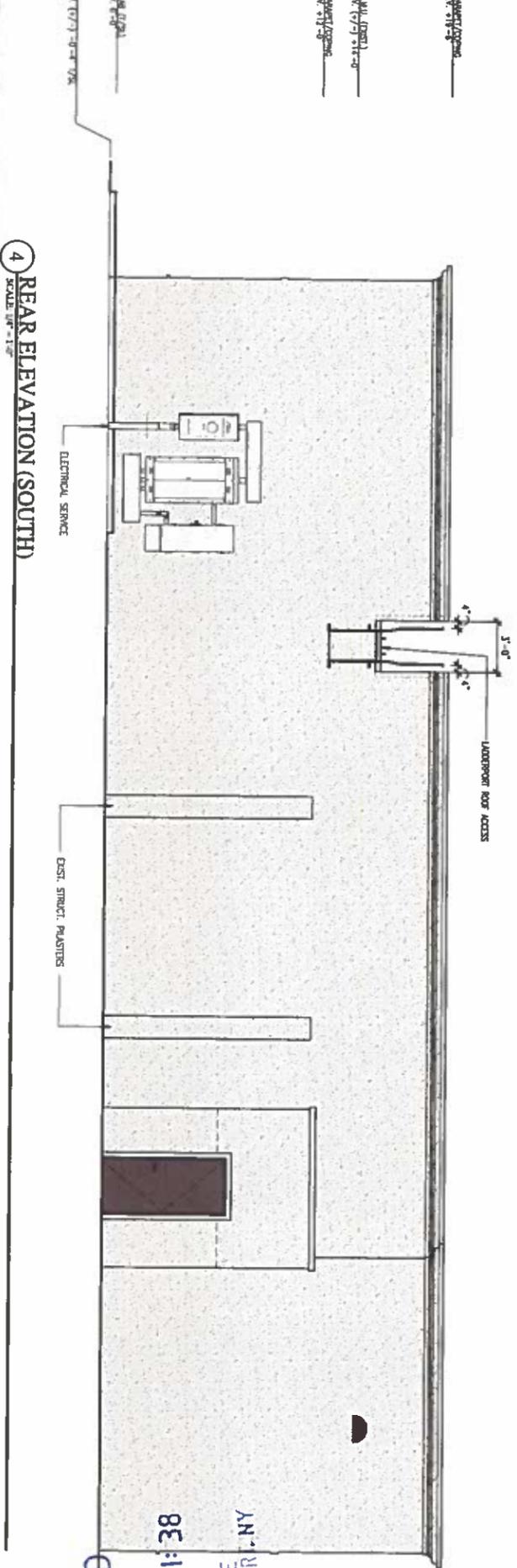
NOTE:
ST-1: INTERIOR INSULATION & LINISH SYSTEM.
ST-2: 2" RIGID FOAM INSULATION (GARBED ATYP. C.A.U.).
EXTENSION WALL. SEE THE OTHER SHEETS A 500.00



2 LEFT ELEVATION (EAST SIDE)
SCALE: 1/4" = 1'-0"



3 RIGHT SIDE ELEVATION (WEST SIDE) (S. OCEAN AVENUE)
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"

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CLERK'S OFFICE
STATE OF NEW YORK



HIGH POINT ENGINEERING
 1860 WALT WHITMAN ROAD
 SUITE 600
 MELVILLE, NY 11747
 (516) 777-1111 FAX (516) 777-4321

CHRISTOPHER M. Brien
 LICENSED PROFESSIONAL ENGINEER
 078206
 STATE OF NEW YORK
 LICENSED PROFESSIONAL ENGINEER

PROFESSIONAL ENGINEER
Age: 38 License No. 078206

REV. NO.	DATE	DESCRIPTION
1	3/17/21	ISSUE SETS
2	4/27/21	FOR ONE REVISION
3	12/16/21	FOR SPREADSHEET PLAN

THE EXISTING USE OF THE SITE OF THE ABOVE PROJECTS AND THE PROPOSED PROJECTS SHALL BE AS SHOWN ON THE PLANS AND SPECIFICATIONS. THE ENGINEER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING CONDITIONS AND HAS NOT CONDUCTED A DETAILED SURVEY OF THE SITE. THE ENGINEER HAS NOT CONDUCTED A DETAILED SURVEY OF THE SITE AND HAS NOT CONDUCTED A DETAILED SURVEY OF THE SITE. THE ENGINEER HAS NOT CONDUCTED A DETAILED SURVEY OF THE SITE AND HAS NOT CONDUCTED A DETAILED SURVEY OF THE SITE.



202 ADDRESS
 PROPOSED BOLLA MARKET
 W/ THE ROBERTSON DRIVE-THRU
 & SHELL FILLING STATION
 131 WEST MERRICK ROAD
 INC. VILLAGE OF FREEPORT
 NASSAU COUNTY, NY
 SECTION: 62
 BLOCK: 106
 LOT: 23
 SCALE: 1/4" = 1'-0" SHEETS: 08
 DATE: 3/17/21
 DRAWN BY: [Name]
 CHECKED BY: [Name]

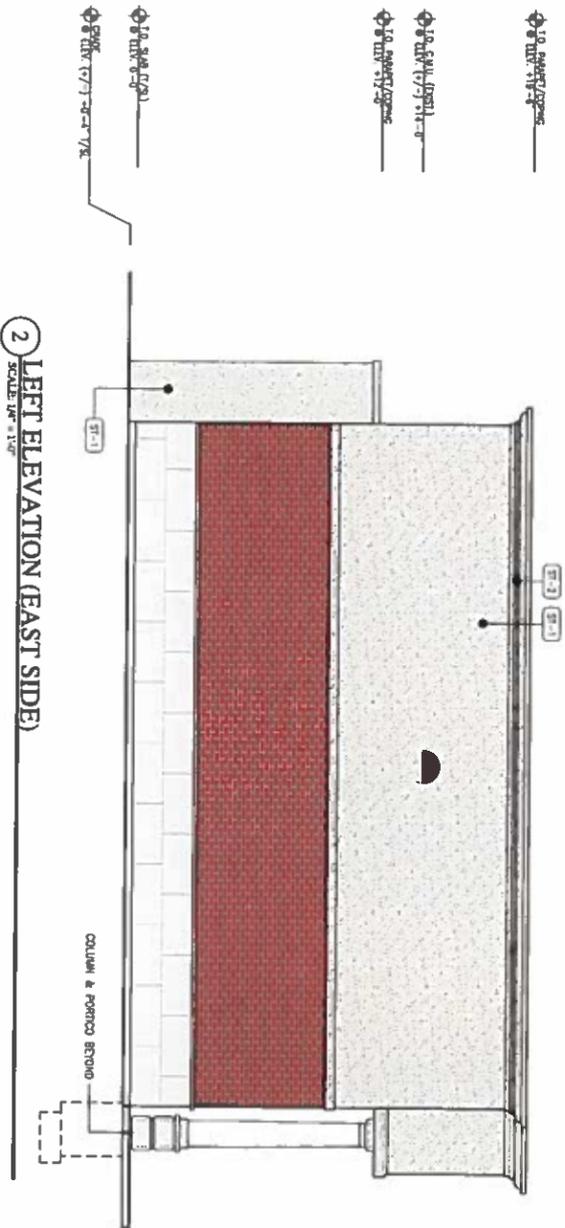
BUILDING ELEVATIONS RENDERING
 R-2
 SHEET NO. 08
 OF 1



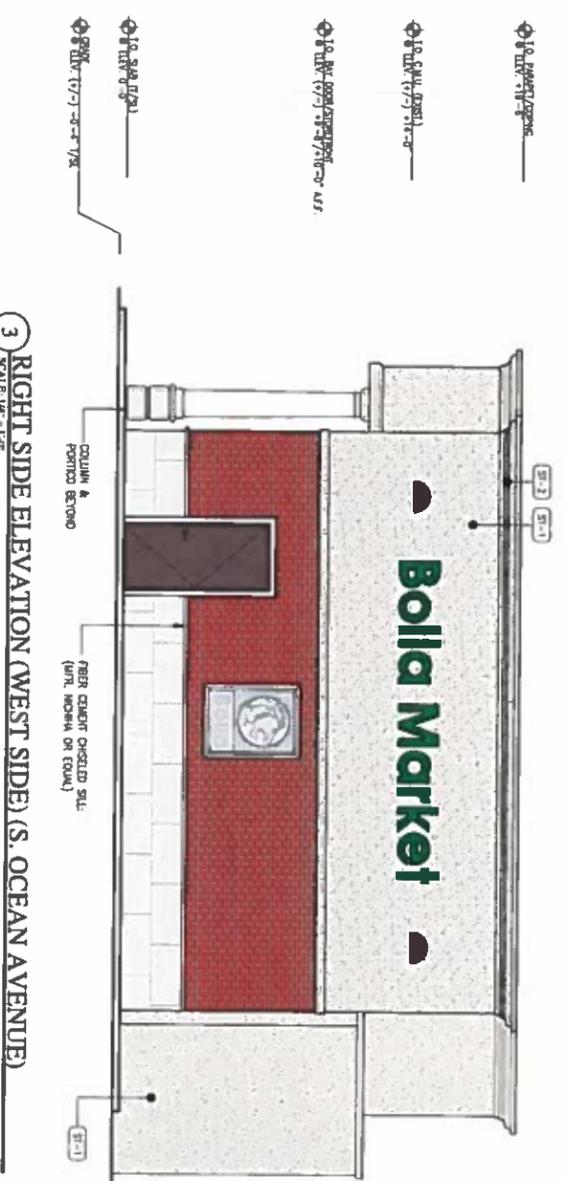
1 FRONT ELEVATION (NORTH) (MERRICK ROAD)
SCALE: 1/4" = 1'-0"

NOTE:
ST-1: INTERIOR INSULATION & LINISH SYSTEM.
ST-2: 2" RIGID FOAM INSULATION (RATED ATYP. C.M.U.) EXTENSION WALL. SEE THE DETAILS SHEET A-500.00

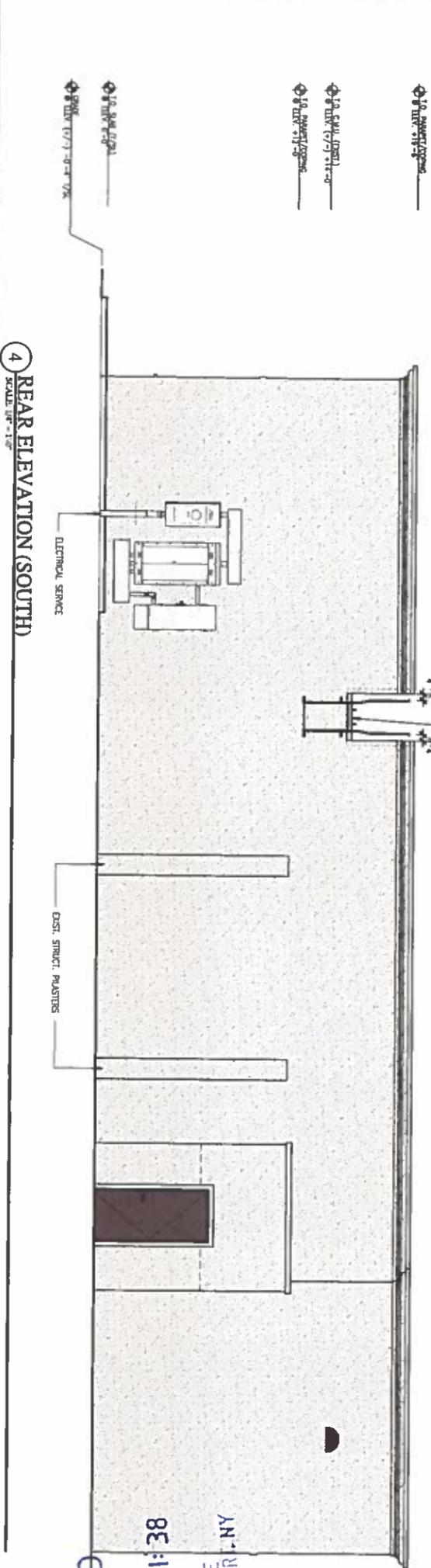
2 LEFT ELEVATION (EAST SIDE)
SCALE: 1/4" = 1'-0"



3 RIGHT SIDE ELEVATION (WEST SIDE) (S. OCEAN AVENUE)
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"



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CITY OF FREEPORT, NY



HIGH POINT ENGINEERING
 1860 WALT WHITMAN ROAD
 SUITE 600
 MELVILLE, NY 11747
 (516) 777-1111 (FAX) 777-4321

CHRISTOPHER M. Brien
 LICENSED PROFESSIONAL ENGINEER
 078206
 STATE OF NEW YORK
 LICENSED PROFESSIONAL ENGINEER

PROFESSIONAL ENGINEER
Age: 38, License No. 078206

REV. NO.	DATE	DESCRIPTION
1	3/17/21	ISSUE SET
2	4/27/21	PER ONE RESPONSE
3	12/16/21	PER SPONSOR REVIEW PLAN

THE EXISTING USE OF THE SITE OF THE ABOVE PROJECTS AND THE PROPOSED PROJECTS SHALL BE AS SHOWN ON THE PLANS AND SPECIFICATIONS. THE ENGINEER HAS CONDUCTED VISUAL SURVEYS AND HAS BEEN ADVISED BY THE OWNER THAT THE SITE IS AS SHOWN ON THE PLANS AND SPECIFICATIONS. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF THE SITE AND HAS NOT BEEN ADVISED BY THE OWNER THAT THE SITE IS AS SHOWN ON THE PLANS AND SPECIFICATIONS. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF THE SITE AND HAS NOT BEEN ADVISED BY THE OWNER THAT THE SITE IS AS SHOWN ON THE PLANS AND SPECIFICATIONS.



202 ADDRESS
 PROPOSED BOLLA MARKET
 W/ THE ROBERTS DRIVE, THRU
 & SHELL FILLING STATION
 INC. VILLAGE OF FREEPORT
 NASSAU COUNTY, NY
 SECTION: 62
 BLOCK: 106
 LOT: 23
 SCALE: 1/4" = 1'-0" SHEET: 108
 DATE: 10/2021 DRAWN BY: C7/M8
 CHECKED BY: C7/M8

BUILDING ELEVATIONS RENDERING
 R-2
 NOV. 3 OF 1

LEGEND

(ALL ITEMS EXISTING TO REMAIN UNLESS OTHERWISE NOTED)

PROPERTY LINE	SOLID MANHOLE COVER
PROPOSED SAWCUT LINE	INLET
PROPOSED PVC FENCE	PROPOSED CURB INLET
CONCRETE CURB	PROPOSED INLET
PROPOSED CONCRETE CURB	PROPOSED MANHOLE COVER
PROPOSED DEPRESSION CONCRETE CURB	STREET LIGHT
TRAFFIC SIGNAL INTERCONNECT	AREA LIGHT
TRAFFIC SIGNAL CONDUIT	PROPOSED PARKING STALL COUNT
OVERHEAD WIRES	PROPOSED AREA LIGHT
PARKING METER	PROPOSED WALL MOUNTED AREA LIGHT
TRAFFIC SIGNAL PULLBOX	PROPOSED CURB RADIUS
WATER VALVE	PROPOSED DIRECTIONAL SIGN
VALVE	
TRAFFIC SIGNAL	
MONITORING WELL	
FIRE HYDRANT	

HATCH LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT IN R.O.W.

KEY MAP

N.T.S.

HIGH POINT ENGINEERING

1860 WALT WHITMAN ROAD
SUITE 600
MELVILLE, NY 11747
(516) 777-4320 FAX: (516) 777-4321

ALL PHASES OF ENGINEERING DESIGN,
SURVEYING, CODE CONSULTING,
ZONING ANALYSIS & BID SPECIFICATION

www.HPEng.com

GENERAL NOTES

- THIS DRAWING REFERENCES:
 - AN ALTA/NSSP LAND TITLE SURVEY PREPARED BY: GALLAS SURVEYING GROUP DATED: 5/7/19
 - ARCHITECTURAL PLANS PREPARED BY: THIS FIRM DATED: TBD
- ZONING/ BULK DATA:
 - ZONING DISTRICT: BUSINESS "B"
 - EXISTING GASOLINE FILLING STATION IS A PROHIBITED (LEGAL/ NON-CONFORMING) USE
 - PROPOSED RETAIL (CONVENIENCE) STORE IS A PERMITTED USE

	CODE SECTION	PERMITTED	PROVIDED
MIN. LOT AREA	N/A	N/A	19,996 SF
MAX. LOT COVERAGE	210-84	100%	20.6% (INCL. CANOPY)
MAX. BUILDING/ STRUCTURE HEIGHT	210-82	35'	19'-6" (BLDG.), 18' (CANOPY)
MIN. FRONT YARD	210-86A	5'	WEST MERRICK ROAD 65.7' (EXIST. BLDG.), 0.9' (PROP. CANOPY), 11.8' (DISPENSER)
MIN. SIDE YARD	210-86.B	N/A	5.9' (BLDG.), 40.5' (CANOPY)
MIN. REAR YARD	210-86.B	N/A	29.4' (BLDG.), 82.9' (CANOPY)
MIN. LANDSCAPE BUFFERS	N/A	N/A	0' (WEST MERRICK ROAD), 5' (OCEAN AVENUE)
MAX. CURB CUT WIDTH	180-30.A (2)	20' @ PROPERTY LINE	33'
MIN. DIST. DRIVEWAY TO ADJ. PROPERTY LINE	180-30.A (1)	3'	3'
MIN. DIST. DRIVEWAY TO CURB RADIUS @ CORNER	180-30.A (1)	5'	12.1'
MIN. DIST. BETWEEN DRIVEWAYS ACCESSING ONE STREET	180-30.A (3)	5'	71.7'
MIN. PARKING STALL SIZE	210-3	9' X 20'	9' X 20'

PARKING/ LOADING REQUIREMENTS:

CODE SECTION	PERMITTED	PROVIDED
210-325	1/7 STALL PER 400 SF + 2 REQUIRED 2,365 SF/ 400 = 6 + 2 = 8 STALLS REQUIRED	8 STALLS PROVIDED (INCL. 1 ADA STALL)
210-324	1 LOADING STALL REQUIRED	1 LOADING STALL PROVIDED (10'X30' NON-DELINEATED)

- INDICATES VARIANCE RELIEF GRANTED BY THE ZBA ON 7/20/23, APPLICATION # 2023-11
- CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES, PIPING, DRILLWELLS & UTILITIES & SHALL NOTIFY ENGINEER OF RECORD OF ANY DEVIATION FROM APPROVED PLAN
- ENGINEER NOT RESPONSIBLE FOR CONTRACTOR'S SEQUENCING, PLANNING OR EXECUTION OF THE WORK DEPICTED ON THESE PLANS.
- TRENCHING/ PAVING SAW-CUT & REPAIR AREAS MUST BE COORDINATED BY CONTRACTOR. CONTRACTOR MUST VERIFY ALL PROPOSED WORK IN FIELD PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO REPLACE ANY PAVEMENT STRIPING/ MARKINGS DAMAGED/ REMOVED DURING CONSTRUCTION.
- ANY BROKEN OR HAZARDOUS SIDEWALK, DRIVEWAY APPROX. OR CURB ADJACENT TO THE SUBJECT SITE SHALL BE REPLACED IN ACCORDANCE WITH CURRENT STANDARDS.
- PROPOSED PAVEMENT, CURBS AND WALKS ARE TO MEET EXISTING FLUSH WITH NO TRIP HAZARD. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL VILLAGE, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES.
- ALL PROPOSED DRILLWELLS AND CATCH BASINS SHALL BE PRECAST WITH PRECAST OPENING FOR DRAINAGE PIPES(S) AND SHALL CONFORM TO MASSACHUSETTS COUNTY STANDARDS.
- ALL GRADES SHALL BE MINIMUM 1% ON CONCRETE, 1-1/2% ON ASPHALT. CONTRACTOR MAY ADJUST GRADES, AS FIELD CONDITIONS DICTATE, ONLY AFTER ENGINEER'S WRITTEN APPROVAL.
- ALL EXISTING DRAINAGE STRUCTURES TO BE CLEANED AFTER CONSTRUCTION IS COMPLETED.
- THE OWNER/ CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR ANY ALL CERTIFICATIONS, INSPECTIONS, ETC. REQUIRED BY ALL GOVERNING JURISDICTIONAL AGENCIES DURING AND AFTER CONSTRUCTION FOR SIGN-OFF AND CERTIFICATION OF OCCUPANCY ISSUANCE, INCLUDING BUT NOT LIMITED TO PROCUREMENT OF SERVICES, SCHEDULING OF FIELD OBSERVATIONS AND COORDINATION WITH REPRESENTATIVES OF THE APPROPRIATE PARTIES.
- ENGINEER OF RECORD NOT RESPONSIBLE FOR PREPARATION, MONITORING OR REVIEW OF CONTRACTOR'S SITE SAFETY PLAN. CONTRACTOR ACKNOWLEDGES THAT COMPLETE RESPONSIBILITY FOR JOB SITE SAFETY LIES WITH HIMSELF AND THOSE PARTIES UNDER HIS DIRECTION.
- ALL WORK WITHIN THE MASSACHUSETTS COUNTY RIGHT OF WAY SHALL CONFORM TO 2009 STANDARD SPECIFICATIONS AND DETAIL SHEETS FOR CIVIL ENGINEERING AND SITE DEVELOPMENT CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE SHEETING/ SHORING WHERE REQUIRED BY OSHA AND/ OR LOCAL BUILDING CODES. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ANY REQUIRED APPROVALS/ INSPECTIONS INCLUDING PREPARATION/ APPROVAL OF ANY REQUIRED PLANS/ APPROVALS/ FEES WITH APPROPRIATE AGENCIES.
- ALL SCENES SHALL BE FILED UNDER SEPARATE APPLICATIONS & ARE SHOWN HERE FOR INFORMATIONAL PURPOSES ONLY.
- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE INSTALLED ACCORDING TO THE 2009 MUTCD AND NYS SUPPLEMENT.
- THE CONTRACTOR IS RESPONSIBLE FOR SECURING FIRE ALARM APPROVALS AND PERMITS. THIS INCLUDES PREPARATION AND SUBMISSION OF PLANS, APPLICATIONS, FEES AND ANY OTHER REQUIRED COORDINATION TO ALL AGENCIES NECESSARY TO PERFORM FIRE ALARM INSTALLATION WITHOUT DELAYING THE CONSTRUCTION PROJECT.
- FIRE EXTINGUISHING SYSTEM SHALL BE INSTALLED OVER ALL DISPENSER ISLANDS IN CONFORMANCE WITH NCFM REQUIREMENTS AND SHALL BE SUBMITTED UNDER SEPARATE APPLICATION TO NCFM FOR APPROVAL.
- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE INSTALLED ACCORDING TO THE 2009 MUTCD AND NYS SUPPLEMENT.
- IT IS THE OWNERS/CONTRACTORS RESPONSIBILITY TO ENSURE ALL REQUIREMENTS STIPULATED WITHIN THE 1920 EXISTING BUILDING CODE OF NYS CHAPTER 15 CODE §1502.1 & THE 2020 BUILDING CODE OF NYS CODE §3307.1 ARE ADHERED TO.

NASSAU COUNTY PAVEMENT MARKING NOTES:

(FOR NASSAU COUNTY ROADS & INTERSECTIONS MAINTAINED BY NASSAU COUNTY)

- PAVEMENT MARKING ABBREVIATIONS SHOWN ON THIS DRAWING ARE AS FOLLOWS:
 - BWLL - BROKEN WHITE LANE LINE, 4" WIDE LINE, WHITE (10' LONG LINE-30' SPACE)
 - DWLL - DOTTED WHITE LANE LINE, 4" WIDE LINE, WHITE (2' LONG LINE-6' SPACE)
 - DYLL - DOTTED YELLOW LANE LINE, 4" WIDE LINE, YELLOW (2' LONG LINE-6' SPACE)
 - FYBL - FULL YELLOW BARRIER LINE, 4" WIDE LINES, YELLOW LINE
 - HVCW - HIGH VISIBILITY CROSSWALK (12" WIDE LINE, 10' BARS AT 4' O.C., UNLESS OTHERWISE SHOWN)
 - PYBL - PARTIAL YELLOW BARRIER LINE, 4" WIDE LINES, YELLOW LINE (10' LONG LINE-30' SPACE-USED FOR CENTER LEFT TURN LANE)
 - SL - STOP LINE (12" UNLESS OTHERWISE SHOWN)
 - SWHL - SOLID WHITE CHANNELIZING HATCH LINE (SEE NOTE 11)
 - SWEL - SOLID WHITE EDGE LINE, 4" WIDE LINE, WHITE
 - SWHL - SOLID WHITE HATCH LINE, 4" WIDE LINES (AT 5' O.C. AT HYDRANTS AND 10' O.C. IN AREAS OF PARKING RESTRICTIONS)
 - SWLL - SOLID WHITE LANE LINE, 4" WIDE LINE, WHITE
 - SYEL - SOLID YELLOW EDGE LINE, 4" WIDE LINE, YELLOW
 - SYHL - SOLID YELLOW HATCH LINE (12" WIDE LINE AT 10' O.C., UNLESS OTHERWISE SHOWN)
 - YL - TRIANGLE PATTERN YIELD LINE
- THE WIDTH AND LAYOUT FOR EACH OF THESE MARKINGS SHALL CONFORM TO THE CURRENT STANDARD DETAILS UNLESS OTHERWISE SHOWN ON THIS DRAWING.
- ALL LONG LINES AND HATCHING TO BE EPOXY MATERIAL, ITEM #442W & 442Y.
- WORD MARKINGS AND CHARACTERS TO BE EPOXY MATERIAL, ITEM #442W-1.
- ALL ARROWS TO BE EPOXY MATERIAL, ITEM #442W-1.
- ALL STOP LINES AND CROSSWALKS TO BE EPOXY MATERIAL, ITEM #442W-1.
- ALL ORBLOCK LINES TO BE EPOXY MATERIAL, ITEM #442W-1.
- ALL REQUIRED 16" BARS TO BE EPOXY MATERIAL, ITEM #442W-1.
- ALL HATCH LINES TO BE PLACED AT A 45 DEGREE ANGLE TO THE ADJACENT TRAVEL LANE.
- PAVEMENT MARKING SYMBOLS SHALL BE DESIGNED IN ACCORDANCE WITH THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE PROVISIONS OF THE NYS SUPPLEMENT TO THE MUTCD.
- PAVEMENT MARKINGS FOR TRAFFIC ISLANDS SHALL BE 8" WIDE SOLID WHITE EDGE LINE AND 12" HATCH LINES AT 10' O.C. (CURRENT STANDARD DETAIL) UNLESS OTHERWISE SHOWN ON DESIGN DRAWING.

CHRIS T. DI NUNNO

PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 078209

LAWRENCE D. O'BRIEN

PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 082537

UNLESS APPROVED BY ALL AGENCIES HAVING JURISDICTION, THESE PLANS ARE NOT TO BE UTILIZED FOR CONSTRUCTION. OWNER/ CONTRACTOR ARE RESPONSIBLE FOR CONFIRMING ALL REQUIRED AGENCY APPROVALS HAVE BEEN SECURED PRIOR TO COMMENCEMENT OF WORK, WHETHER DESCRIBED ON THESE PLANS OR OTHERWISE.

REVISIONS

REV. NO.	DATE	REVISION
1	12/28/23	PER CLIENT COMMENTS

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, WHOSE SUCH ALTERATIONS ARE MADE. THE PROFESSIONAL ENGINEER MUST SIGN AND SEAL, DATE AND DISCLOSE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-2)



PROPOSED BOLLA MARKET W/ TIM HORTONS DRIVE-THRU & SHELL FILLING STATION

131 WEST MERRICK ROAD
INC. VILLAGE OF FREEPORT
NASSAU COUNTY, NY

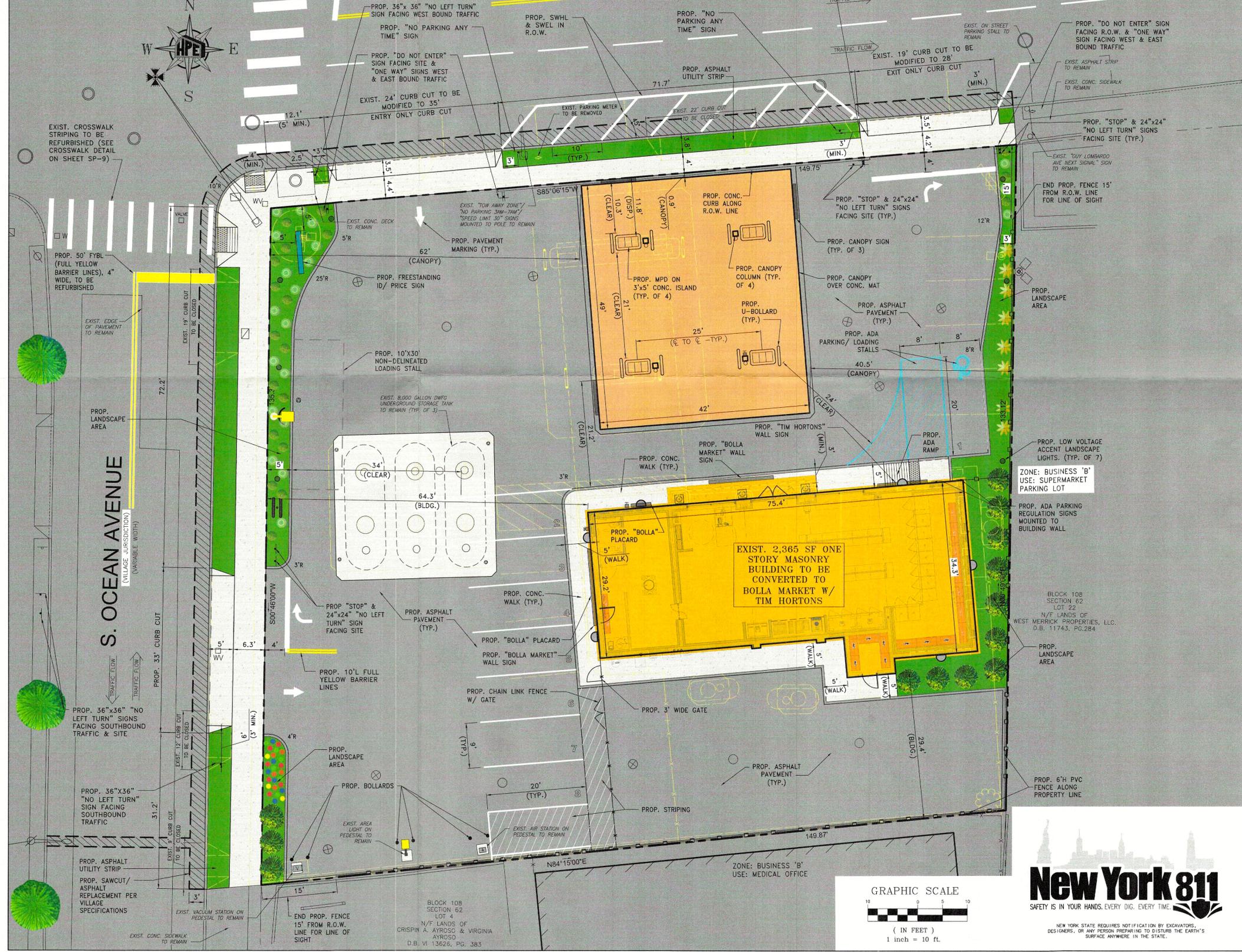
SECTION: 62
BLOCK: 108
LOT: 23

SCALE: 1" = 10'
DATE: 4/15/21
DRAWN BY: GG
CHECKED BY: CT/AB

SITE PLAN RENDERING

SHEET NO. **R-1**

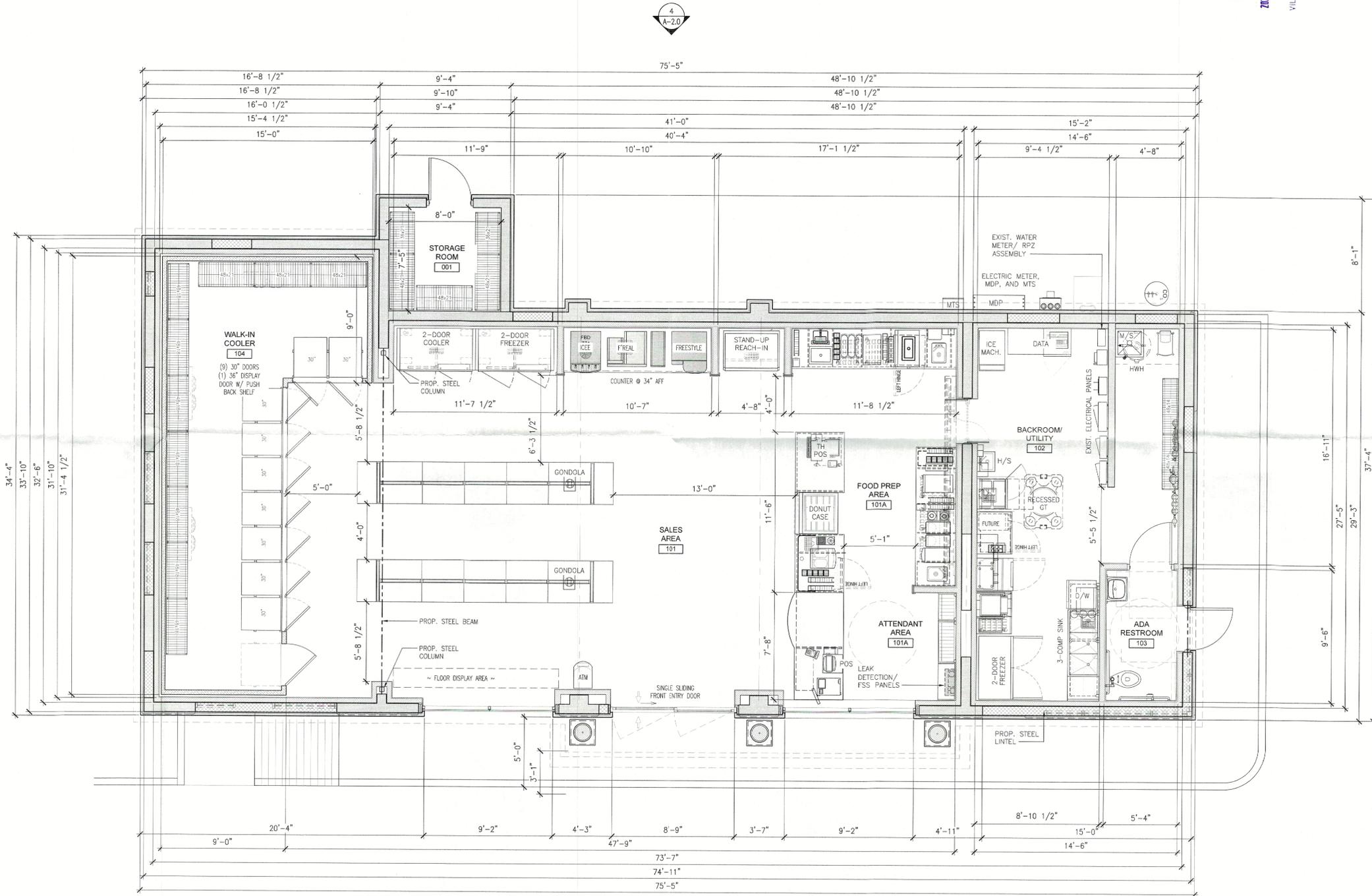
REV. 1 OF 1



New York 811

SAFETY IS IN YOUR HANDS. EVERY DIG. EVERY TIME.

NEW YORK STATE REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

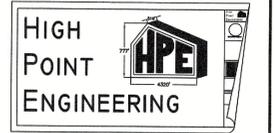


1 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

BUILDING FOOTPRINT: 2,373 S.F.



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CLIENT'S OFFICE
VILLAGE OF FREEPORT, NY



1860 WALT WHITMAN ROAD
SUITE 600
MELVILLE, NY 11747
(516) 777-4320 FAX: (516) 777-4321

ALL PHASES OF ENGINEERING DESIGN,
SURVEYING, CODE CONSULTING,
ZONING ANALYSIS & BID SPECIFICATION
www.HPEng.com

CHRIS M. TARTAGLIA



PROFESSIONAL ENGINEER
NEW YORK LICENSE No. 078209

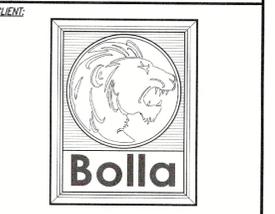
LAWRENCE D. O'BRIEN

PROFESSIONAL ENGINEER
NEW YORK LICENSE No. 082537

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REQUIRED AGENCY APPROVALS HAVE BEEN SECURED PRIOR TO
COMMENCEMENT OF WORK, WHETHER DESCRIBED ON THESE
PLANS OR OTHERWISE.

REVISIONS		
REV. NO.	DATE	REVISION
A	2/19/2020	PER OWNERS COMMENTS (DRIVE THRU)
B	2/20/2020	PER OWNERS COMMENTS (DRIVE THRU)
C	2/27/2020	PER OWNERS COMMENTS/ TIM HORTON
D	3/26/2020	PER TIM HORTON LAYOUT/ COMMENTS
E	4/12/2020	PLAN REVISIONS W /TIM HORTON LAYOUT
F	1/5/2024	PER OWNERS COMMENTS (DRY STORE)
G	1/16/2024	PER OWNERS COMMENTS (TH EXPRESS)
H	3/7/2024	PER OWNERS COMMENTS (TH EXPRESS)
I	3/18/2024	PER OWNERS COMMENTS (TH EXPRESS)

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UNLESS IT IS UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ENGINEER, WHERE SUCH ALTERATIONS ARE
MADE, THE PROFESSIONAL ENGINEER MUST SIGN AND SEAL,
DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION
ON THE DRAWING AND/OR IN THE SPECIFICATIONS.
(NYS EDUCATION LAW SECTION 7209-2)



CLIENT:
**PROPOSED BOLLA MARKET
CONVENIENCE STORE AND
FILLING STATION**
131 WEST MERRICK ROAD
INC. VILLAGE OF FREEPORT,
NASSAU COUNTY, NY

SECTION: 62
BLOCK: 108
LOT: 23
SCALE: AS NOTED HPE #: SING18-08
DATE: 1/5/23 DWG: SING18-08_A-1.0_Floor Plan
DRAWN BY: JUC CHECKED BY: MG/CT

TITLE:
**PROPOSED
FLOOR PLAN**

SHEET NO:
A-1.0



UNLESS APPROVED BY ALL AGENCIES HAVING JURISDICTION, THESE PLANS ARE NOT TO BE UTILIZED FOR CONSTRUCTION. OWNER/ CONTRACTOR ARE RESPONSIBLE FOR CONFIRMING ALL REQUIRED AGENCY APPROVALS HAVE BEEN SECURED PRIOR TO COMMENCEMENT OF WORK, WHETHER DESCRIBED ON THESE PLANS OR OTHERWISE.

REVISIONS

REV. NO.	DATE	REVISION
1	2/17/23	MSC. REVS
2	3/21/24	PER ZBA APPROVAL

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**PROPOSED BOLLA MARKET
W/ TIM HORTONS DRIVE-THRU
& SHELL FILLING STATION**

131 WEST MERRICK ROAD
INC. VILLAGE OF FREEPORT
NASSAU COUNTY, NY

SECTION: 62
BLOCK: 108
LOT: 23

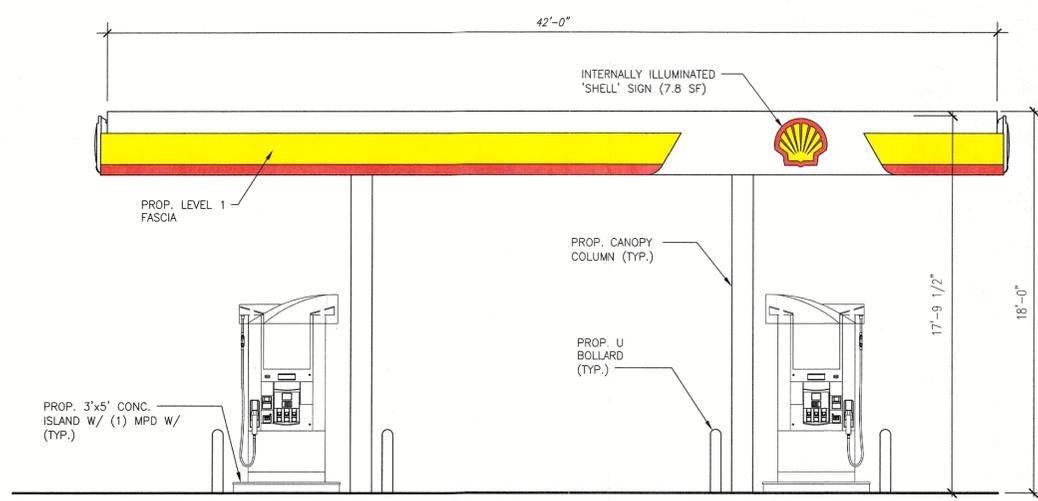
SCALE: 1/4" = 1'-0"	HPE #:	SING18-08
DATE: 3/19/20	DWG #:	SING18-08-CA.2
DRAWN BY: LD/GG	CHECKED BY:	CT/NB

**CANOPY & FREESTANDING
ID/ PRICE SIGN
ELEVATIONS RENDERING**

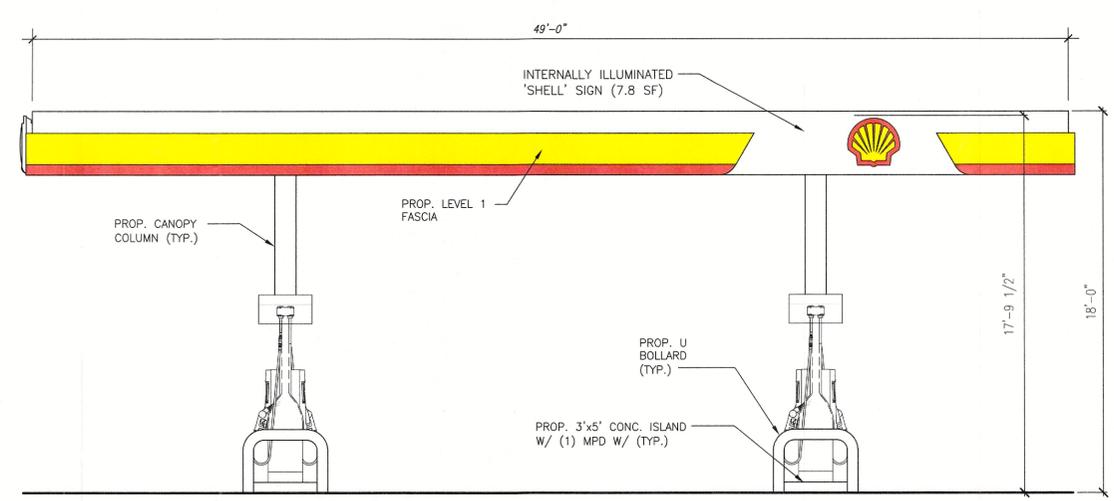
SHEET NO:

CA-1

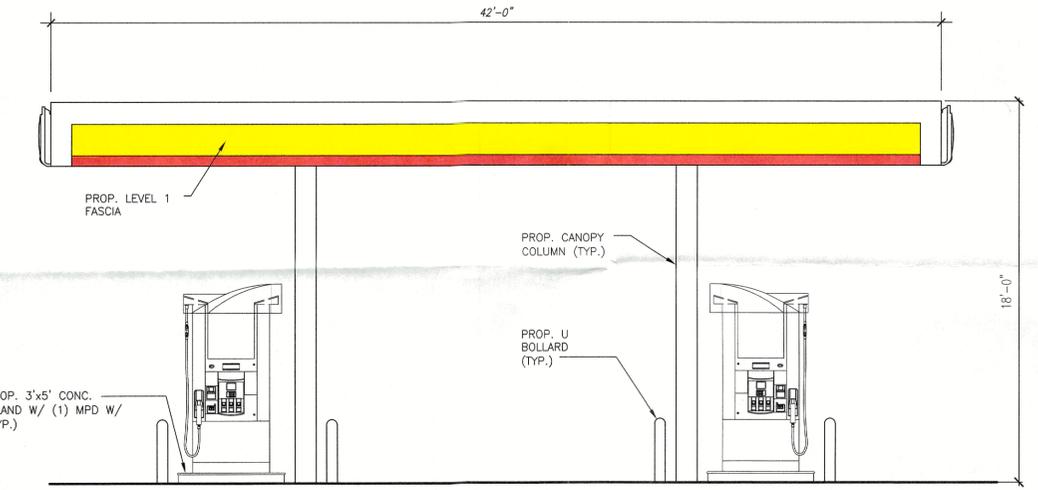
REV. 2 OF 1



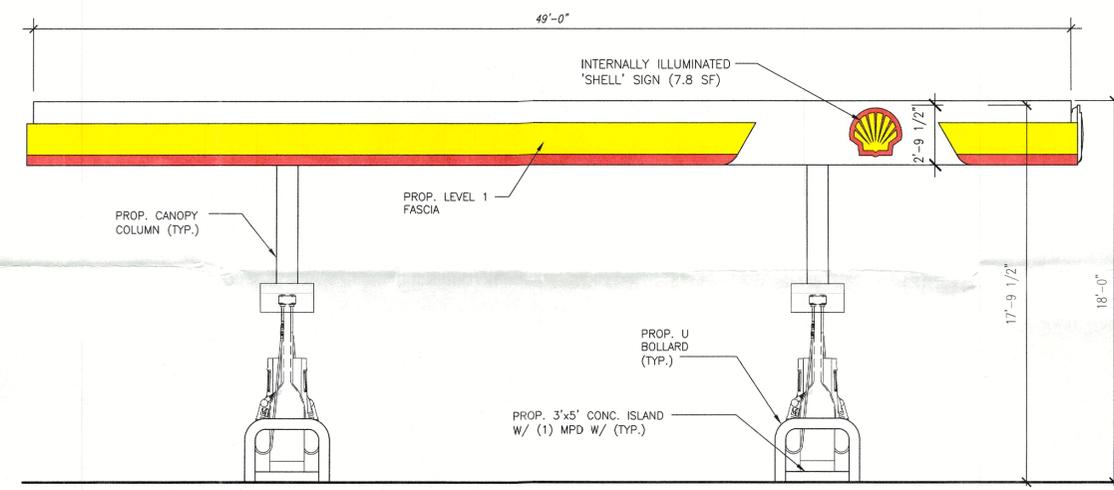
**FRONT (NORTH) ELEVATION
(WEST MERRICK ROAD)**
SCALE: 1/4"=1'-0"



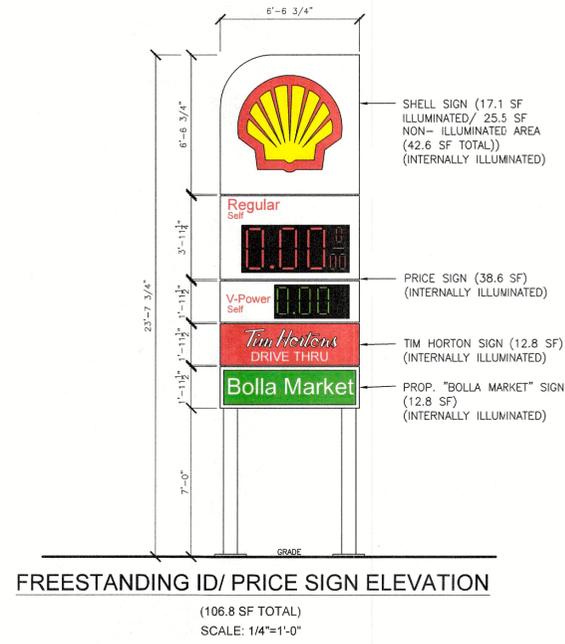
RIGHT (WEST) ELEVATION
SCALE: 1/4"=1'-0"



REAR (SOUTH) ELEVATION
SCALE: 1/4"=1'-0"

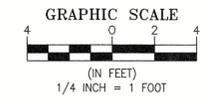


LEFT (EAST) ELEVATION
SCALE: 1/4"=1'-0"



FREESTANDING ID/ PRICE SIGN ELEVATION
(106.8 SF TOTAL)
SCALE: 1/4"=1'-0"

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CLIENTS OFFICE
VILLAGE OF FREEPORT, NY



NOTES:

- PROPERTY KNOWN AND DESIGNATED AS LOT 23, IN BLOCK 108, SECTION 62 ON THE NASSAU COUNTY DEPARTMENT OF ASSESSMENT LAND & TAX MAP, MAP LAST REVISED: OCTOBER 19, 2002.
- AREA: 19,996 S.F. OR 0.4590 ACRE TO CURRENT R.O.W. LINE OF WEST MERRICK ROAD.
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON PRIOR UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
- THIS SURVEY IS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE PREPARED BY ADVANTAGE TITLE AS AGENTS FOR OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. 18-CH-53203, WITH AN EFFECTIVE DATE OF FEBRUARY 1, 2018 COVERING BLOCK 108, LOT 23, SECTION 62 WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, PART II:
 - TERMS, COVENANTS, CONDITIONS AND AGREEMENTS CONTAINED IN A LEASE MADE BY AND BETWEEN FREEPORT REALTY, LLC, LESSOR AND BOLLA EM REALTY, LLC, LESSEE, WHICH SAID LEASE OR A MEMORANDUM THEREOF DATED TBD WAS RECORDED ON TBD. [DOCUMENT NOT PROVIDED, NOT REVIEWED, NOT SHOWN]
 - RESTRICTION SET FORTH IN LIBER 9 PAGE 138, AS REPEATED IN LIBER 302 PAGE 212. [STIPULATES THAT NO BARN OR OUT BUILDING TO BE BUILT WITHIN 100 FEET OF OCEAN AVENUE, NOT PLOTTABLE, NOT SHOWN]
 - MATTERS SET FORTH IN EXHIBIT B ATTACHED TO THE DEED RECORDED IN LIBER 8730 PAGE 817. SAID EXHIBIT B IS MISSING FROM THE COUNTY CLERK'S OFFICE. COMPANY MUST BE PROVIDED WITH A COPY OF SAME. [EXHIBIT A DESCRIBES THE PROPERTY PRIOR TO NASSAU COUNTY ROADWAY TAKING, TAKING SHOWN. EXHIBIT B NOT INCLUDED IN DOCUMENT, NOT REVIEWED, NOT SHOWN]
- ELEVATIONS ARE BASED UPON NASSAU COUNTY DATUM.
- BY GRAPHIC PLOTTING, PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS IDENTIFIED ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NO. 3605902039G, EFFECTIVE DATE SEPTEMBER 11, 2009.
- THE LOCATION AND EXTENTS OF UNDERGROUND TANKS & VAULTS HAVE NOT BEEN DETERMINED BY THE SURVEYOR.
- SANITARY SEWER CONNECTION IS AT SOUTH SIDE OF BUILDING & CONNECTS TO S. OCEAN AVENUE PER INFORMATION BY THE VILLAGE OF FREEPORT. LOCATION IS UNKNOWN.
- PER REFERENCE NO. 4, GAS SERVICE TO BUILDING IS FROM WEST MERRICK ROAD TO FRONT OF BUILDING. LOCATION IS UNKNOWN.

REFERENCES:

- MAP ENTITLED "PROPOSED BOLLA MARKET CONVENIENCE STORE WITH FILLING STATION" PREPARED FOR LOT 23, BLOCK 108, SECTION 62, 131 WEST MERRICK ROAD, VILLAGE OF FREEPORT, NASSAU COUNTY, N.Y., PREPARED BY HIGH POINT ENGINEERING, SHEET NO. CB-1, DATED: 11-15-18.
- SURVEY PREPARED FOR 131 WEST MERRICK ROAD, ENTITLED "MAP OF PROPERTY AT FREEPORT, N.Y.", SURVEYED MAY 27, 1955.
- CONCEPT PLAN "B" PROPOSED BOLLA MARKET CONVENIENCE STORE WITH FILLING STATION, PREPARED BY HIGH POINT ENGINEERING GATED 11-05-2018, SHEET # CB-1.
- GAS PLANS PROVIDED BY NATIONAL GRID, MAP NO 25103
- ELECTRIC LINE MARK UP PROVIDED BY FREEPORT ELECTRIC.

MAP LEGEND

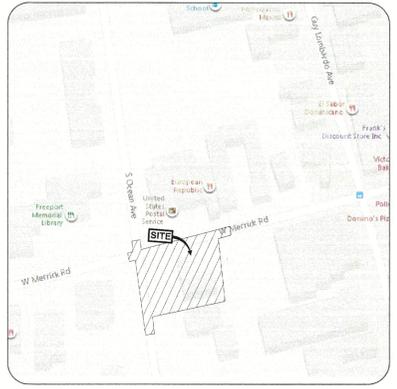
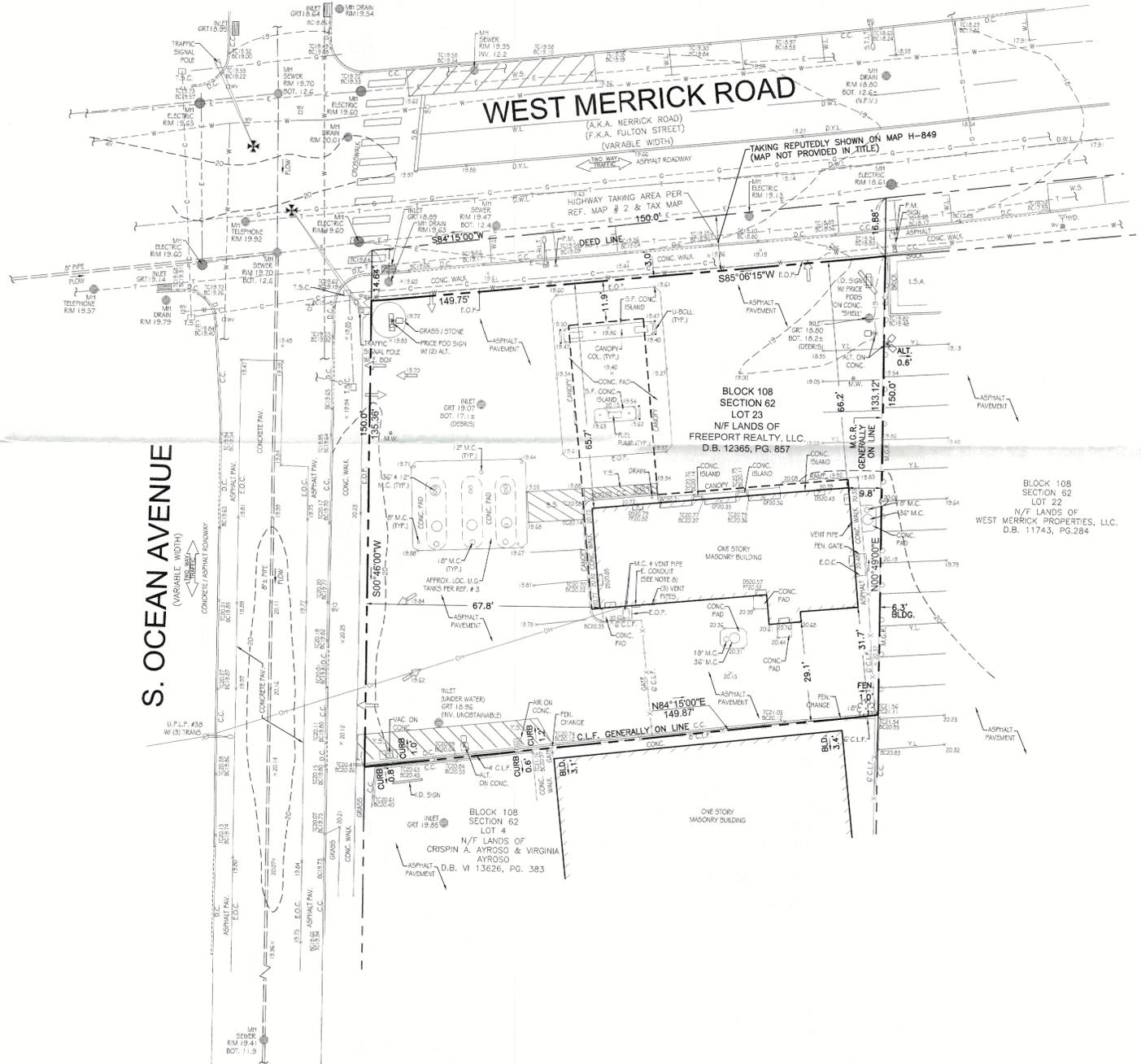
- PROPERTY LINE
- EXIST. BUILDING FOOTPRINT AT GROUND LEVEL & DOORWAY
- - - EXISTING CONTOUR
- x 12.34 EXISTING SPOT ELEVATION
- x 10.234 EXIST. TOP OF CURB ELEVATION
- x 30.234 EXIST. GUTTER ELEVATION
- x 0512.34 DOOR SILL ELEVATION
- x 0012.34 FINISHED FLOOR ELEVATION
- x 012.34 GARAGE FLOOR ELEVATION
- - - APPROX. LOCATION U.G. WATER LINE PER UTILITY MARKOUT
- - - APPROX. LOCATION U.G. GAS LINE PER UTILITY MARKOUT & REF. MAPPING
- - - APPROX. LOCATION U.G. ELECTRIC LINE PER UTILITY MARKOUT & REF. MAPPING
- - - APPROX. LOCATION U.G. TELEPHONE LINE PER UTILITY MARKOUT
- HYDRANT
- WATER VALVE
- AREA LIGHT
- MANHOLE
- INLET
- TRAFFIC SIGNAL POLE
- STREET LIGHT
- OVERHEAD WIRES
- UTILITY POLE/LIGHT POLE
- SIGN
- M.W. MONITORING WELL
- P.M. PARKING METER
- D.C. DEPRESSED CURB
- C.C. CONC. CURB
- E.O.C. EDGE OF CONCRETE
- E.O.P. EDGE OF PAVEMENT
- C.L.F. CHAIN LINK FENCE
- S.B. STOP BAR
- Y.S. YELLOW STRIPING
- W.S. WHITE STRIPING
- B.S. BLUE STRIPING
- Y.L. YELLOW LINE
- W.L. WHITE LINE
- D.Y.L. DOUBLE YELLOW LINE
- D.W.L. DASHED WHITE LINE
- L.S.A. LANDSCAPED AREA
- M.C. METAL COVER
- T.S.C. TRAFFIC SIGNAL COVER
- N.P.V. NO PIPES VISIBLE
- S.F. STEEL FACED
- N.P.V. NO PIPES VISIBLE
- M.G.R. METAL GUIDE RAIL
- U-BOLLARD
- PAINTED ARROWS
- HANDICAP PARKING SPACE
- PARKING COUNT
- 1'0" DENOTES OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE

UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY NEW YORK STATE ONE-CALL SYSTEM (1-800-272-4480) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 190713554

UTILITY COMPANY	PHONE NUMBER
CABLEVISION OF WOODBURY	800-282-8600
LIGHTOWER FIBER N.Y.	978-284-6022
NATIONAL GRID	800-282-8600
NASSAU COUNTY TRAFFIC SIGNALS	516-572-0485
VILLAGE OF FREEPORT	516-377-2378
VERIZON COMMUNICATIONS	855-661-6323

NOTE: ALL UTILITY COMPANIES DID NOT RESPOND TO MARKOUT REQUEST



SCHEDULE A DESCRIPTION:
 ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, SITUATE, LYING AND BEING IN THE VILLAGE OF FREEPORT, COUNTY OF NASSAU AND STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT ON THE SOUTHERLY SIDE OF FULTON STREET (OLD LINE), NOW WEST MERRICK ROAD, DISTANT 150 FEET EASTERLY FROM THE POINT OR PLACE WHERE THE SOUTHERLY SIDE OF FULTON STREET, NOW WEST MERRICK ROAD, JOINS THE EASTERLY SIDE OF OCEAN AVENUE;
 RUNNING THENCE SOUTH 84 DEGREES 15 MINUTES WEST ALONG THE SOUTHERLY SIDE OF FULTON AVENUE, NOW WEST MERRICK ROAD, 150 FEET TO THE EASTERLY SIDE OF OCEAN AVENUE;
 THENCE SOUTH 0 DEGREES 46 MINUTES WEST ALONG THE EASTERLY SIDE OF OCEAN AVENUE, 150 FEET TO LAND OF EDNA ELDRIDGE BEEBE;
 THENCE NORTH 84 DEGREES 15 MINUTES EAST ALONG SAID LAND OF EDNA ELDRIDGE BEEBE, 149.87 FEET;
 THENCE NORTH 0 DEGREES 49 MINUTES EAST ALONG LAND NOW OR FORMERLY OF JOHN K. ELDRIDGE, 150 FEET, MORE OR LESS, TO THE SOUTHERLY SIDE OF FULTON STREET, NOW WEST MERRICK ROAD, THE POINT OR PLACE OF BEGINNING.
 EXCEPTING THEREFROM LAND TAKEN FOR ROAD WIDENING PURSUANT TO ORDER ENTERED 15, JANUARY 1957 AS SHOWN ON MAP H-849.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

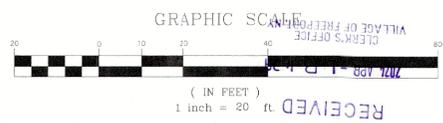
ALTA/NSPS LAND TITLE SURVEY
LOT 23, BLOCK 108, SECTION 62
 131 WEST MERRICK ROAD
 INC. VILLAGE OF FREEPORT (TOWN OF HEMPSTEAD)
 NASSAU COUNTY
 STATE OF NEW YORK

GALLAS SURVEYING GROUP
 2865 US ROUTE 1
 NORTH BRUNSWICK, NJ 08902
 TELE: 732-423-6700
 FAX: 732-940-8786
 www.gallasurvey.com

DATE	SCALE	DRAWN	CHECKED
05-07-2019	1"=20'	W.B.	G.S.G./J.R.T.
FIELD DATE	FIELD BOOK	PAGE	FIELD CREW
03-28-2019	110	74	B.F./J.R.
FILE NO.:	DRAWING NAME/SHEET NO.		
G19050	G19050A.DWG 1 of 1		

TO: BOLLA EM REALTY, LLC;
 ADVANTAGE TITLE;
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY;
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, CONTINUOUSLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 8, 9 & 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 03/28/2019.

NOT VALID UNLESS EMBOSSED WITH RAISED SURFACE
 GREGORY S. GALLAS
 LICENSED LAND SURVEYOR
 50124
 05-07-2019
 DATE



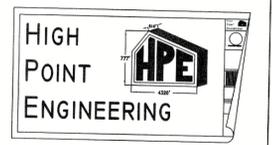
NEW YORK STATE requires notification by electronic means, DESIGNERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

LEGEND
(ALL ITEMS EXISTING TO REMAIN UNLESS OTHERWISE NOTED)

PROPERTY LINE	SOLID MANHOLE COVER
PROPOSED SAWCUT LINE	INLET
PROPOSED PVC FENCE	PROPOSED CURB INLET
CONCRETE CURB	PROPOSED INLET
PROPOSED CONCRETE CURB	PROPOSED MANHOLE COVER
PROPOSED DEPRESSED CONCRETE CURB	STREET LIGHT
TRAFFIC SIGNAL, INTERCONNECT	AREA LIGHT
TRAFFIC SIGNAL, CONDUIT	PROPOSED PARKING STALL COUNT
OVERHEAD WIRES	PROPOSED AREA LIGHT
PARKING METER	PROPOSED WALL MOUNTED AREA LIGHT
TRAFFIC SIGNAL PULLBOX	PROPOSED SIGN
WATER VALVE	PROPOSED CURB RADIUS
VALVE	PROPOSED DIRECTIONAL SIGN
TRAFFIC SIGNAL	
MONITORING WELL	
FIRE HYDRANT	

HATCH LEGEND

[Hatched Box]	PROPOSED CONCRETE PAVEMENT
[Hatched Box]	PROPOSED ASPHALT PAVEMENT IN R.O.W.



1860 WALT WHITMAN ROAD
SUITE 600
MELVILLE, NY 11747
(516) 777-4320 FAX: (516) 777-4321

ALL PHASES OF ENGINEERING DESIGN,
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LAWRENCE D. O'BRIEN

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NEW YORK LICENSE NO. 078209

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REVISIONS

REV. NO.	DATE	REVISION
1	7/29/20	PER VILLAGE COMMENTS
2	2/26/21	PER DPW STANDARDS
3	7/21/21	PER DPW COMMENTS
4	7/24/22	PER DPW COMMENTS
5	11/28/22	PER DPW COMMENTS
6	1/19/23	PER DPW COMMENTS
7	3/8/23	PER VILLAGE COMMENTS
8	12/6/23	PER NCFM REQUIREMENTS
9	12/28/23	PER CLIENT COMMENTS

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PROPOSED BOLLA MARKET W/ SHELL FILLING STATION

131 WEST MERRICK ROAD
INC. VILLAGE OF FREEPORT
NASSAU COUNTY, NY

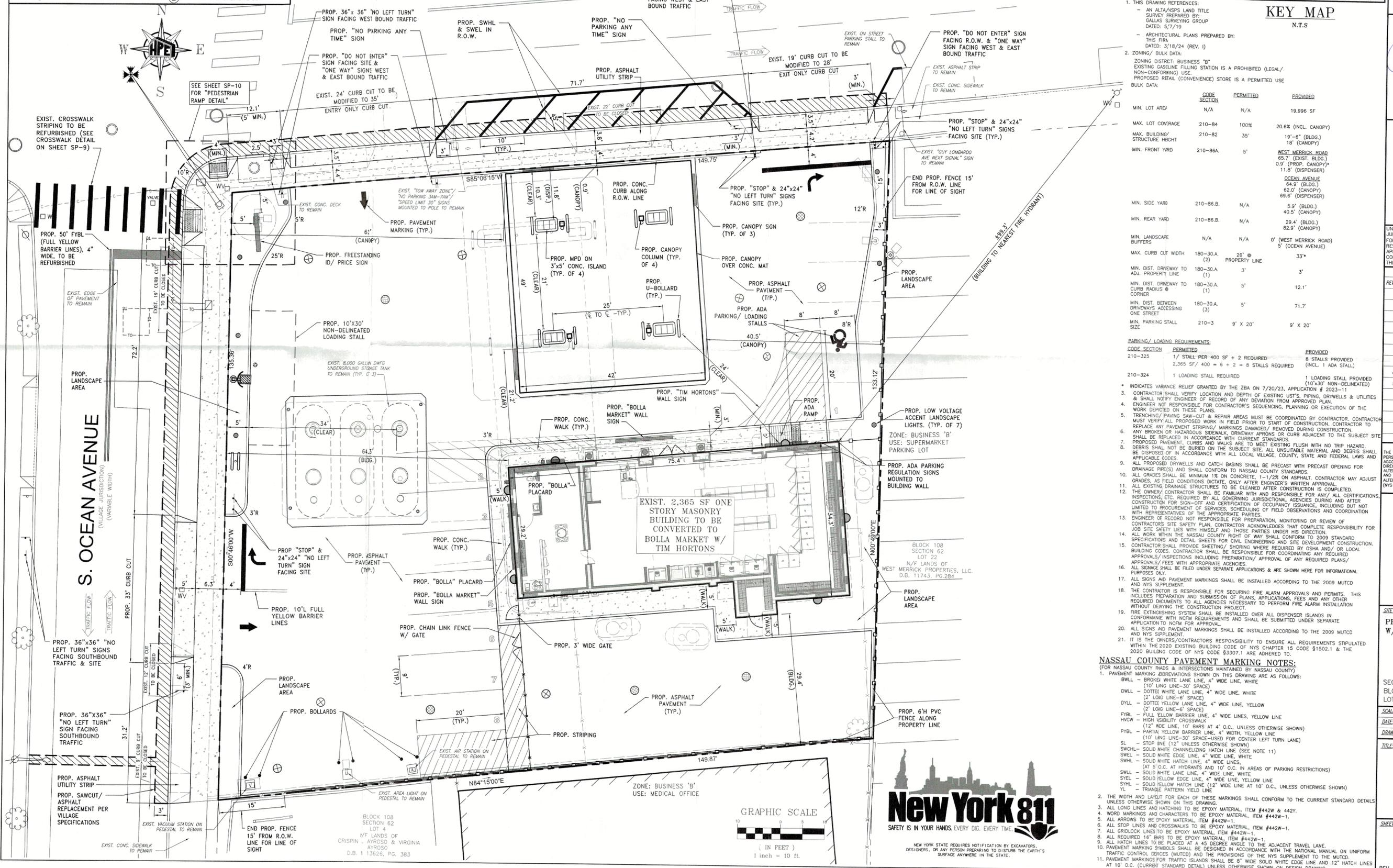
SECTION: 62
BLOCK: 108
LOT: 23

SCALE: 1" = 10'
DATE: 3/10/20
DRAWN BY: LD/GG
CHECKED BY: CT/VP

TITLE: **SITE PLAN**

SHEET NO: **SP-2**

REV. 9 OF 11



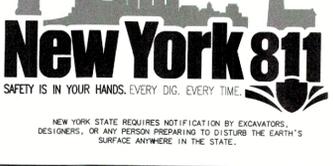
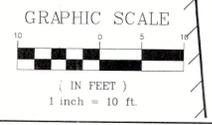
GENERAL NOTES

- THIS DRAWING REFERENCE:
 - AN ALTA/NPS LAND TITLE SURVEY PREPARED BY: GALLAS SURVEYING GROUP (DATED: 5/7/18)
 - ARCHITECTURAL PLANS PREPARED BY: THIS FIRM (DATED: 3/18/24 (REV. 1))
- ZONING DISTRICT: BUSINESS 'B' EXISTING GASOLINE FILLING STATION IS A PROHIBITED (LEGAL/ NON-CONFORMING) USE. PROPOSED RETAIL (CONVENIENCE) STORE IS A PERMITTED USE. BULK DATA:

MIN. LOT AREA	CODE SECTION	PERMITTED	PROVIDED
N/A	N/A	N/A	19,996 SF
210-84	100%	20.6%	(INCL. CANOPY)
210-82	35'	19'-2"	(BLDG.)
210-86A	5'	11.8'	(PROP. CANOPY)
			64.9' (BLDG.)
			62.0' (CANOPY)
			69.6' (DISPENSER)
- INDICATES VARIANCE RELIEF GRANTED BY THE ZBA ON 7/20/23, APPLICATION # 2023-11
- CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES, PIPING, DRYWELLS & UTILITIES & SHALL NOTIFY ENGINEER OF RECORD OF ANY DEVIATION FROM APPROVED PLAN.
- ENGINEER NOT RESPONSIBLE FOR CONTRACTOR'S SEQUENCING, PLANNING OR EXECUTION OF THE WORK DESCRIBED ON THESE PLANS.
- TRENCHING/PAVING SAW-CUT & REPAIR AREAS MUST BE COORDINATED BY CONTRACTOR. CONTRACTOR MUST VERIFY ALL PROPOSED WORK IN FIELD PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO REPLACE ANY DAMAGED/REMOVED/REMOVED DURING CONSTRUCTION.
- ANY BROKEN OR HAZARDOUS SIDEWALK, DRIVEWAY APPROX. CURB ADJACENT TO THE SUBJECT SITE SHALL BE REPLACED IN ACCORDANCE WITH CURRENT STANDARDS.
- PROPOSED PAVEMENT, CURB AND WALKS ARE TO MEET EXISTING FLUSH WITH NO TROP SHOULD BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL VILLAGE, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES.
- ALL PROPOSED DRYWELLS AND CATCH BASINS SHALL BE PRECAST WITH PRECAST OPENING FOR DRAINAGE (PIES) AND SHALL CONFORM TO NASSAU COUNTY STANDARDS.
- ALL GRADES SHALL BE MINIMUM 1% ON CONCRETE, 1-1/2% ON ASPHALT. CONTRACTOR MAY ADJUST GRADES, AS FIELD CONDITIONS DICTATE, ONLY AFTER ENGINEER'S WRITTEN APPROVAL.
- ALL EXISTING DRAINAGE STRUCTURES TO BE CLEANED AFTER CONSTRUCTION IS COMPLETED.
- THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR ANY/ ALL CERTIFICATIONS, INSPECTIONS, ETC. REQUIRED BY ALL GOVERNING JURISDICTIONAL AGENCIES DURING AND AFTER CONSTRUCTION FOR SIGN-OFF AND CERTIFICATION OF OCCUPANCY ISSUANCE, INCLUDING BUT NOT LIMITED TO PROCUREMENT OF SERVICES, SCHEDULING OF FIELD OBSERVATIONS AND COORDINATION WITH REPRESENTATIVES OF THE APPROPRIATE PARTIES.
- ENGINEER OF RECORD NOT RESPONSIBLE FOR PREPARATION, MONITORING OR REVIEW OF CONTRACTOR'S SITE SAFETY PLAN. CONTRACTOR ACKNOWLEDGES THAT COMPLETE RESPONSIBILITY FOR JOB SITE SAFETY LIES WITH HIMSELF AND THOSE PARTIES UNDER HIS DIRECTION.
- ALL WORK WITHIN THE NASSAU COUNTY RIGHT-OF-WAY SHALL CONFORM TO 2009 STANDARD SPECIFICATIONS AND DETAIL SHEETS FOR CIVIL ENGINEERING AND SITE DEVELOPMENT CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE SHEETING/SHORING WHERE REQUIRED BY OSHA AND/OR LOCAL BUILDING CODES. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ANY REQUIRED APPROVALS/INSPECTIONS INCLUDING PREPARATION/APPROVAL OF ANY REQUIRED PLANS/FEE'S WITH APPROPRIATE AGENCIES.
- ALL SIGNS SHALL BE FILED UNDER SEPARATE APPLICATIONS & ARE SHOWN HERE FOR INFORMATIONAL PURPOSES ONLY.
- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE INSTALLED ACCORDING TO THE 2009 MUTCD AND NYS SUPPLEMENT.
- THE CONTRACTOR IS RESPONSIBLE FOR SECURING FIRE ALARM APPROVALS AND PERMITS. THIS INCLUDES PREPARATION AND SUBMISSION OF PLANS, APPLICATIONS, FEES AND ANY OTHER REQUIRED DOCUMENTS TO ALL AGENCIES NECESSARY TO PERFORM FIRE ALARM INSTALLATION WITHOUT DELAYING THE CONSTRUCTION PROJECT.
- FIRE EXTINGUISHING SYSTEM SHALL BE INSTALLED OVER ALL DISPENSER ISLANDS IN CONFORMANCE WITH NCFM REQUIREMENTS AND SHALL BE SUBMITTED UNDER SEPARATE APPLICATION TO NCFM FOR APPROVAL.
- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE INSTALLED ACCORDING TO THE 2009 MUTCD AND NYS SUPPLEMENT.
- IT IS THE OWNERS/CONTRACTORS RESPONSIBILITY TO ENSURE ALL REQUIREMENTS SPECIFIED WITHIN THE 2020 EXISTING BUILDING CODE OF NYS CHAPTER 15 CODE §1502.1 & THE 2020 BUILDING CODE OF NYS CODE §3701.1 ARE ADHERED TO.

NASSAU COUNTY PAVEMENT MARKING NOTES:
(FOR NASSAU COUNTY ROADS & INTERSECTIONS MAINTAINED BY NASSAU COUNTY)

- PAVEMENT MARKING ABBREVIATIONS SHOWN ON THIS DRAWING ARE AS FOLLOWS:
 - BWLL - BROKEN WHITE LANE LINE, 4" WIDE LINE, WHITE (10' LONG LINE-30' SPACE)
 - DWLL - DOTTED WHITE LANE LINE, 4" WIDE LINE, WHITE (2' LONG LINE-6' SPACE)
 - DYLL - DOTTED YELLOW LANE LINE, 4" WIDE LINE, YELLOW (2' LONG LINE-6' SPACE)
 - FYBL - FULL YELLOW BARRIER LINE, 4" WIDE LINES, YELLOW LINE
 - HVBL - HIGH VISIBILITY CROSSWALK (12" WIDE LINE, 10" BARS AT 4" O.C., UNLESS OTHERWISE SHOWN)
 - PYBL - PARTIAL YELLOW BARRIER LINE, 4" WIDE, YELLOW LINE (10' LONG LINE-30' SPACE-USED FOR CENTER LEFT TURN LANE)
 - SL - STOP LINE (12" UNLESS OTHERWISE SHOWN)
 - SWCHL - SOLID WHITE CHANNELIZING HATCH LINE (SEE NOTE 11)
 - SWL - SOLID WHITE EDGE LINE, 4" WIDE LINE, WHITE
 - SWH - SOLID WHITE HATCH LINE, 4" WIDE LINES (AT 5" O.C. AT HYDRANTS AND 10" O.C. IN AREAS OF PARKING RESTRICTIONS)
 - SWL - SOLID WHITE LANE LINE, 4" WIDE LINE, WHITE
 - SYEL - SOLID YELLOW EDGE LINE, 4" WIDE LINE, YELLOW LINE
 - SYHL - SOLID YELLOW HATCH LINE (12" WIDE LINE AT 10" O.C., UNLESS OTHERWISE SHOWN)
 - YL - TRIANGLE PATTERN YIELD LINE
- THE WIDTH AND LAYOUT FOR EACH OF THESE MARKINGS SHALL CONFORM TO THE CURRENT STANDARD DETAILS UNLESS OTHERWISE SHOWN ON THIS DRAWING.
- ALL LONG LINES AND HATCHING TO BE EPOXY MATERIAL, ITEM #442W & 442Y.
- WORD MARKINGS AND CHARACTERS TO BE EPOXY MATERIAL, ITEM #442W-1.
- ALL ARROWS TO BE EPOXY MATERIAL, ITEM #442W-1.
- ALL STOP LINES AND CROSSWALKS TO BE EPOXY MATERIAL, ITEM #442W-1.
- ALL GRIDLOCK LINES TO BE EPOXY MATERIAL, ITEM #442W-1.
- ALL REQUIRED 16" BARS TO BE EPOXY MATERIAL, ITEM #442W-1.
- ALL HATCH LINES TO BE PLACED AT A 45 DEGREE ANGLE TO THE ADJACENT TRAVEL LANE.
- PAVEMENT MARKING SYMBOLS SHALL BE DESIGNED IN ACCORDANCE WITH THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE PROVISIONS OF THE NYS SUPPLEMENT TO THE MUTCD.
- PAVEMENT MARKINGS FOR TRAFFIC ISLANDS SHALL BE 6" WIDE SOLID WHITE EDGE LINE AND 12" HATCH LINES AT 10" O.C. (CURRENT STANDARD DETAIL) UNLESS OTHERWISE SHOWN ON DESIGN DRAWING.



NEW YORK STATE REQUIRES NOTIFICATION BY CONTRACTORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

EXIST. CONC. SIDEWALK TO REMAIN

END PROP. FENCE 15' FROM R.O.W. LINE FOR LINE OF SIGHT

PROF. BOLLARDS

PROF. ASPHALT UTILITY STRIP

PROF. SAWCUT/ ASPHALT REPLACEMENT PER VILLAGE SPECIFICATIONS

PROF. 36"x36" "NO LEFT TURN" SIGN FACING SOUTHBOUND TRAFFIC

PROF. 36"x36" "NO LEFT TURN" SIGN FACING WESTBOUND TRAFFIC

PROF. 36"x36" "NO LEFT TURN" SIGN FACING EASTBOUND TRAFFIC

PROF. 36"x36" "NO LEFT TURN" SIGN FACING WESTBOUND TRAFFIC

S. OCEAN AVENUE
(VILLAGE JURISDICTION)
(VARIABLE WIDTH)

EXIST. CROSSWALK STRIPING TO BE REFURBISHED (SEE CROSSWALK DETAIL ON SHEET SP-9)

PROF. 36"x36" "NO LEFT TURN" SIGN FACING WESTBOUND TRAFFIC

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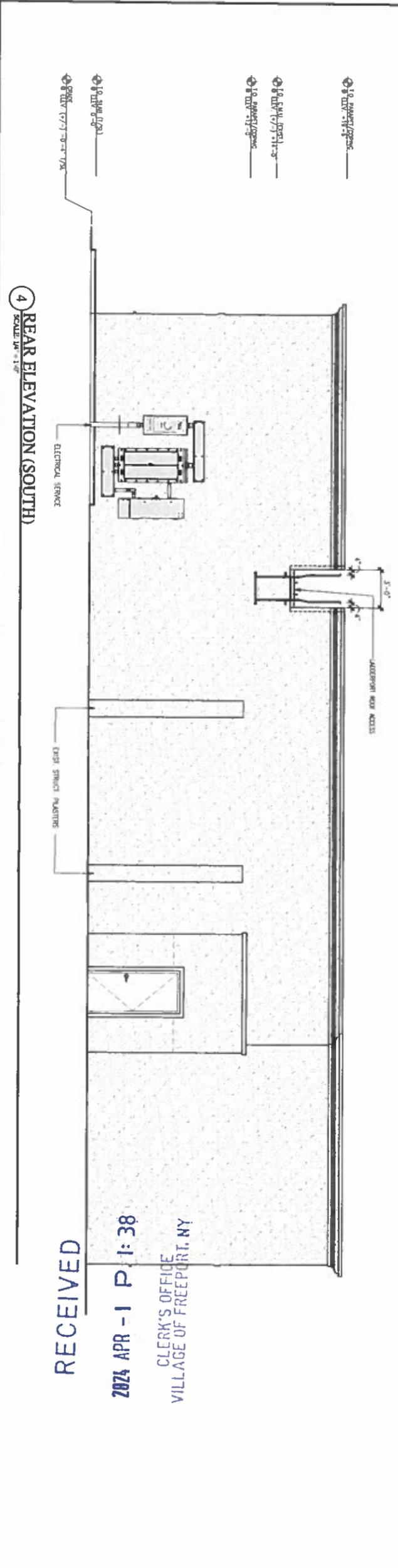
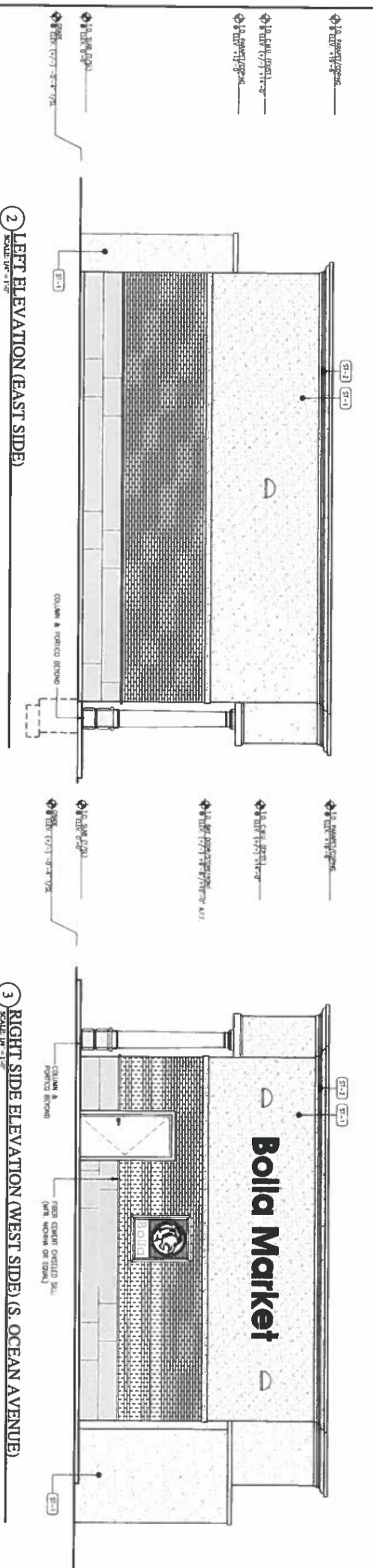
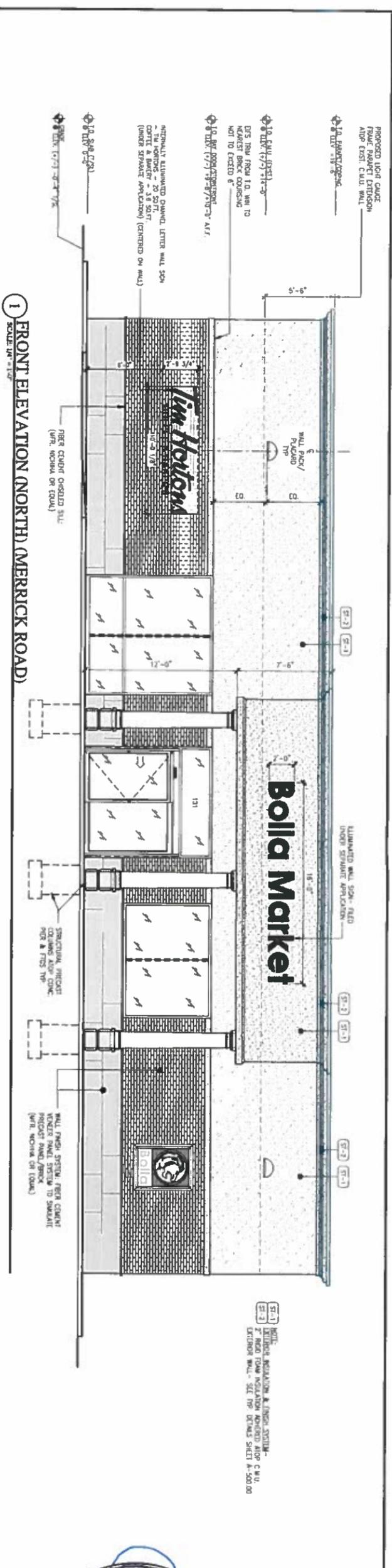
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PROFESSIONAL ENGINEER
 ALL RIGHTS RESERVED
 180 WALT WHITMAN ROAD
 MELVILLE NY 11747
 (516) 774-4320 FAX: (516) 774-4321

STATE OF NEW YORK
 ENGINEER
 CHRISTOPHER W. JARZYKO
 LICENSE NO. 078220

PROPOSED BOLLA MARKET CONVENIENCE STORE AND FILLING STATION
 131 WEST MERRICK ROAD, INC. VILLAGE OF FREEPORT, NASSAU COUNTY, NY

REVISIONS

REV. NO.	DATE	REVISIONS
1	1/1/2020	PER OWNER COMMENTS (SEE SHEET 1)
2	1/2/2020	PER OWNER COMMENTS (SEE SHEET 1)
3	1/3/2020	PER OWNER COMMENTS (SEE SHEET 1)
4	1/4/2020	PER OWNER COMMENTS (SEE SHEET 1)
5	1/5/2020	PER OWNER COMMENTS (SEE SHEET 1)
6	1/6/2020	PER OWNER COMMENTS (SEE SHEET 1)
7	1/7/2020	PER OWNER COMMENTS (SEE SHEET 1)
8	1/8/2020	PER OWNER COMMENTS (SEE SHEET 1)
9	1/9/2020	PER OWNER COMMENTS (SEE SHEET 1)
10	1/10/2020	PER OWNER COMMENTS (SEE SHEET 1)

NOTES:
 THE EXISTING USE OF THE SITE OF THIS WORK SHALL BE MAINTAINED UNLESS OTHERWISE INDICATED BY THE ARCHITECT. THE ARCHITECT'S RESPONSIBILITY IS TO VERIFY THE EXISTING CONDITIONS AND TO INDICATE ANY DISCREPANCIES TO THE OWNER. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE OWNER OR ANY OTHER SOURCE. THE ARCHITECT'S DESIGN SHALL BE BASED ON THE INFORMATION PROVIDED BY THE OWNER AND SHALL BE SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

RECEIVED
 88:1:1 P 1 - APR 17 2022
 CLERK'S OFFICE
 VILLAGE OF FREEPORT, NY

Application Date: 4/3/2024
Fees Paid: \$325.00

SP# 3723

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: (VACANT LOT) 284 NORTH COLUMBUS AVE ZONING DISTRICT RES. 'A'
SECTION 55 BLOCK 357 LOT 260 LOT SIZE: 6,250 (50'x125')

<input type="checkbox"/> TENANT <u>APPLICANT</u>	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>MIGUEL RAMIREZ</u>		Name: <u>FRANKLIN DE LOS SANTOS</u>
Address: <u>33 LAMONT PLACE</u> <u>WEST BABYLON, N.Y. 11704</u>		Address: <u>81 PAINE STREET</u> <u>LINDENHURST, N.Y. 11757</u>
Telephone #: <u>(631) 704-6601</u>		Telephone #: <u>(516) 353-2973</u>

Attorney Name: MIGUEL RAMIREZ Address: 33 LAMONT PLACE
(optional) Phone #: _____ WEST BABYLON, N.Y. 11704

Present Land Use: VACANT LOT Proposed Land Use: 1-FAMILY RES.

Description of Proposed Work: PROP. NEW (3,135 SQ. FT.) WOOD FRAME
WITH VINYL SIDING 2-STORY 1-FAMILY RESIDENCE TO EXISTING
VACANT LOT

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:

- A. The subject property is zoned Residence A or Residence AA.
- B. The proposed construction is not a new building or dwelling.
- C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

_____ YES NO

03-21-2024

[Signature]
APPLICANT'S SIGNATURE
Sworn to before me this 21st
day of March, 2024
[Signature]
Notary Public

DORIS ALEXANDRA RAMIREZ DATE
NOTARY PUBLIC STATE OF NEW YORK
SUFFOLK COUNTY
LIC. # 01RA635P178
COMM. EXP. 05-30-2025

Property Owner's Consent: FRANKLIN D. DE LOS SANTOS am (are) the owner(s) of the subject property and consent to the filing of this application.

03-21-2024

[Signature]
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 21st
day of March, 2024
[Signature]
Notary Public

DORIS ALEXANDRA RAMIREZ DATE
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RECEIVED
2024 APR - 3 11:15
VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<u>Approved</u> _____ <u>Denied</u> _____ Date: _____
Planning Board Signature: _____	Date: _____

SUBMISSION CHECKLIST

YES	NO	N/A	
_____	_____	✓	1. The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only).
_____	_____	✓	2. The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs.
_____	_____	_____	3. A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch:
✓	_____	_____	a. Title of drawing, including name and address of applicant.
✓	_____	_____	b. North point, scale, and date.
✓	_____	_____	c. Boundaries of the project.
_____	_____	✓	d. Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted.
_____	_____	✓	e. Floodplain boundaries as determined by the Federal Emergency Management Agency.
_____	_____	✓	f. Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures.
_____	_____	✓	g. Location of outdoor storage and description of materials to be stored.
_____	_____	✓	h. Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private.
_____	_____	✓	i. Location and description of all proposed waterfront public access/recreation provisions.
_____	_____	✓	j. Description of sewage disposal and water supply systems and locations of such facilities.
_____	_____	✓	k. Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule.
_____	_____	✓	l. Location of all parking and loading area, internal circulation pattern, and ingress and egress drives.
_____	_____	✓	m. Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks.
_____	_____	✓	n. Location, design and size of all signs and lighting facilities.
_____	_____	✓	o. Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space.
_____	_____	✓	p. Building orientation and site design for energy efficiency and visual quality.
_____	_____	✓	q. Location and design of all energy distribution facilities, including electrical, gas, and solar energy.
_____	_____	✓	r. Description and location of erosion control measures including proposed location of sediment sink/setting pond and interceptor swales, etc..
_____	_____	✓	s. Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities.
_____	_____	✓	t. Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development.
_____	_____	✓	u. Estimated project construction schedule.
_____	_____	✓	v. Record of application for approval status of all necessary permits from federal, state and county officials.
_____	_____	✓	w. Identification of any federal, state or county permits required for project execution.
✓	_____	_____	x. The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter.



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER

February 8, 2024

Franklin De Los Santos
284 N Columbus
Freeport , NY 11520

RE: 284 N Columbus Freeport, NY 11520

Zoning District – Residence A Sec. 55 Blk. 357 , Lot 866

Building Permit Application #20243614

Description– Proposed new (3,135 Sq. Ft) wood frame with vinyl siding 2-story 1 family residence to existing vacant lot.

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk’s Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk’s Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK’S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

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c: Village Clerk

ZBA Approval Needed: Yes__ No_X_

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20243614

Location: 284 N Columbus Freeport, NY

Applicant: Franklin De Los Santos

Description: Proposed new (3,135 Sq. Ft) wood frame with vinyl siding 2-story 1 family residence to existing vacant lot.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: February 8, 2024

Sergio A. Mauras

Sergio A. Mauras

Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

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Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project:		Proposed New 2-Story 1-Family Residence to existing vacant lot	
Project Location (describe, and attach a location map):		No.284 On East side of North Columbus At 125 ft. South of Independence Ave	
Brief Description of Proposed Action:		Proposed New (3,135 s.f.) Wood frame with vinyl siding 2-Story 1-Family Residence to existing vacant lot	
Name of Applicant or Sponsor:		Telephone: (516) 353-2973	E-Mail: delosantosfranklin44@yahoo.com
Franklin De los Santos			
Address: 81 Paine Street			
City/PO: Lindenhurst, New York		State: New York	Zip Code: 11757.
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES ✓
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES ✓
3.a. Total acreage of the site of the proposed action?		0.14	acres
b. Total acreage to be physically disturbed?		0.14	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.14	acres
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?			✓	
b. Consistent with the adopted comprehensive plan?			✓	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO		YES ✓
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental A rea? N If Yes, identify: _____			✓	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?			✓	
b. Are public transportation service(s) available at or near the site of the proposed action?				✓
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		✓		
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		NO		YES ✓
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____		NO		YES ✓
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater r treatment: _____		NO		YES ✓
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		NO		YES
b. Is the proposed action located in an archeological sensitive area?		>		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		>		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		>		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		NO		YES
16. Is the project site located in the 100 year flood plain?		NO		YES
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains?) If Yes, briefly describe: _____		NO		YES
		✓		
		✓		

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	✓	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	✓	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	✓	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Franklin De los Santos</u> Date: <u>12/15/2023</u>		
Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer a bf the f llowing questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor otherwise available to the reviewer. When answering the questions the reviewer should be guided by the c oncept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Mo derate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	✓	
2. Will the proposed action result in a change in the use or intensity of use of land?	✓	
3. Will the proposed action impair the character or quality of the existing commu ty? ni	✓	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	✓	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	✓	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	✓	
7. Will the proposed action impact existing: a. public / private water supplies?	✓	
b. public / private wastewater treatment utilities?	✓	
8. Will the proposed action impair the character or quality of important historic, arch aeological, architectural or aesthetic resources?	✓	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	✓	

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	✓	
11. Will the proposed action create a hazard to environmental resources or human health?	✓	

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impact. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 VILLAGE OF FREEPORT, NY

9 Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
9 Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

22" DIAMETER VINYL GABLE VENT
LOUVER WITH INSECT SCREEN
COLOR: WHITE (TYP. FOR 4).

ALUMINUM LEADER AND GUTTER
FASTENED TO 2"x8" ALUMINUM CLAP
WD. FASCIA. COLOR: WHITE
(TYP.)

1" THICKNESS STONE VENEER G
COLOR/MODEL: CLEAR WATER BY ELDORADO
STONE. (TYPICAL AT FRONT FACADE ONLY)

DUTCH LAP VINYL SIDING WITH WHITE
TRIM AS PER CODE REQUIREMENTS AND
MANUFACTURER SPECIFICATIONS
(TYP.)

COLOR/MODEL: NATURAL SLATE (DARK GREY)
BY OVATION MANUFACTURER

NEW 12" SQUARE TAPERED PRE-FAB. VINYL
COLUMN WITH 6" X 6" T. WD POST INSIDE
ANCHORED ON TOP TO HEADER AND BOTTOM
TO P. CONC. FRONT ACCESS PORTICO PLATFORM
COLOR: WHITE (TYP. FOR 2).

1" THICKNESS STONE VENEER BASE
WITH 3" STONE CAP ON TOP.
COLOR/MODEL: CLEAR WATER BY
ELDORADO STONE.
(TYP. AT FRONT FACADE ONLY)

SELF SEALING ASPHALT/FIBERGLASS
ARCHITECTURAL ROOF SHINGLES
COLOR TO BE BURNT SIENNA
BY CERTAINTED MANUFACTURER
(TYP.)

ROOFED FRONT ACCESS STOOP
AND PLATFORM WITH WHITE PVC
HANDRAILS & RAILINGS

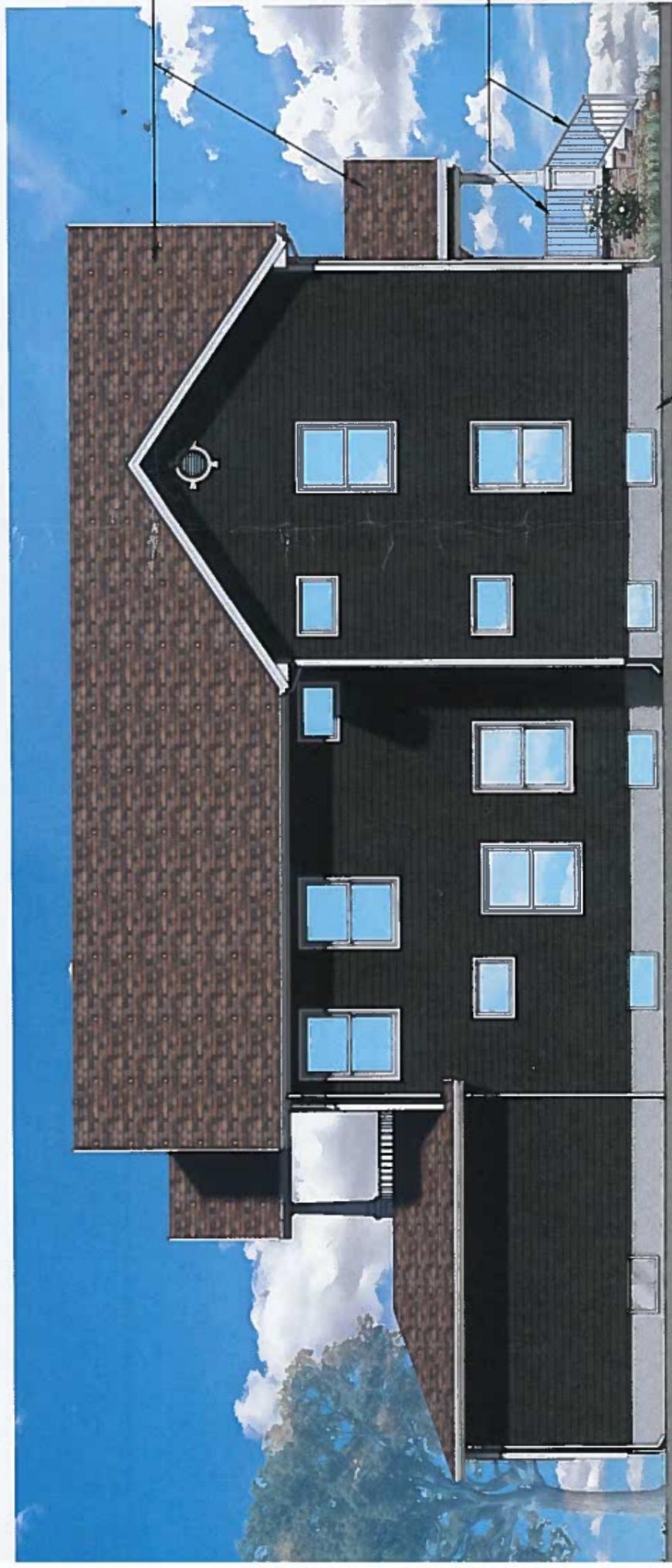
POURED CONCRETE FOUNDATION
WALL (NO COLOR) TYP.

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A FRONT ELEVATION
SCALE: 1/4"=1'



A LEFT SIDE ELEVATION
SCALE: 1/4"=1'

VLADIMIR CONSTANT P.E.
7 Merrick Court
Westbury, New York 11591
Phone: (516) 790-2343
E-MAIL: v.constant@yaho.com

CONSULTANT

MAR
DRAFTING CORPORATION
RESIDENTIAL & COMMERCIAL
DESIGN
33 LAMONT PLACE
WESTBURY, NY 11591
OFF: (516) 337-2445
MOBILE: (631) 704-6601

APPLICATION NO.

APPLICANT/OWNER
Franklin De los Santos

ADDRESS:
81 Paine Street,
Lindenhurst,
New York 11757.

Email: delosantosfranklin44@yahoo.com
PHONE: (516) 353-2973
EMERGENCY CONTACT:
NAME: MIGUEL RAMIREZ
PHONE: (631) 704-6601

PROJECT TITLE
PROPOSED 2-STORY
WOOD FRAME W/ STONE
AND VINYL SIDING
1-FAMILY RESIDENCE
(VACANT LOT) 284 NORTH COLUMBUS AVENUE
FREEPORT, N.Y. 11520
SEC. 55 BLK. 357 LOT 868

DRAWING TITLE
COLORED FRONT AND
LEFT SIDE ELEVATIONS

DRAWN/DESIGN BY: MIGUEL RAMIREZ	DRAWING NO. R-1
CHECKED BY: VLADIMIR CONSTANT	PROJECT NO. 1
DATE: SEP 2023	SCALE: 202326
	SCALE: 1/4"=1'

VLADIMIR CONSTANT P.E.
 7 N. Hellick Court
 Westbury, New York 11590
 Phone: (516) 779-2343
 E-MAIL: v.constant@yuban.com



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 RESIDENTIAL COMMERCIAL DESIGN
 33 LAMONT PLACE
 WEST HAVEN, NY 11704
 OFF. (631) 320-2445
 MOBILE (631) 704-6601

APPLICATION NO.	
APPLICANT/OWNER	Franklin De los Santos
ADDRESS	81 Paine Street, Lindenhurst, New York 11757.
PHONE	Email: delosantosfranklin44@yahoo.com (516) 353-2973
EMERGENCY CONTACT	NAME: MIGUEL RAMIREZ PHONE: (631) 704-6601
PROJECT TITLE	PROPOSED 2-STORY WOOD FRAME W/ STONE AND VINYL SIDING 1-FAMILY RESIDENCE
DRAWING NO.	R-2
DRAWN/DESIGN BY	MIGUEL RAMIREZ
CHECKED BY	VLADIMIR CONSTANT
DATE	SEP 2023
PROJECT NO.	2

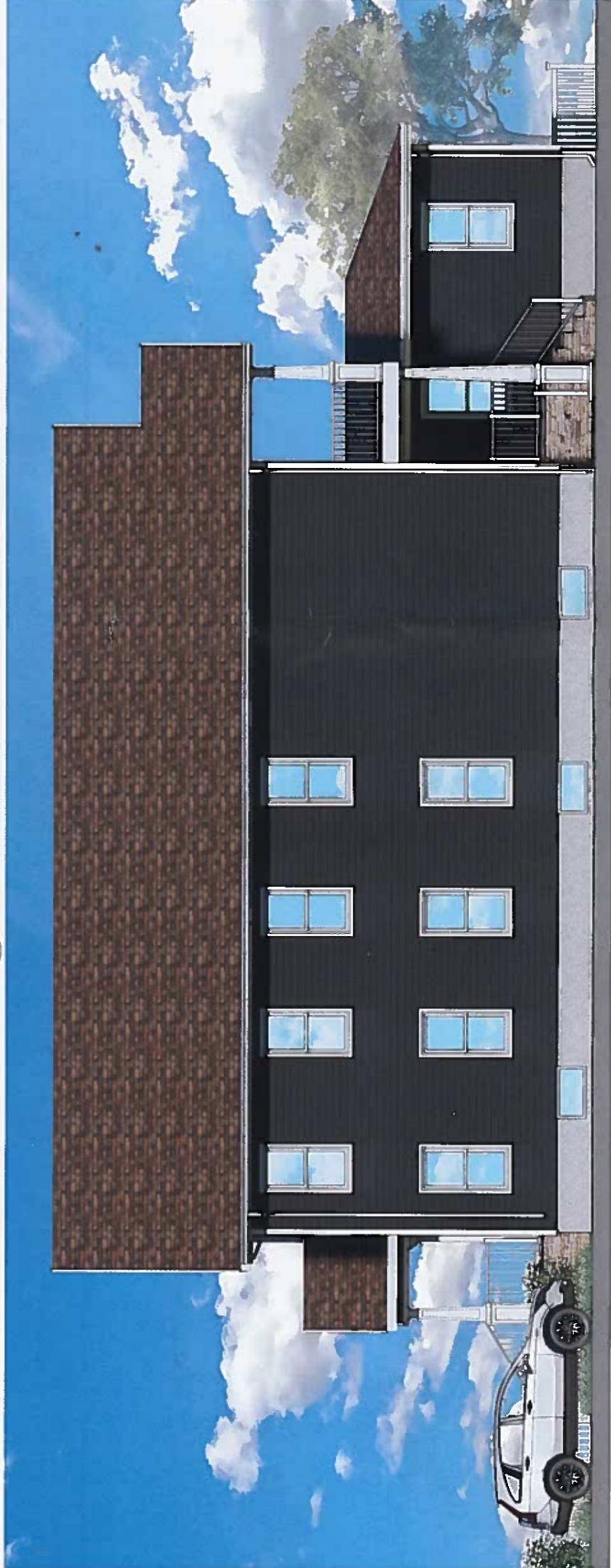
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 VILLAGE OF FREEPORT, N.Y.



REAR ACCESS STOOP AND PLATFORM
 WITH 1 5" THK. BLUESTONE FLOORING
 COLOR/MODEL - GREY
 STONE. (TYPICAL)

POURED CONCRETE FOUNDATION
 WALL (NO COLOR) TYP.

A REAR ELEVATION
 SCALE: 1/4"=1'



B RIGHT SIDE ELEVATION
 SCALE: 1/4"=1'

VC PLANK VENEER
 WHITE

SQUARE PRE-FAB.
 COLUMN ANCHOR ON
 ADLER AND BOTTOM TO
 K STRUCTURE

DOOR BALCONY
 PVC HANDRAILS
 GS.

REAR ACCESS FIRST
 CELLAR WITH WHITE
 RAILS & RAILINGS.

REAR STOOP AND PLATFORM
 BLUESTONE VENEER
 DEL. CLEAR WATER BY
 STONE (TYP)



1.-FRONT ELEVATION
PERSPECTIVE VIEW



2.-REAR ELEVATION
PERSPECTIVE VIEW

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VILLAGE OF FREEPORT, NY



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7 Mettick Court
Westbury, New York 11590
Phone: (516) 779-2343
E-MAIL: v.constant@yahoo.com

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RESIDENTIAL COMMERCIAL DESIGN
33 LAMONT PLACE
WEST BAYLON, NY 11704
OFF: (631) 704-6601
MOBILE: (631) 704-6601

APPLICATION NO.	
APPLICANT/OWNER	Franklin De los Santos
ADDRESS	81 Paine Street, Lindenhurst, New York 11757.
PHONE	Email: delosantosfranklin44@yahoo.com (516) 353-2973
EMERGENCY CONTACT	NAME MIGUEL RAMIREZ PHONE: (631) 704-6601
PROJECT TITLE	PROPOSED 2-STORY WOOD FRAME W/ STONE AND VINYL SIDING 1-FAMILY RESIDENCE
DRAWING TITLE	FRONT AND REAR ELEVATIONS PERSPECTIVE VIEW
DRAWN/DESIGN BY	MIGUEL RAMIREZ
CHECKED BY	VLADIMIR CONSTANT
DATE	SEP 2023
DRAWING NO.	P-V
PROJECT NO.	1
SCALE	202328

PROPOSED 2-STORY 1-FAMILY RESIDENCE TO EXISTING VACANT LOT

PROPERTY NO. 284 LOCATED ON EAST SIDE OF NORTH COLUMBUS AVENUE. SBL: 55 BLK 357 LOT 866

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VILLAGE OF FREEPORT, NY

THE FOLLOWING PICTURES OF SUBJECT PROPERTY AND NEARBY PARCELS



2 INDEPENDENCE AVE (CORNER PROP. SOUTH SIDE OF INDEPENDENCE AND EAST SIDE OF N. COLUMBUS)
SBL: 55 361 851



2-(SUBJECT PROPERTY ON EAST SIDE OF N. COLUMBUS AVE) NO. 284 NORTH COLUMBUS SEC. 55 BLK 357 LOT 866



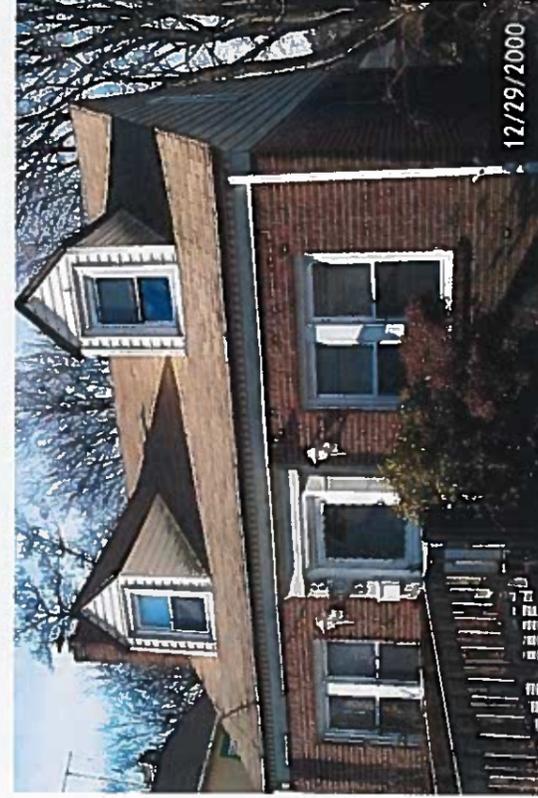
3.-NO. 280 NORTH COLUMBUS (ADJACENT SOUTH SIDE OF SUBJECT PROPERTY)
Section: 55 Block: 357 Lot: 164



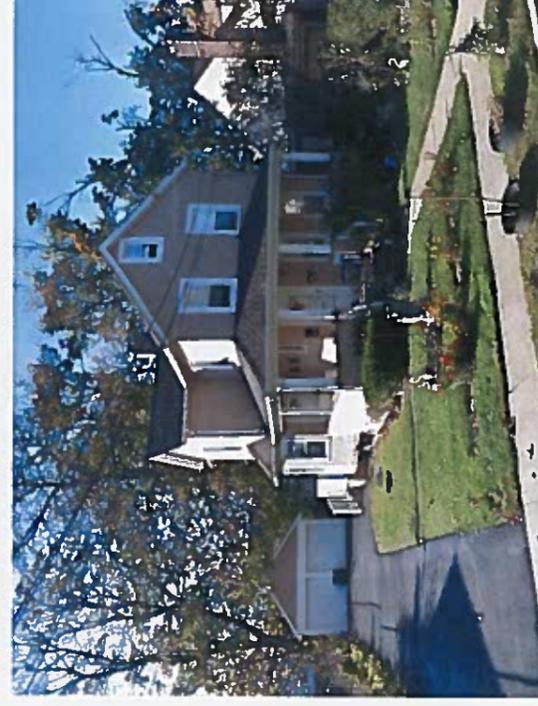
4.-276 NORTH COLUMBUS AVE (ADJACENT 7100 FT SOUTH OF S. P.)
SBL: 55 357 162



6.-303 NORTH COLUMBUS AVENUE (AT FRONT OF SUBJECT PROP.)
SBL: 55 361 853



7.-NO. 281 NORTH COLUMBUS (AT FRONT OF SUBJECT PROP.)
Section: 55 Block: 361 Lot: 855

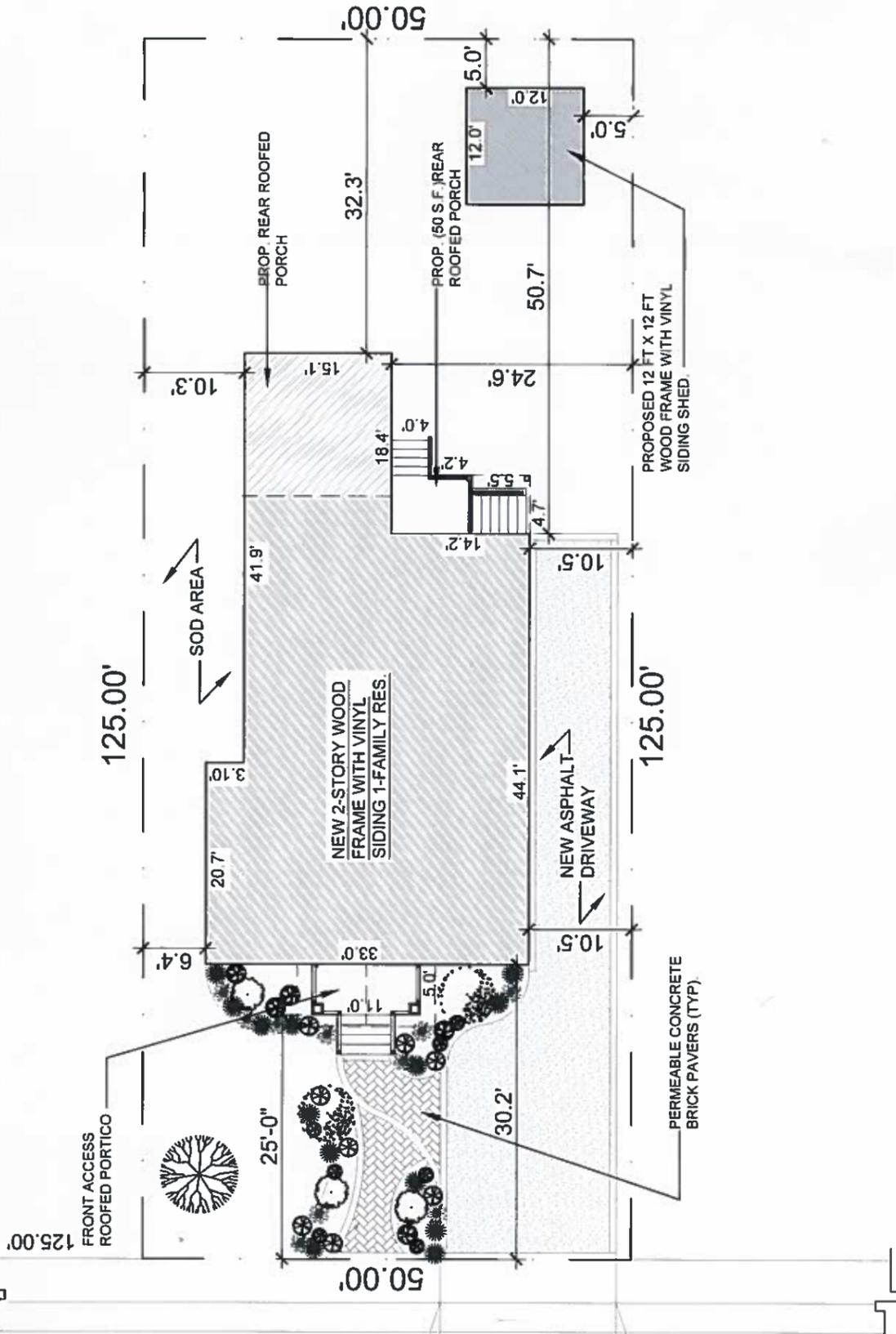


8.-277 NORTH COLUMBUS AVE (AT FRONT OF SUBJECT PROP.)
SBL: 55 361 857



2 INDEPENDENCE AVE (CORNER PROP. SOUTH SIDE OF INDEPENDENCE AND EAST SIDE OF N. COLUMBUS)
SBL: 55 361 851

INDEPENDENCE AVENUE



A
T-1
PLOT PLAN
SCALE: 1" = 15 FT

ZONE: RES. "A"
LOT SIZE: 6,250 S.F. (0.14 ACRE)

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

ZONING CALCULATIONS

ZONING: PER VILLAGE OF FREEPORT
(ZONED: RES-"A")

BUILDING HEIGHT:
35' OR 3 STORIES MAX. HEIGHT

PROPOSED BUILDING AREAS:

- CELLAR: 1,647 S.F.
- FIRST FLOOR: 1,647 S.F.
- SECOND FLOOR: 1,446 S.F.
- ROOFED OVER PORCHES & DECKS: 190 S.F.
- ACCESSORY STRUCTURES: 144 S.F.

TOTAL BUILDING AREA: 3,427 S.F. (INCLUDING FIRST FL., SECOND FLOOR & ACCESSORY STRUCTURE)

LOT COVERAGE: 30% MAX. = 6,250 x 0.30 = 1,875 S.F.
ACTUAL COVERAGE: 1,732 < 1,875 S.F. = 28 %
(ACTUAL COVERAGE INCLUDES 1ST FL, PORCHES AND ACCESSORY STRUCTURES)

VLADIMIR CONSTANT P.E.
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MOBILE: (516) 94-6601

APPLICATION NO.
APPLICANT/OWNER
Franklin De los Santos
ADDRESS
81 Paine Street,
Lindenhurst,
New York 11757.
Email: delosantosfranklin4@yahoo.com
PHONE
(516) 353-2973
EMERGENCY CONTACT
NAME MIGUEL RAMIREZ
PHONE
(631) 704-6601

PROJECT TITLE
PROPOSED 2-STORY
WOOD FRAME W/ STONE
AND VINYL SIDING
1-FAMILY RESIDENCE
(VACANT LOT) 284 NORTH COLUMBUS AVENUE
FREEPORT, N.Y. 11520
SEC. 55 BLK 357 LOT 866

DRAWING TITLE
PROPOSED SITE PLAN
AND ZONING INFORMATION
DRAWING NO
DRAWN/DESIGN BY
MIGUEL RAMIREZ
CHECKED BY
VLADIMIR CONSTANT
DATE
SEP 2023
PROJECT NO
SP-1
1
202328
SCALE

VLADIMIR CONSTANT P.E.
 7 Melnick Court
 Westbury, New York 11590
 Phone: (516) 779-2343
 E-MAIL: v.constant@yahoo.com



CONSULTANT

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 33 LAMONT PLACE
 WEST BAYLON, NY 11704
 PHONE: (516) 335-2973
 MOBILE: (631) 704-6601

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

APPLICATION NO.

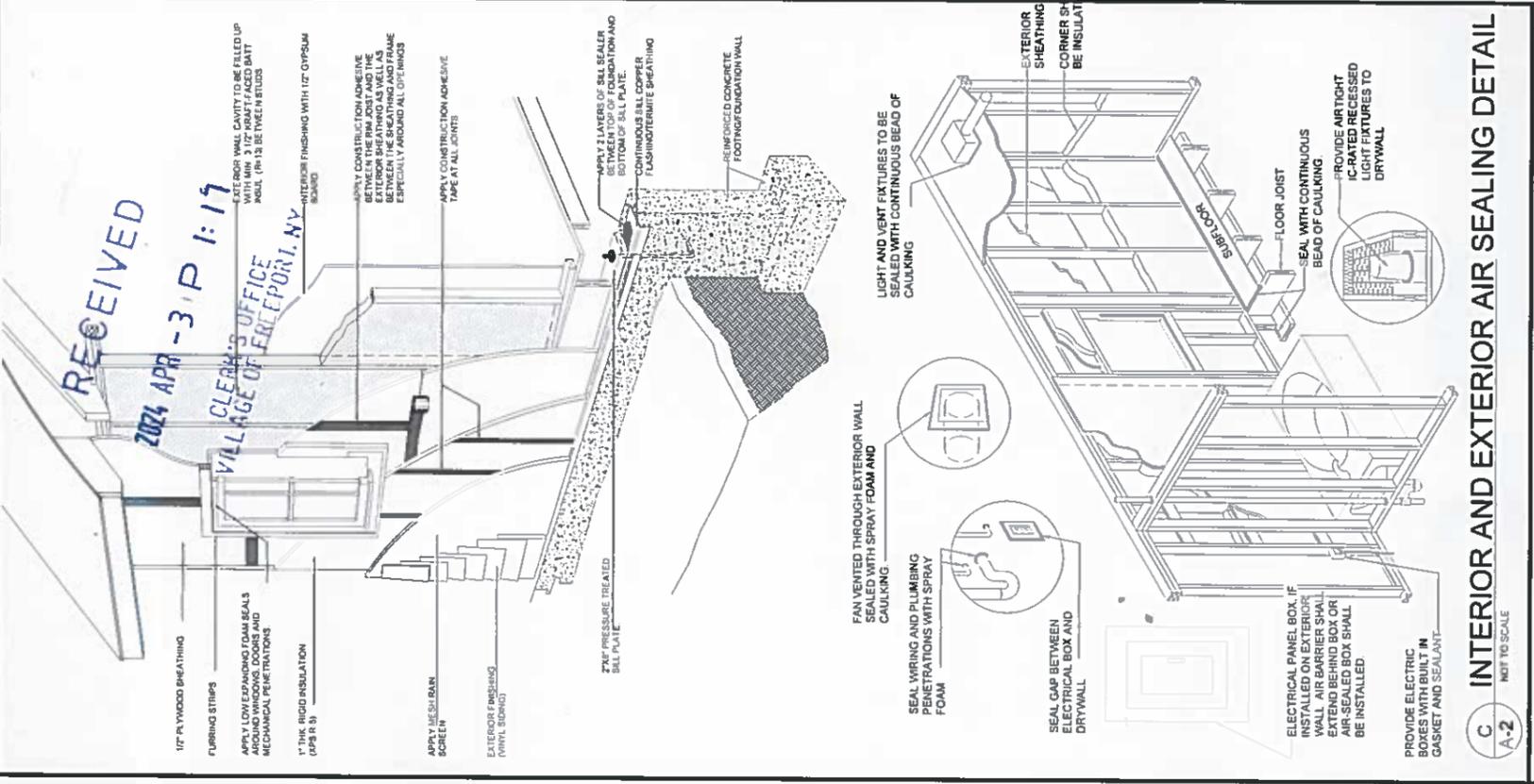
APPLICANT/OWNER
Franklin De los Santos
 ADDRESS
**81 Paine Street,
 Lindenhurst,
 New York 11757.**
 Email: delosantosfranklin44@yahoo.com
 PHONE
 (516) 353-2973
 EMERGENCY CONTACT
 NAME: MIGUEL RAMIREZ
 PHONE
 (631) 704-6601

PROJECT TITLE

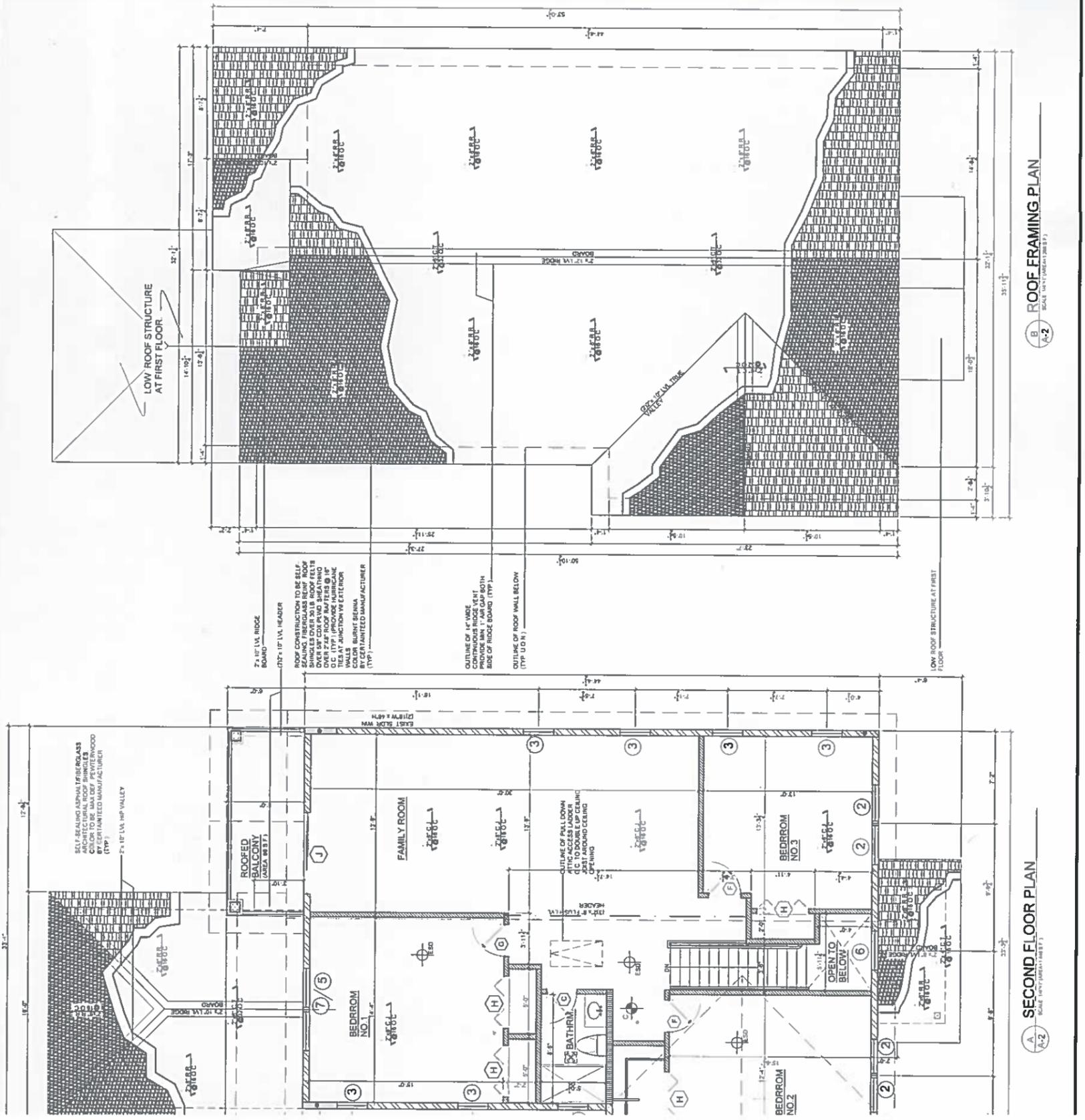
**PROPOSED 2-STORY
 WOOD FRAME W/ STONE
 AND VINYL SIDING
 1-FAMILY RESIDENCE**
 (VACANT LOT) 284 NORTH COLUMBUS AVENUE
 FREEPORT, N.Y. 11520
 SEC. 55 BLK 357 LOT 868

DRAWING TITLE
**SECOND FLOOR, ROOF
 FRAMING PLAN, AIR SEALING
 DETAIL AND PROP. WOOD
 SHED PLANS**

DRAWING NO.
A-2
 CHECKED BY:
 VLADIMIR CONSTANT
 DATE
 SEP 2023
 PROJECT NO.
3

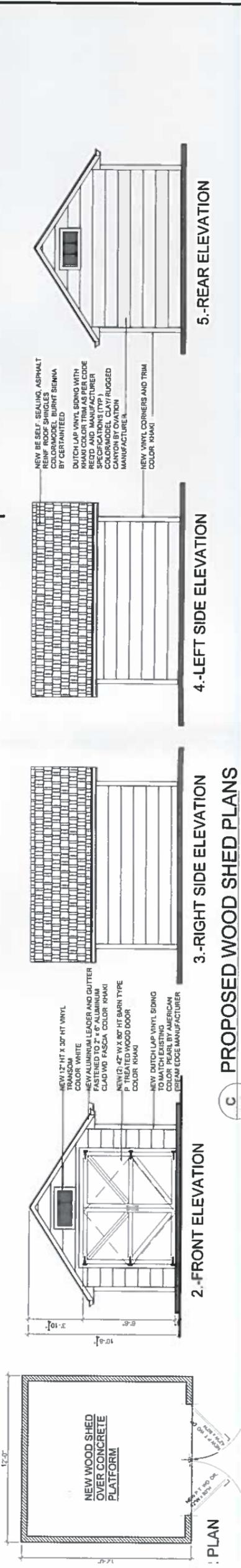


C INTERIOR AND EXTERIOR AIR SEALING DETAIL
 1/8" = 1'-0"



A SECOND FLOOR PLAN
 1/8" = 1'-0"

B ROOF FRAMING PLAN
 1/8" = 1'-0"



C PROPOSED WOOD SHED PLANS

VLADIMIR CONSTANT P.E.
 7 Netherland Court
 Westbury, New York 11590
 Phone: (516) 779-2343
 E-MAIL: v.constant@yaberi.com



MAR
DRAFTING CORPORATION
 RESIDENTIAL & COMMERCIAL
 33 LAMONT PLACE
 WEST BABYLON, NY 11704
 OFF: (631) 262-2445
 MOBILE: (631) 704-6601

NO.	DATE	DESCRIPTION
1		
2		
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APPLICATION NO.

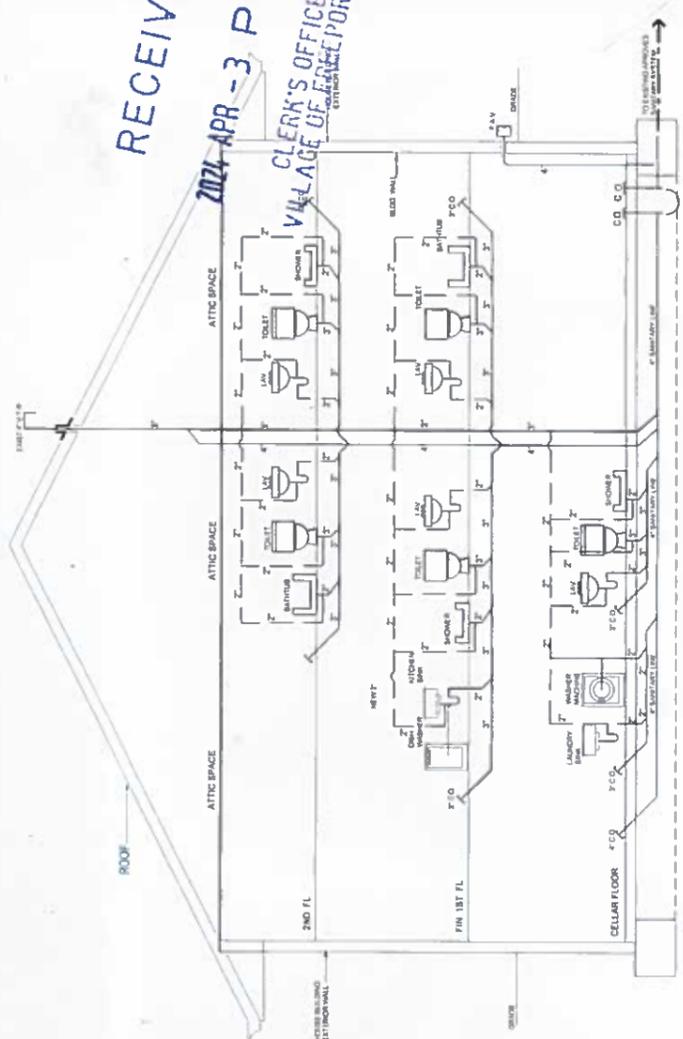
APPLICANT/OWNER
 Franklin De los Santos
 ADDRESS:
 81 Paine Street,
 Lindenhurst,
 New York 11757.
 Email: delosantosfrank1r44@yahoo.com
 PHONE:
 (516) 353-2973
 EMERGENCY CONTACT
 NAME: MIGUEL RAMIREZ
 PHONE:
 (631) 704-6601

PROJECT TITLE
 PROPOSED 2-STORY
 WOOD FRAME W/ STONE
 AND VINYL SIDING
 1-FAMILY RESIDENCE
 (VACANT LOT) 284 NORTH COLUMBUS AVENUE
 FREEPORT, N.Y. 11520
 SEC. 55 BLK 357 LOT 866

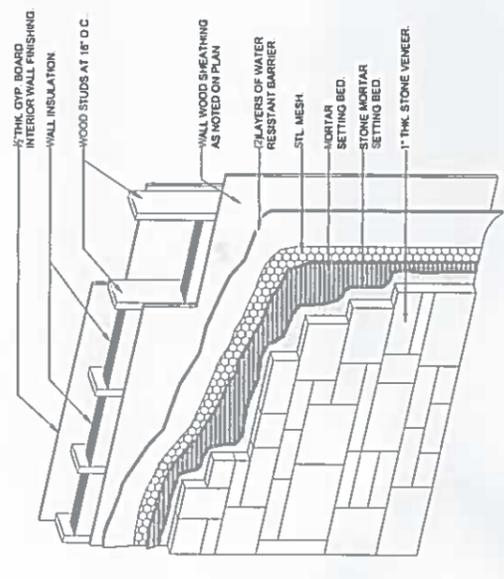
DRAWING TITLE
 FRONT ELEVATION, LEFT
 SIDE ELEVATION AND
 PLUMBING RISER DIAGRAM

DRAWN/DESIGN	MIGUEL RAMIREZ
CHECKED BY	VLADIMIR CONSTANT
DATE	SEP 2023
DRAWING NO.	A-3
PROJECT NO.	4

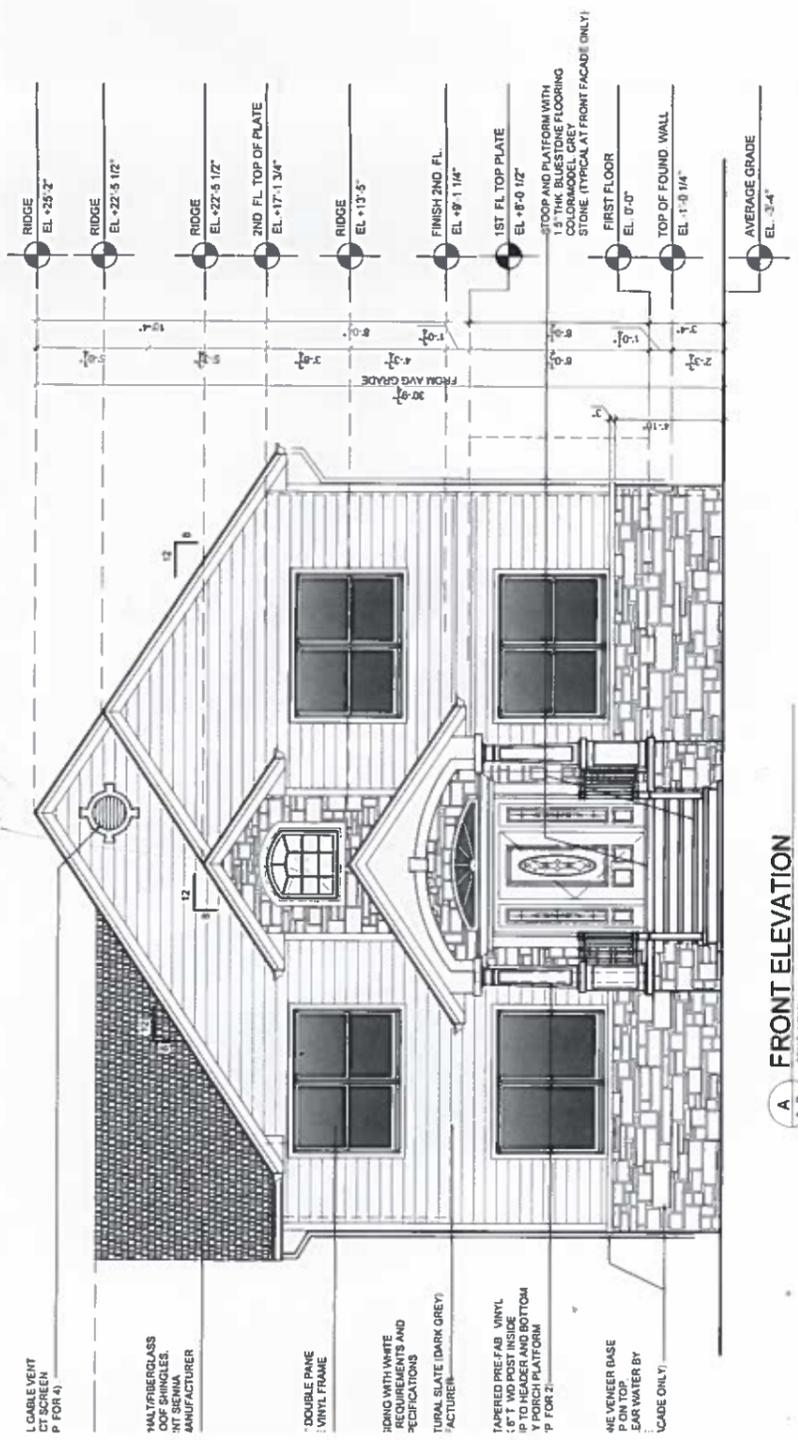
RECEIVED
 2024 APR -3 P 11:18
 CLERK'S OFFICE
 VILLAGE OF FREEPORT, NY



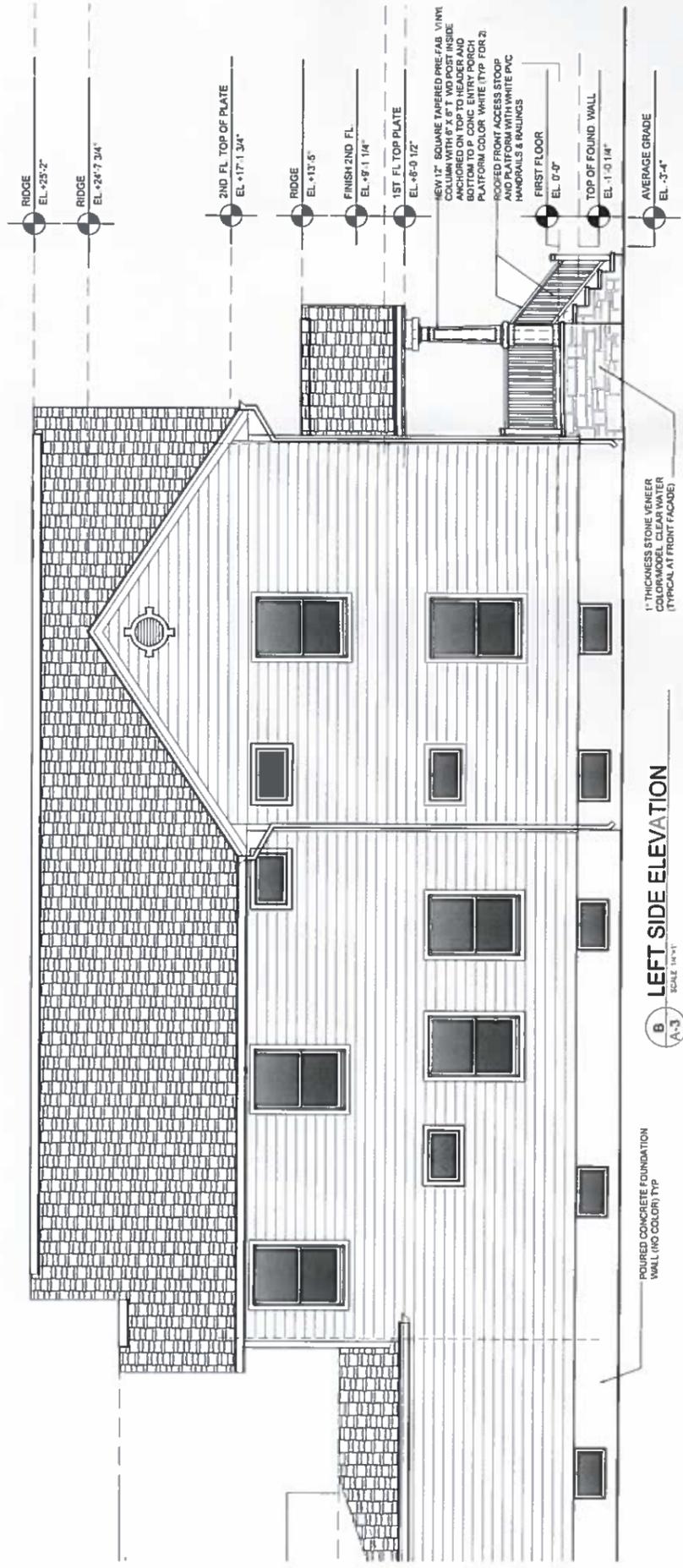
C PLUMBING RISER DIAGRAM
 NOT TO SCALE
 A-3



C STONE VENEER DETAIL
 NOT TO SCALE
 A-5



A FRONT ELEVATION
 SCALE: 1/8\"/>



B LEFT SIDE ELEVATION
 SCALE: 1/8\"/>

- 1. CABLE KENT CT. SHINGLES (P. FOR 4)
- 2. HALF FIBERGLASS OF SHINGLES. NT SIENNA MANUFACTURER
- 3. DOUBLE PANE VINYL FRAME
- 4. SIDING WITH WHITE REQUIREMENTS AND SPECIFICATIONS TURAL SLATE (DARK GREY) FACTURE
- 5. TAPERED PREFAB VINYL 6\"/>

POURED CONCRETE FOUNDATION WALL (NO COLOR) TYP

1\"/>

NEW 12\"/>

ROOFED FRONT ACCESS STOOP AND PLATFORM WITH WHITE PVC HANDRAILS & RAILINGS

FIRST FLOOR EL: 0'-0\"/>

TOP OF FOUND. WALL EL: 1'-0 1/4\"/>

AVERAGE GRADE EL: -3'-4\"/>

2ND FL. TOP OF PLATE EL: +17'-1 3/4\"/>

FINISH 2ND FL. EL: +9'-1 1/4\"/>

1ST FL. TOP OF PLATE EL: +8'-0 1/2\"/>

RIDGE EL: +13'-5\"/>

RIDGE EL: +25'-2\"/>

RIDGE EL: +24'-7 3/4\"/>

VLADIMIR CONSTANT P.E.
 7 Melick Court
 Weehawken, New York 11590
 Phone: (516) 779-2343
 E-MAIL: v.constant@yahoo.com



MAR
DRAFTING CORPORATION
 RESIDENTIAL & COMMERCIAL DESIGN
 33 LAMONT PLACE
 WEST BABYLON, NY 11794
 MOBILE: (631) 704-6601

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

APPLICATION NO.

APPLICANT/OWNER
 Franklin De los Santos
 Address
 81 Paine Street,
 Lindenhurst,
 New York 11757.
 Email: delosantosfranklin44@yahoo.com
 PHONE
 (516) 353-2973
 EMERGENCY CONTACT
 NAME MIGUEL RAMIREZ
 PHONE
 (631) 704-6601

PROJECT TITLE
 PROPOSED 2-STORY
 WOOD FRAME W/ STONE
 AND VINYL SIDING
 1-FAMILY RESIDENCE
 (VACANT LOT) 284 NORTH COLUMBUS AVENUE
 FREEPORT, N.Y. 11520
 SEC 55 BLK 357 LOT 868

DRAWING TITLE
 REAR ELEVATION, RIGHT
 SIDE ELEVATION AND
 GENERAL CONSTRUCTION
 NOTES AND DETAILS

DRAWN/DESIGN BY	DRAWING NO
MIGUEL RAMIREZ	
CHECKED BY: VLADIMIR CONSTANT	
DATE SEP 2023	
PROJECT NO A-4	
SHEET NO 5	

STRAPPING SCHEDULE A

NO. 10 THIS SCHEDULE USES 1/2" X 1/4" X 1/4" GALV. STEEL STRAPS
 SECTION FOR WOOD OPTIMUM FRAMING REQUIREMENTS
 ALL WALLS & GENERAL SPECIFICATION APPLIES UNLESS NOTED OTHERWISE

ROOF & CEILING FRAMING

ITEM	DESCRIPTION	QUANTITY	UNIT
1	RAFTER TO TOP PLATE (10# NAIL)	3.00	PER JOIST
2	CEILING JOIST TO TOP PLATE (10# NAIL)	3.00	PER JOIST
3	CEILING JOIST TO PARALLEL RAFTER (FACE NAIL)	7.00	EACH LAP
4	CEILING JOIST LAP OVER PARTITION	4.00	EACH LAP
5	CEILING JOIST LAP OVER PARTITION	3.00	EACH LAP
6	CEILING JOIST LAP OVER PARTITION	3.00	EACH LAP
7	CEILING JOIST LAP OVER PARTITION	3.00	EACH LAP
8	CEILING JOIST LAP OVER PARTITION	3.00	EACH LAP
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100	CEILING JOIST LAP OVER PARTITION	3.00	EACH LAP

FLOOR FRAMING

ITEM	DESCRIPTION	QUANTITY	UNIT
1	JOIST TO BALL TOP PLATE (10# NAIL)	4.00	PER JOIST
2	BRIDGING TO JOIST (10# NAIL)	2.00	EACH END
3	BRIDGING TO JOIST (10# NAIL)	2.00	EACH END
4	BRIDGING TO JOIST (10# NAIL)	2.00	EACH END
5	BRIDGING TO JOIST (10# NAIL)	2.00	EACH END
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100	BRIDGING TO JOIST (10# NAIL)	2.00	EACH END

ROOF SHEATHING

ITEM	DESCRIPTION	QUANTITY	UNIT
1	STRUCTURAL PANELS	1.00	PER FOOT
2	PERIMETER EDGE	1.00	PER FOOT
3	INTERIOR ZONE	1.00	PER FOOT
4	DIAGONAL BOARD SHEATHING	1.00	PER FOOT
5	1" X 6" ON 12"	1.00	PER FOOT
6	1" X 6" ON 12"	1.00	PER FOOT
7	1" X 6" ON 12"	1.00	PER FOOT
8	1" X 6" ON 12"	1.00	PER FOOT
9	1" X 6" ON 12"	1.00	PER FOOT
10	1" X 6" ON 12"	1.00	PER FOOT
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17	1" X 6" ON 12"	1.00	PER FOOT
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19	1" X 6" ON 12"	1.00	PER FOOT
20	1" X 6" ON 12"	1.00	PER FOOT
21	1" X 6" ON 12"	1.00	PER FOOT
22	1" X 6" ON 12"	1.00	PER FOOT

Application Date: 4/4/2024
Fees Paid: \$525.00

SP# 3724

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 177 ATLANTIC AVE ZONING DISTRICT B (BUSINESS)
SECTION 62 BLOCK 82 LOT 40 LOT SIZE: _____

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER	
Name: <u>PATRICIO SOLAR</u>			Name: <u>MERKOURIOS ANGELEIDES</u>	
Address: <u>155 1ST STREET SUITE 102</u> <u>MINEOLA NY 11501</u>			Address: <u>2 LIGHT HOUSE ROAD</u> <u>SANDS POINT NY 11050</u>	
Telephone #: <u>516-655-4840</u>			Telephone #: _____	

Attorney Name: N/A Address: _____
(optional) Phone #: _____

Present Land Use: BUSINESS - B Proposed Land Use: BUSINESS - B
DAIRY BARN READY COFFEE

Description of Proposed Work: INTERNAL + EXTERNAL ALTERATION OF EXISTING
DAIRY BARN TO NEW READY COFFEE. NO CHANGE IN USE, OCCUPANCY OR
ENLARGEMENT.

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied. _____ YES NO

[Signature]
APPLICANT'S SIGNATURE
Sworn to before me this 15
day of March, 2024.
[Signature]
Notary Public

EILEEN RUFFANO
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01RU4996851
Qualified in Nassau County
Commission Expires May 26, 2026

DATE 03/15/2024

RECEIVED
2024 APR - 4 AM 10:15
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Property Owner's Consent:
I, MERKOURIOS ANGELEIDES am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 15
day of March, 2024.
[Signature]
Notary Public

EILEEN RUFFANO
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01RU4996851
Qualified in Nassau County
Commission Expires May 26, 2026

DATE 03.15.24

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO
Date of Hearing: _____
Date of Decision: _____
Approved _____ Denied _____



RECEIVED

2024 APR -4 A 10:15

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

March 19, 2024
SITE PLAN LETTER

Merkourios Angeliades
1 Light House Road
Sands Point, NY 11050

RE: 177 Atlantic Avenue, Freeport, NY 11520
Zoning District – Business B – Sec. 62 Block 82 Lot 40
Building Permit Application #20243632
Description – Exterior alteration to existing commercial building

Dear Sir/Madam:

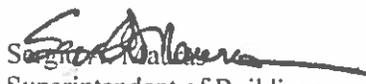
The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,


Sergio A. Mauras
Superintendent of Buildings

/cd
encl.
c:Village Clerk
Salvatore Ferrara, R.A.

ZBA Approval Needed: Yes No

VILLAGE OF FREEPORT
Department of Buildings
+

Notice

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2024 APR -4 A 10: 15
Positive Declaration

X Negative Declaration

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project : Building Permit App. # 20201945

Location: 177 Atlantic Avenue, Freeport, New York 11520

Applicant: Merkourios Angeliades

Description: Exterior alteration to existing commercial building

Lead Agency: Department of Buildings for the Board of Trustees Village of Freeport 46 North Ocean Avenue, Freeport, NY

Agency Contact Person: Superintendent of Buildings (516) 377-2242

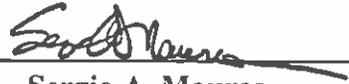
REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

DATED: March 19, 2024


Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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 REPORT BUILDING DEPT.

617.20
 Appendix B
 Short Environmental Assessment Form

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 CLERK'S OFFICE
 VILLAGE OF FREEPORT, NY

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
READY COFFEE							
Name of Action or Project: DAIRY BARN Alteration interior/ exterior							
Project Location (describe, and attach a location map): 177 ATLANTIC AVE FREEPORT							
Brief Description of Proposed Action: interior & exterior ALTERATION OF EXISTING DAIRY BARN							
Name of Applicant or Sponsor: PATRICIO SOLAR		Telephone: 516.655.4840					
		E-Mail: PSOLAR@CRCD.INFO					
Address: 155 1st ST MINEOLA NY							
City/PO: MINEOLA		State: NY	Zip Code: 11501				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		10.670 acres					
b. Total acreage to be physically disturbed?		0 acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0 acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban	<input type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input checked="" type="checkbox"/> Commercial				
<input type="checkbox"/> Forest	<input type="checkbox"/> Agriculture	<input type="checkbox"/> Aquatic	<input checked="" type="checkbox"/> Residential (suburban)				
<input type="checkbox"/> Parkland	<input type="checkbox"/> Other (specify): _____						

FEB 6 2024

FREEPORT BUILDING DEPT.

<p>5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?</p>	<p><input type="checkbox"/> NO <input checked="" type="checkbox"/> YES <input type="checkbox"/> N/A</p>
<p>6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?</p>	<p><input type="checkbox"/> NO <input checked="" type="checkbox"/> YES</p>
<p>7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____</p>	<p><input checked="" type="checkbox"/> NO <input type="checkbox"/> YES</p>
<p>8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?</p>	<p><input checked="" type="checkbox"/> NO <input type="checkbox"/> YES</p>
<p>9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____</p>	<p><input type="checkbox"/> NO <input checked="" type="checkbox"/> YES</p>
<p>10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____</p>	<p><input type="checkbox"/> NO <input checked="" type="checkbox"/> YES</p>
<p>11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____</p>	<p><input type="checkbox"/> NO <input checked="" type="checkbox"/> YES</p>
<p>12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?</p>	<p><input checked="" type="checkbox"/> NO <input type="checkbox"/> YES</p>
<p>13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____</p>	<p><input checked="" type="checkbox"/> NO <input type="checkbox"/> YES</p>
<p>14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban</p>	
<p>15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?</p>	<p><input checked="" type="checkbox"/> NO <input type="checkbox"/> YES</p>
<p>16. Is the project site located in the 100 year flood plain?</p>	<p><input type="checkbox"/> NO <input checked="" type="checkbox"/> YES</p>
<p>17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES</p>	<p><input checked="" type="checkbox"/> NO <input type="checkbox"/> YES</p>

VILLAGE OF FREEPORT, NY
CLEAN'S OFFICE

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?
 If Yes, explain purpose and size: _____

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FREEPORT BUILDING DEPT.

NO YES

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?
 If Yes, describe: _____

NO YES

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?
 If Yes, describe: _____

NO YES

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: Patricio Solar Date: 02/05/24

Signature: _____

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

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 VILLAGE OF FREEPORT

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 FREEPORT BUILDINGS DEPT.

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 VILLAGE OF FREEPORT, NY

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

STORE #185

PROPERTY SURVEY SITUATED IN FREEPORT NASSAU COUNTY, NEW YORK

NASSAU COUNTY TAX MAP SECTION 62, BLOCK 82, LOTS 40, 41 & 44

Melvin Kieger, P.L.S.
LICENSED LAND SURVEYOR

46 KNOLLWOOD ROAD
ROCKVILLE CENTER, NY 11570

SCALE 1"=20'

SHEET 1 OF 1

SURVEY NO. TP 904709

DATE NOVEMBER 17, 2009

CERTIFIED TO:

SIMI ENT., LLC

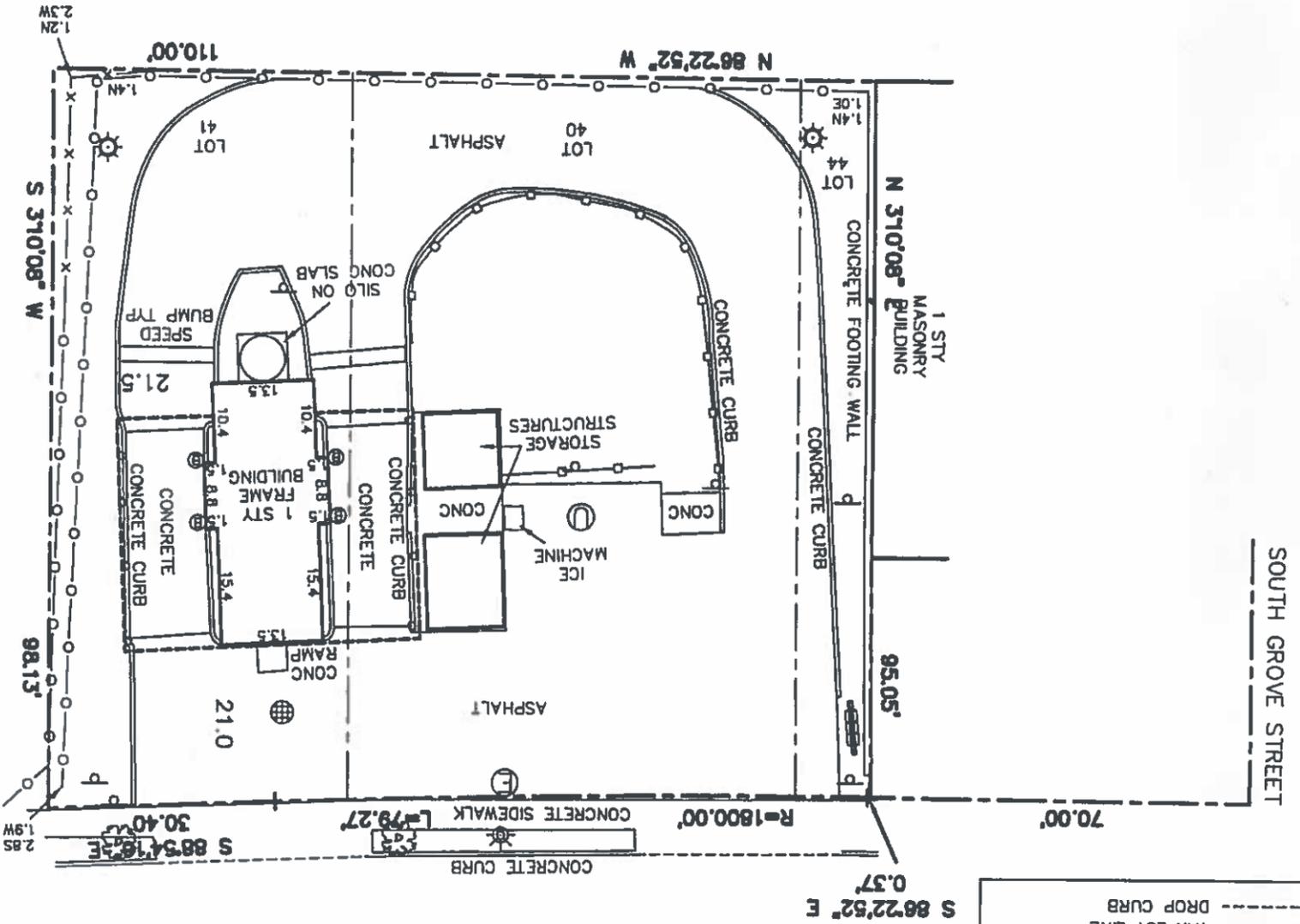
TITLEPRO AGENCY, LLC

STEWART TITLE INSURANCE CO.

N.Y.S. LICENCE NO. 39831



Melvin Kieger



LEGEND	
	TREE
	DRAIN MAN HOLE
	ELECTRIC MAN HOLE
	SEWER MAN HOLE
	TELEPHONE MAN HOLE
	UNKNOWN MAN HOLE
	CLEANOUT MAN HOLE
	DROP INLET
	METAL LIGHT POLE
	WOOD UTILITY POLE
	FLAG POLE
	WOOD POST
	METAL COLUMN
	GAS VALVE
	WATER VALVE
	HYDRANT
	ELECTRIC BOX
	TRAFFIC CONTROL BOX
	CATCH BASIN
	CURB INLET
	SIGN
	MONUMENT
	COMMERCIAL SIGN
	GUY WIRE
	CHAIN LINK FENCE
	STOCKADE FENCE
	SPLIT RAIL FENCE
	BUILDING OVERHANG
	PROPERTY LINE
	TAX LOT LINE
	DROP CURB

ATLANTIC AVENUE

SOUTH GROVE STREET

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 VILLAGE OF FREEPORT, NY



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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



NORTH ELEVATION



NORTH ELEVATION



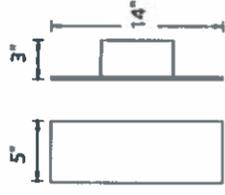
WEST ELEVATION



SOUTH ELEVATION

READY COFFEE (DAIRY BARN)
177 Atlantic Ave. Freeport NY





WAC LIGHTING, Inc.
 MS-MS564L BZ
 RW (645 LED Lumens)



WALL PANEL by Mohs
 Wynlewood (AWF 1918)
 Color: Ash

Cloud Cover
 855



Benjamin Moore

PAINT Benjamin Moore #655-Cloud Cover



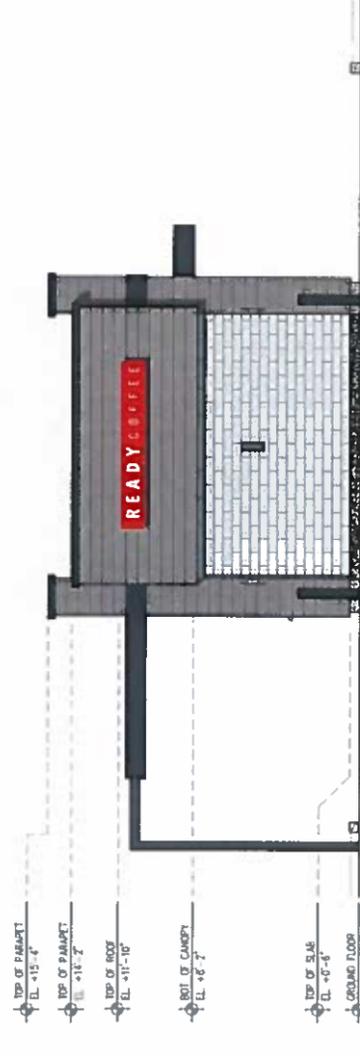
THIN BRICK by Belden Brick Company
 Polar White Clear
 Painted, Benjamin Moore #655-Cloud Cover



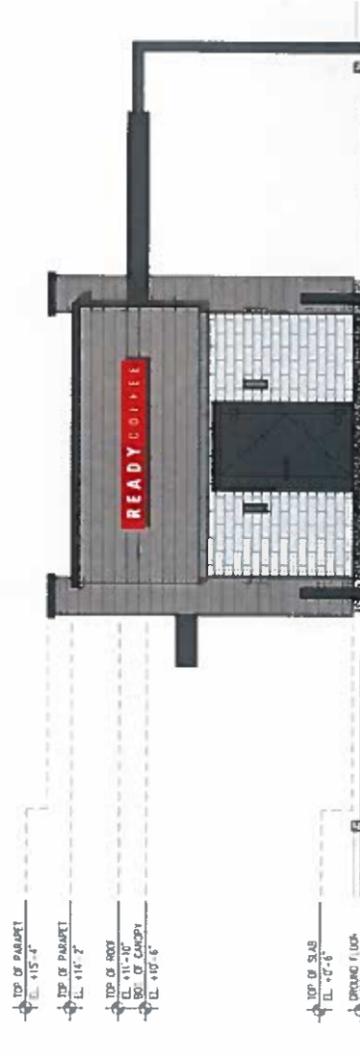
WEST ELEVATION



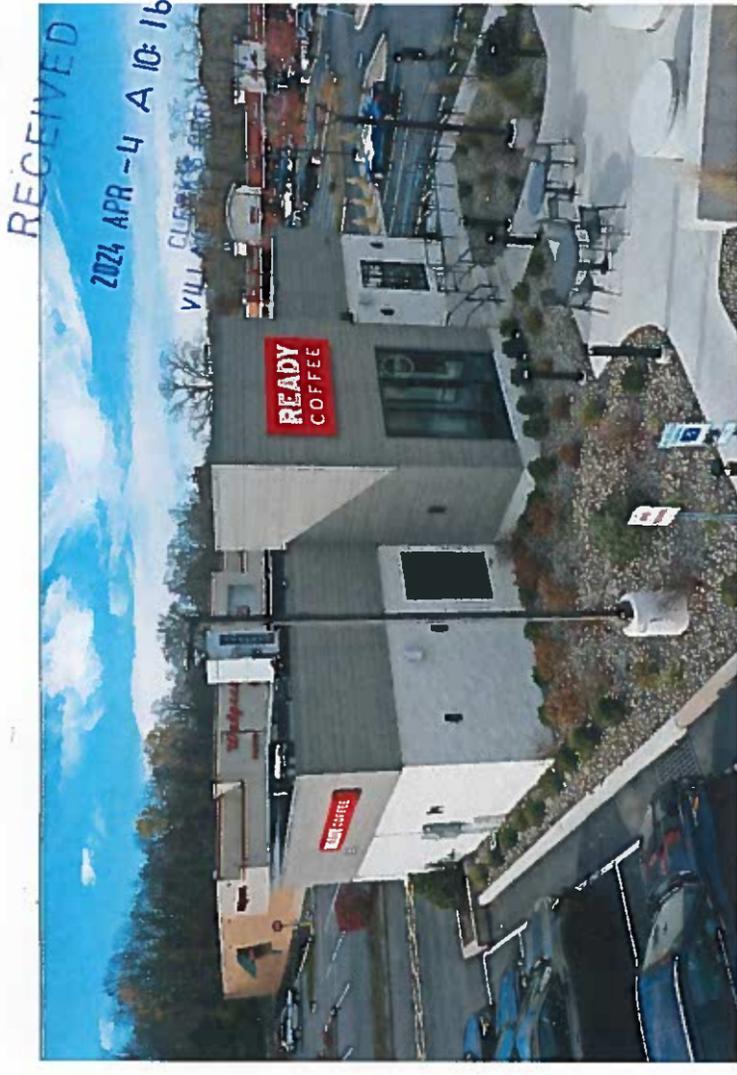
EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



EXISTING READY COFFEE
 LeGrange New York



EXISTING READY COFFEE
 LeGrange New York

Application Date: 4/4/2024
Fees Paid: 225.00

SP# 3725

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 255 S. Ocean Ave Freeport NY ⁴⁷²⁰ ZONING DISTRICT RES AA
SECTION 62 BLOCK 111 LOT 14 LOT SIZE: 0.44 Acre

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Same as owner</u>	Name: <u>Noel, Ruysland</u>
Address:	Address: <u>255 S. Ocean Ave</u> <u>Freeport NY 11520</u>
Telephone #: <u>Same</u>	Telephone #: <u>516 312 2267</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: 2 story addition 524 sqft and
EXPANDED DECK 190 sq. ft

I request a preliminary meeting: ___ YES X NO

- I request a waiver of the public hearing and hereby certify the following:
- A. The subject property is zoned Residence A or Residence AA.
 - B. The proposed construction is not a new building or dwelling.
 - C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
- _____ X YES _____ NO

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

[Signature]
APPLICANT'S SIGNATURE PEGGY M. LESTER 3-18-2024
 Sworn to before me this 18 day of MARCH, 2024.
 Notary Public Notary Public
 No. 01LE6293122
 Qualified in Nassau County
 Commission Expires Nov. 25, 2025
 DATE

Property Owner's Consent:
I, Ruysland Noel am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
PROPERTY OWNER'S SIGNATURE PEGGY M. LESTER 3-18-2024
 Sworn to before me this 18th day of MARCH, 2024.
 Notary Public Notary Public
 No. 01LE6293122
 Qualified in Nassau County
 Commission Expires Nov. 25, 2025
 DATE

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: ___ YES ___ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



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INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER

March 12, 2024

**Ruysland Noel
255 South Ocean Avenue
Freeport, NY 11520**

RE: 255 S Ocean Avenue Freeport, NY 11520

Zoning District – Residence AA Sec. 62 Blk. 111 , Lot 14

Building Permit Application #20243624

Description– 2 Story addition (524 Sq. Ft) and expanded deck (190 Sq.Ft)

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-3632.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes__ No_X_

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

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2024 APR -4 P 12: 15

X Negative Declaration

Positive Declaration
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20243624

Location: 255 S Ocean Ave Freeport, NY 11520

Applicant: Ruysland Noel

Description: 2 Story addition (524 Sq. Ft) and expanded deck (190 Sq.Ft)

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: March 12, 2024

Sergio A. Mauras

Sergio A. Mauras

Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

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Instructions for Completing

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information <i>Addition - Ruysland Noel</i>	
Name of Action or Project: <i>Addition</i>	
Project Location (describe, and attach a location map): <i>285 S. Ocean Ave Freeport NY 11520</i>	
Brief Description of Proposed Action: <i>Addition - & extended SECIC</i>	
Name of Applicant or Sponsor: <i>Ruysland Noel</i>	Telephone: <i>516 312 2207</i>
	E-Mail: <i>noelruysland@yahoo.com FR</i>
Address: <i>255</i> <i>same as above</i>	
City/PO:	State: Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	NO YES <input type="checkbox"/> <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:	NO YES <input type="checkbox"/> <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____ acres	<i>According to the plan</i>
b. Total acreage to be physically disturbed? _____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland	



2024 APR -4 P 12: 15

CLERK'S OFFICE

<p>5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?</p>	<p>NO <input type="checkbox"/></p>	<p>YES <input checked="" type="checkbox"/></p>	<p>N/A <input type="checkbox"/></p>
<p>6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?</p>	<p>NO <input type="checkbox"/></p>	<p>YES <input checked="" type="checkbox"/></p>	
<p>7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____</p>	<p>NO <input checked="" type="checkbox"/></p>	<p>YES <input type="checkbox"/></p>	
<p>8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?</p>	<p>NO <input checked="" type="checkbox"/></p>	<p>YES <input type="checkbox"/></p>	
<p>9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____</p>	<p>NO <input checked="" type="checkbox"/></p>	<p>YES <input type="checkbox"/></p>	
<p>10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____</p>	<p>NO <input type="checkbox"/></p>	<p>YES <input checked="" type="checkbox"/></p>	
<p>11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____</p>	<p>NO <input type="checkbox"/></p>	<p>YES <input checked="" type="checkbox"/></p>	
<p>12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?</p>	<p>NO <input checked="" type="checkbox"/></p>	<p>YES <input type="checkbox"/></p>	
<p>13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____</p>	<p>NO <input checked="" type="checkbox"/></p>	<p>YES <input type="checkbox"/></p>	
<p>14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban</p>			
<p>15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?</p>	<p>NO <input checked="" type="checkbox"/></p>	<p>YES <input type="checkbox"/></p>	
<p>16. Is the project site located in the 100 year flood plain?</p>	<p>NO <input checked="" type="checkbox"/></p>	<p>YES <input type="checkbox"/></p>	
<p>17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____</p>	<p>NO <input checked="" type="checkbox"/></p>	<p>YES <input type="checkbox"/></p>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Ruysland Noel</u>		Date: <u>2-1-2024</u>
Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

		No, or small impact may occur	Moderate to large impact may occur	
RECEIVED APR - 4 2024 CLERK'S OFFICE OFFICE OF THE VICE CHIEF OF POLICE	1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	7. Will the proposed action impact existing:	a. public / private water supplies?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
		b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) <u>255 S. Ocean Ave NY 11520</u> ZONING DISTRICT <u>Res. AA</u>
	BETWEEN <u>S. Ocean</u> AND <u>Archer</u>
	SECTION _____ BLOCK _____ LOT _____ APPROX. LOT SIZE _____ X _____ LOT AREA <u>1864</u>

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

<p>A. TYPE OF IMPROVEMENT</p> <p>1 New building</p> <p>2 Addition-Alteration (if residential, enter number of new housing units added. If none-state none)</p> <p>3 Swimming Pool</p> <p>4 Repair (replacement)</p> <p>5 Bulkhead (New, Repair)</p> <p>6 Fence</p> <p>7 Moving (relocation)</p>	<p>B. PROPOSED OR EXISTING USE</p> <p>RESIDENTIAL</p> <p>11 One Family</p> <p>12 Two families</p> <p>13 Apartment - Enter No. of Units _____</p> <p>14 Transient hotel, motel, or dormitory - Enter No. of Units _____</p> <p>15 Garage or Accessory Structure</p> <p>16 Other - Specify _____</p> <p>NON RESIDENTIAL - Complete Part "E"</p> <p>17 Industrial</p> <p>18 Office, bank, professional</p> <p>19 Stores, mercantile</p> <p>20 Church, other religious</p> <p>21 Hospital, institutional</p> <p>22 Other - Specify _____</p>
<p>C. COST</p> <p>10 TOTAL COST OF IMPROVEMENT \$ <u>69,000</u></p>	<p>D. DESCRIPTION OF PROJECT</p> <p><u>Addition - New 2.5 story 500' expanded Deck</u></p>

III. IDENTIFICATION - To be completed by all applicants

	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee	<u>Ruysland Noel</u>	<u>255 S. Ocean Ave Free Port NY 11520</u>	<u>516 312 2207</u>
2. Contractor	<u>JFK Rogers Constr</u>	<u>125 Stevens St Freeport NY 11520</u>	
3. Architect or Engineer	<u>John F. @ Pobian CO</u>	<u>159 Doug H W Boulevard, Inwood NY 11096</u> <u>516 239-8775</u>	<u>516 239 8725</u>

IV. OWNER - CONTRACTOR STATEMENT

Building permit is issued subject to the provisions of Section 57 of the Workmen's Compensation Law.

Workmen's Compensation Certificate No. NYS D 907564⁰⁰ Company Sake Sure Exp. Date 01-31-25

Contractor or Owner Ruysland Noel (Print)

Address 255 S. Ocean Ave Free Port NY 11520

Phone 516 312 2207

State of New York
County of Nassau

Ruysland Noel being duly sworn, says that _____ is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of his knowledge and belief and agrees to conform to all applicable laws of this jurisdiction. (His or Her)

Sworn to before me this 1st day of February 2024

AMARILIS A LEDESMA
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01LE6382087
Qualified in Nassau County
Commission Expires October 15, 2026

V. FLOOD ZONE

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?
YES _____ NO

IF YES, WHICH ZONE? _____

IS PROJECT TO REPAIR FLOOD DAMAGE?
YES _____ NO

PROJECT DESCRIPTION

Total/First Floor Square Feet

Upper Floors Square Feet

of Fixtures 3

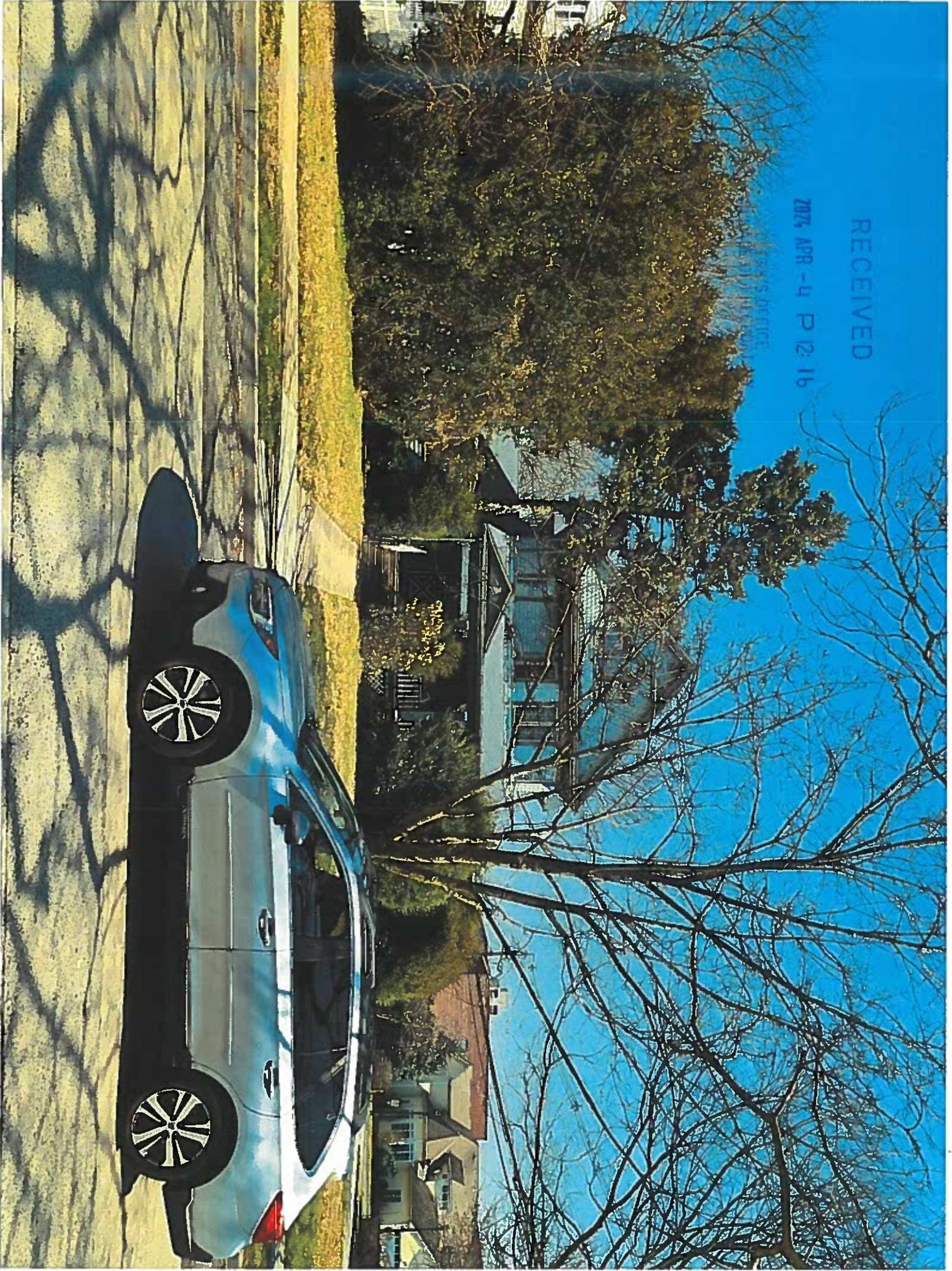
of Floors 2.5

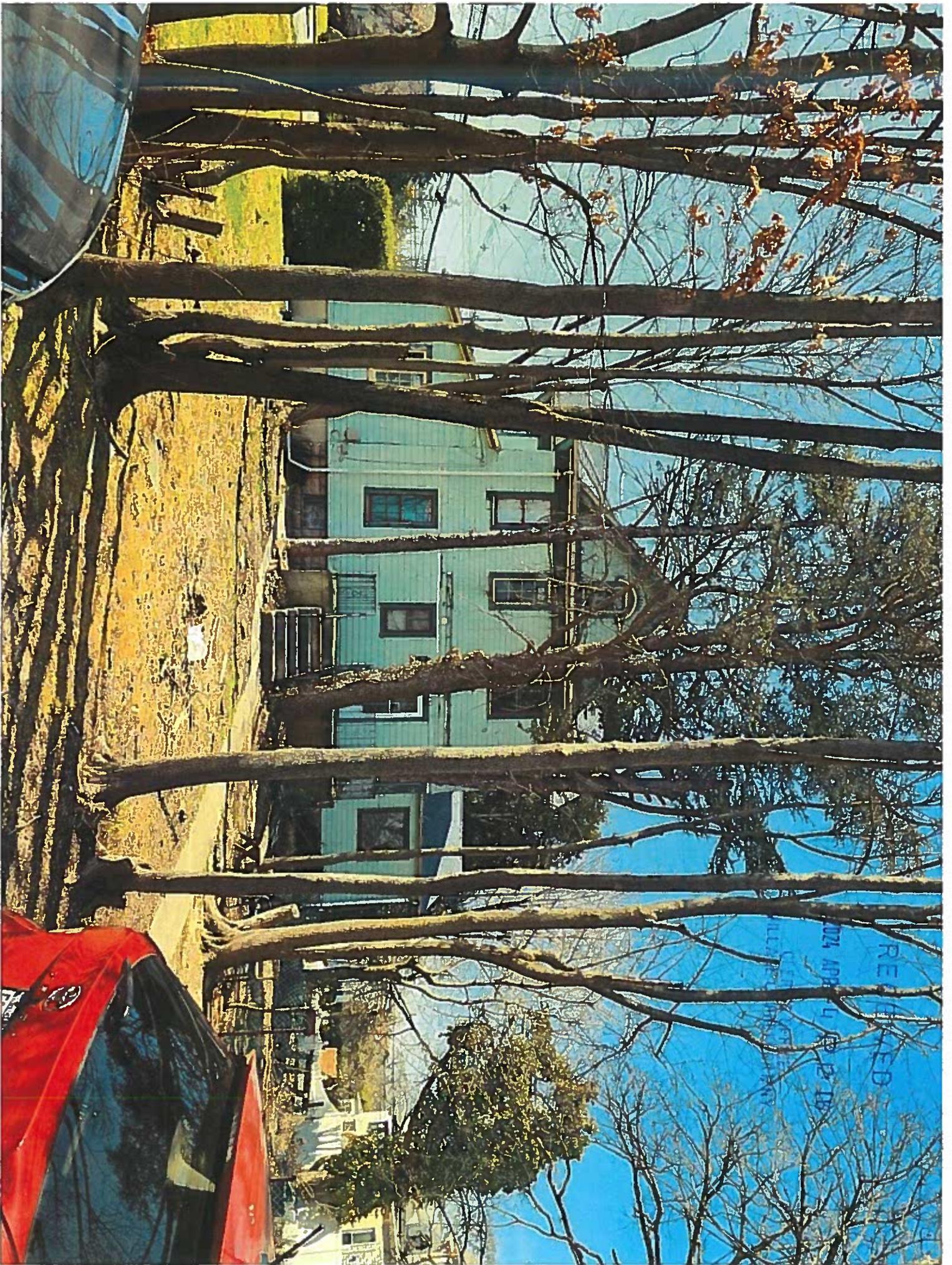
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VILLAGE OF FALLPORT, NY

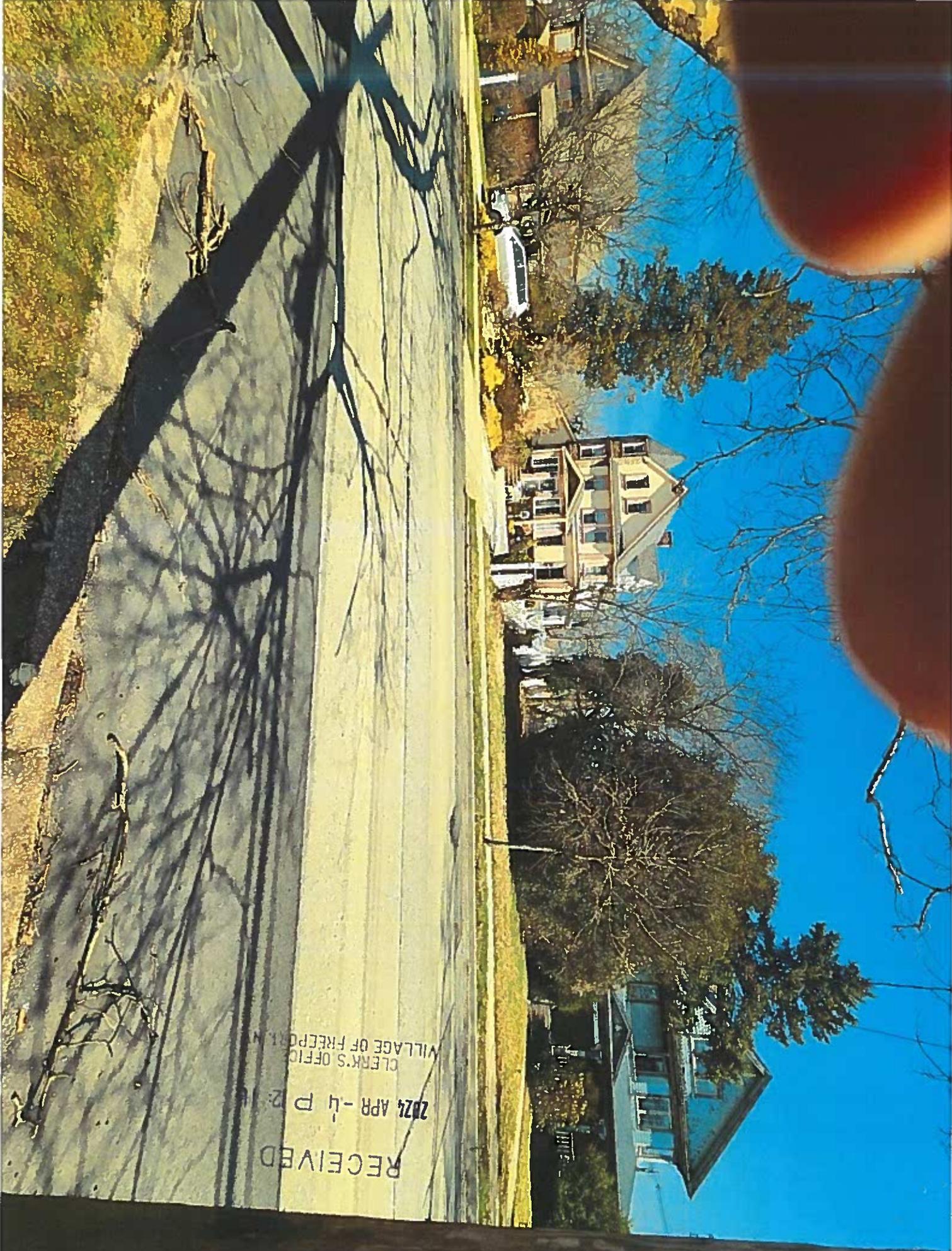
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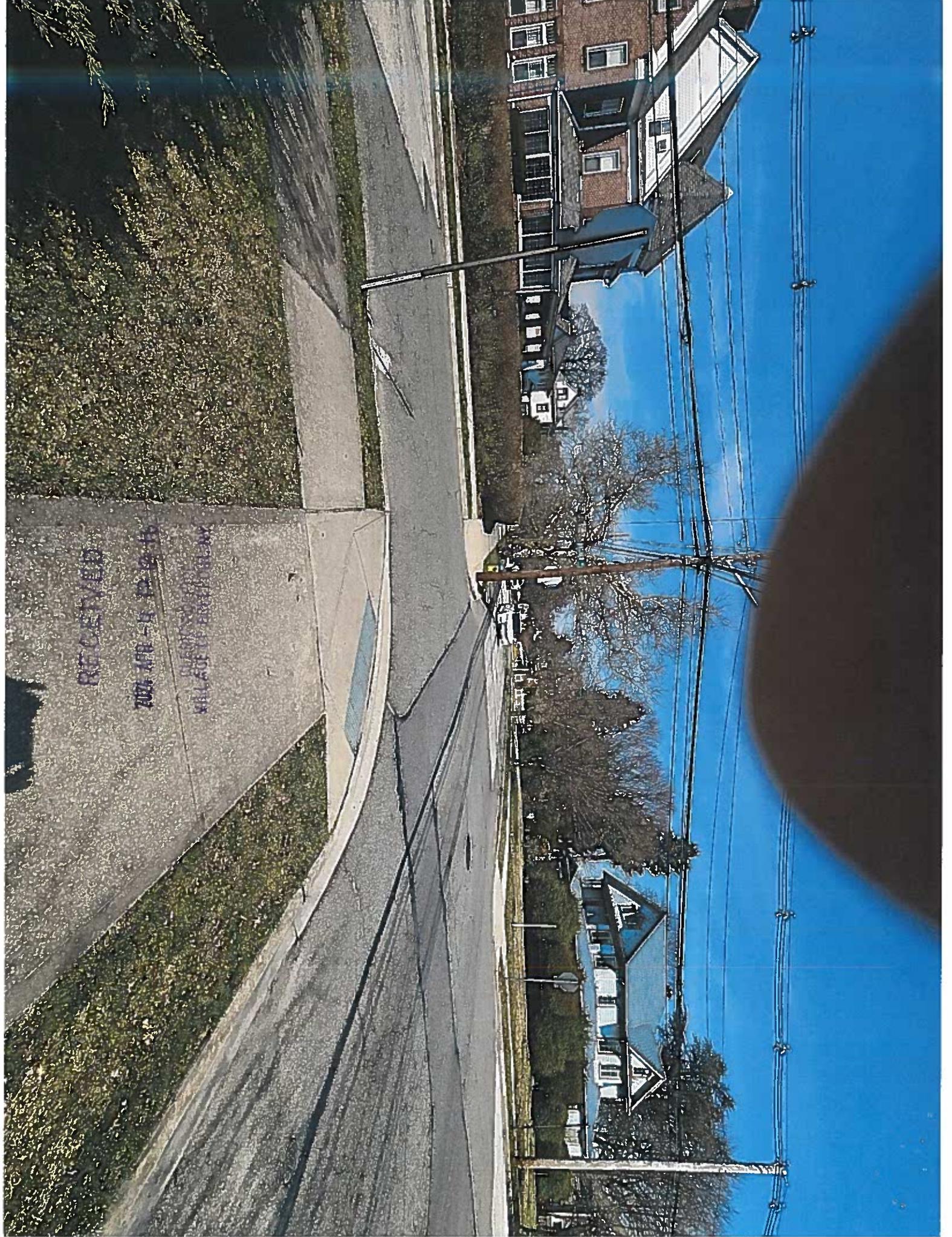
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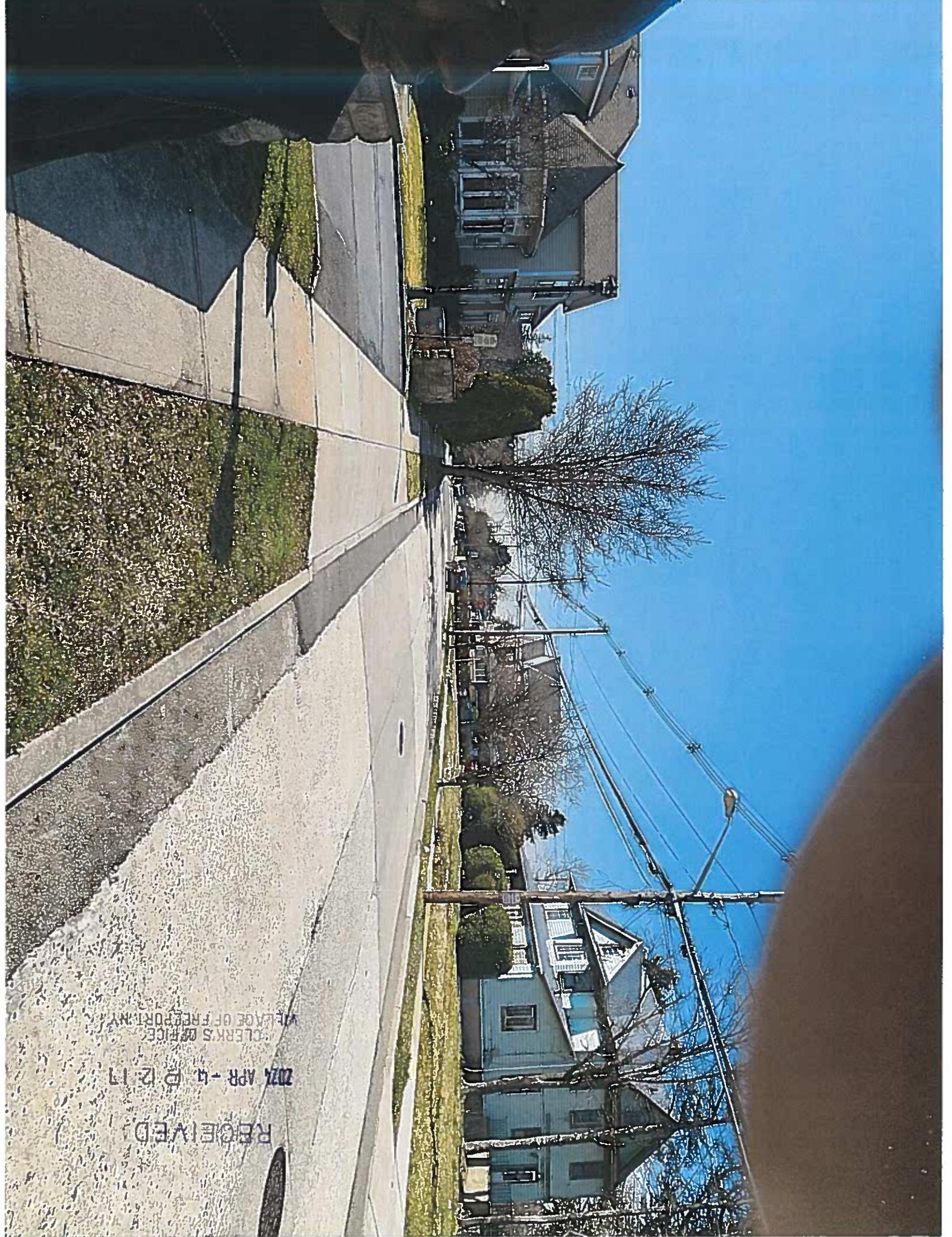


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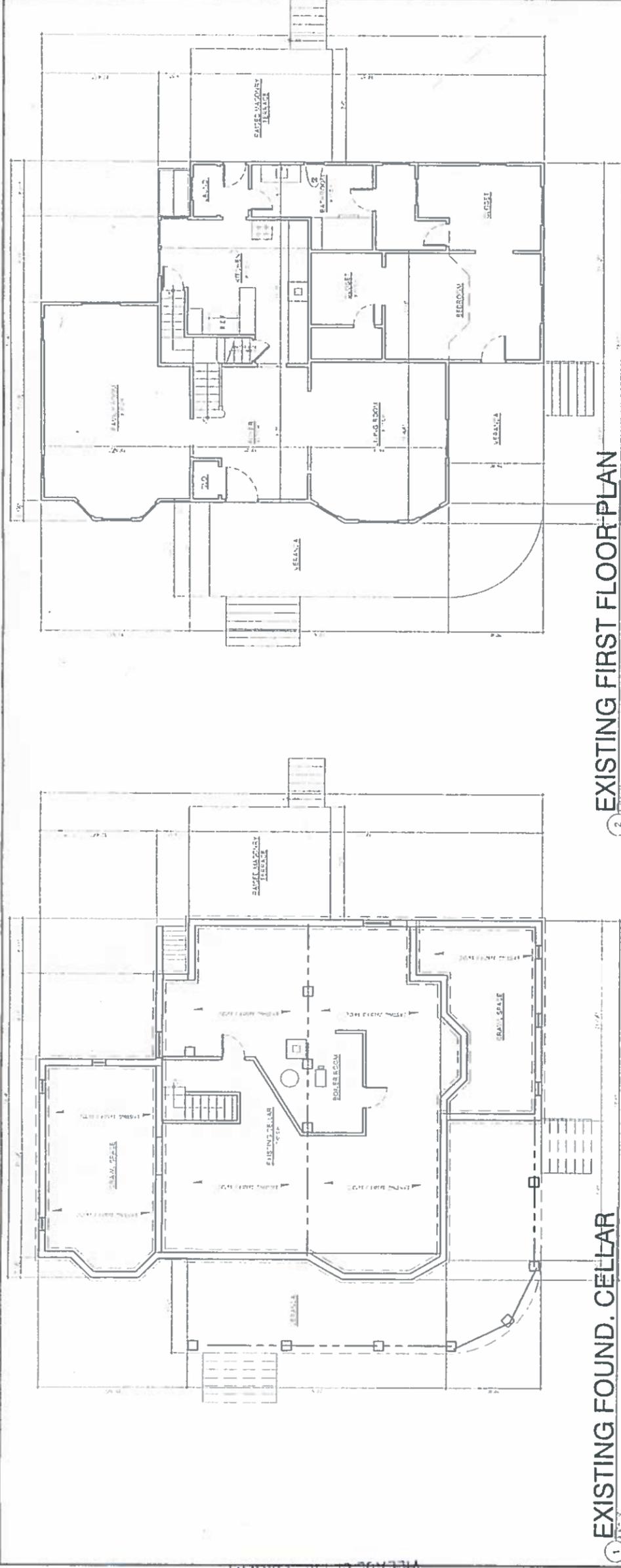
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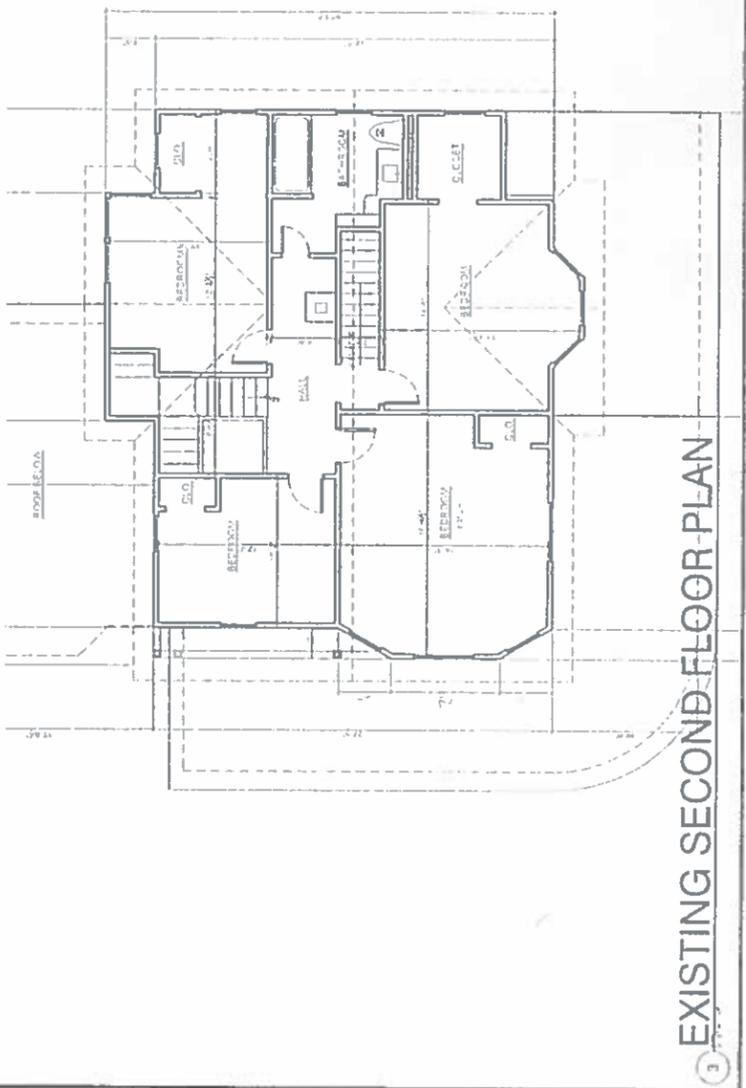
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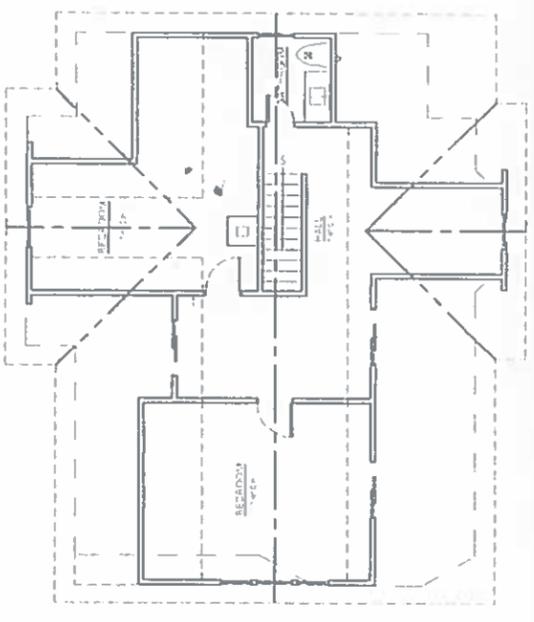


1 EXISTING FOUND. CELLAR

2 EXISTING FIRST FLOOR PLAN



3 EXISTING SECOND FLOOR PLAN



4 EXISTING ATTIC FLOOR PLAN

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John F. Capobianco
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(516) 734-8175 Fax: (516) 734-0144
www.johnfcapobianco.com

RESIDENCE
PROPOSED TWO STORY
ADDITION & RENOVATION
255 SOUTH OCEAN AVE
FREEPORT NY

DATE: _____
REVISIONS: _____
DRAWN BY: _____
CHECKED BY: _____
DATE: _____
SCALE: _____
SHEET: _____
TOTAL SHEETS: _____
PROJECT: _____
CLIENT: _____
ARCHITECT: _____

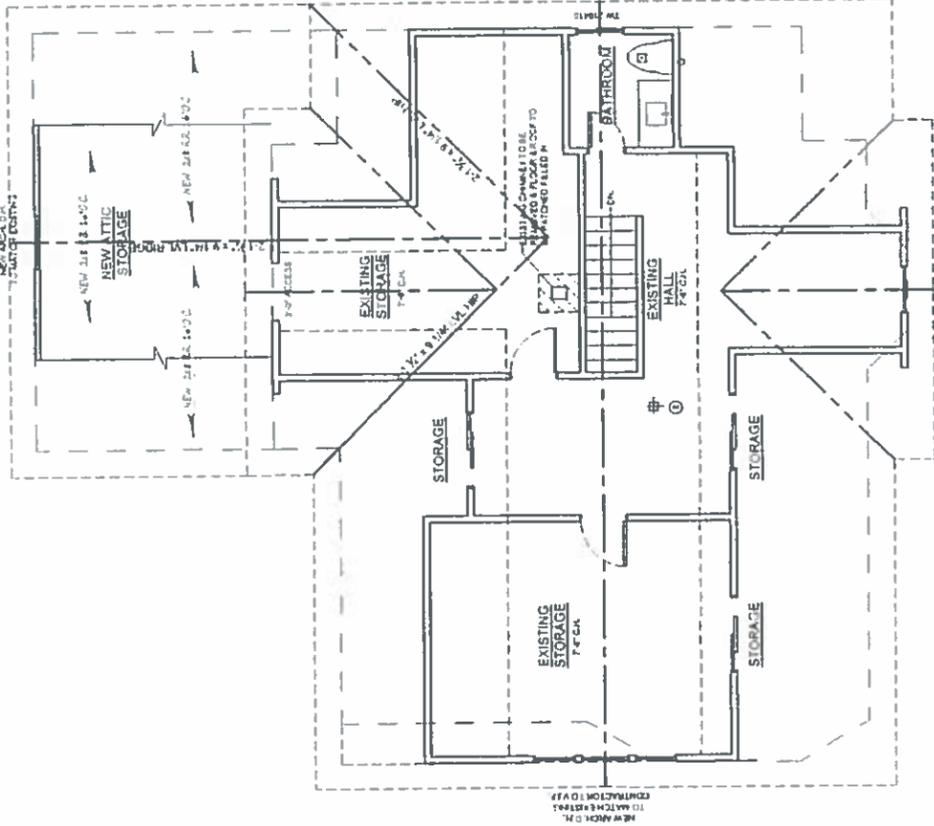
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PROPOSED ATTIC PLAN



NOTES: (FOR NEW CONSTRUCTION)

1. PROVIDE (3) JACK STUDS AT ALL OPENING HEADERS
2. PROVIDE 1/2" MINIMUM CLEARANCE BETWEEN STUDS
3. ALL GLASS AT SHOWER AND BATH TUB ENCLOSURES AND WINDOWS TO BE TEMPERED AS PER R-302.4 OF THE NYS RES CODE.
4. ALL HANGABLE SPACES MUST EXCEED BY LIGHT MINIMUM 15% OF THE TOTAL AREA.
5. ASSUME 1.5 TSP SOUL BEARING CAPACITY V/F
6. USE HEAVY DUTY HANGERS FOR ENGINEERED LUMBER
7. PROVIDE SOLID BLOCKING BETWEEN JOISTS UNDER ALL WALLS ABOVE
8. CS'S MAY BE SUBSTITUTED FOR LLS OF SAME SIZE
9. CS'S MAY BE SUBSTITUTED WITH APPROVAL
10. SEE ELECTRICAL PLANS FOR SMOKE AND CARBON DETECTOR LOCATIONS
11. SEE DETAILS SHEETS FOR WOOD FRAMING, STRAPPING, CONCRETE, AND STEEL DETAILS
12. DOUBLE FLOOR JOIST UNDER WALLS PARALLEL ABOVE

NEW PARTITION NOTES:

1. ALL INTERIOR & EXT. WALLS ARE TO BE 5/8" GYPSUM BOARD ON EACH SIDE OF STUD UNLESS NOTED OTHERWISE
2. PROVIDE 1/2" MOISTURE RESISTANT GYPSUM WALL BOARD ON ALL WALLS & CEILINGS AT THE BASEMENT LEVEL
3. PROVIDE 1/2" MOISTURE RESISTANT GYPSUM WALL BOARD ON WALLS & CEILINGS AT ALL BATHROOMS
4. PROVIDE 1/2" CONCRETE BOARD ON WALLS & CEILINGS AT ALL SHOWERS AND BATH TUBS.
5. PROVIDE 2"x8" STUDS AT ALL INTERIOR WALLS
6. SHEER WALLS (10'-0" OR HIGHER) TO BE 2X4 (6) LSL WITH 1/2" PLYWOOD ONE SIDE 30 NAILS 8" O/C EDGE AND 12" O/C FIELD

WINDOW NOTES

1. ALL WINDOWS TO BE CASEMENT OR DOUBLE HUNG ANDERSON 400 OR EQUAL WINDOWS WITH SCREENS. SEE ELEVATIONS/PLANS FOR MODEL #
2. ALL GLASS TO BE ADVANCED E-LOW INSULATED. SHOP DRAWINGS TO BE PREPARED FOR APPROVAL PRIOR TO ORDERING.
3. ALL WINDOW OPERATORS TO BE FIELD VERIFIED WITH GENERAL CONTRACTOR
4. ALL BEDROOM WINDOWS MEET EGRESS REQUIREMENTS AND CONFORM TO 2018 IRC, PART 310.1.1. SUCH OPENING SHALL NOT IMPIDE EGRESS IN AN EMERGENCY, SHALL HAVE A MIN. AREA OF 5.7 SQFT. WITH AN UNOBSTRUCTED CLEARANCE OF NOT LESS THAN 20" ABOVE FINISHED FLOOR
5. ALL BEDROOM WINDOWS TO BE SUPPLIED WITH STRAIGHT ARM OPERATORS (IF CASEMENT)
6. REPLACEMENT WINDOWS MUST MEET CONDITIONS OF SECTION R310.2.5 OF THE 2018 IRC
7. OPERATOR HANDLE ON WINDOWS ARE SHIPPED FROM THE INSIDE

DOOR NOTES

1. ALL INTERIOR DOORS STYLE AND FINISH AS PER INTERIOR DESIGNER. SEE PLAN FOR SIZE
2. ALL EXTERIOR DOORS TO BE ANDERSON 400 SERIES FINISH WITH SCREENS. SEE PLANS FOR SIZE
3. ALL EXTERIOR DOORS TO HAVE ADVANCED E-LOW INSULATED GLASS
4. PRIOR TO ORDERING, TO BE PREPARED FOR APPROVAL WITH GENERAL CONTRACTOR
5. ALL DOOR SIZES TO BE FIELD VERIFIED WITH GENERAL CONTRACTOR.

INSULATION SCHEDULE

MIN. ZONE 4 REQUIREMENTS AS PER TABLE R4021.2 OF 2018 IECC & N1102.1.2 OF 2018 IRC)

VAULTED CEILING	R-38 (20% OR 500 SF MAX)
CEILING	R-49 (SEE NOTE BELOW)
EXTERIOR WALLS	R-20 OR R19 + R4 (CONTINUOUS)
FLOOR	R-30

NOTE: CEILING WITH METAL DECKING AS PER R4021.2.1 (N1102.2.1). METALLIC R-38 OVER INSULATED CEILING SHALL BE FIELD VERIFIED WITH GENERAL CONTRACTOR. INSULATION EXTENDING OVER THE WALL TOP PLATE AT THE EAVES SHALL BE DETAIL TO SATISFY THE REQUIREMENT FOR R-49

HEADER SCHEDULE

NOTE: FOR NEW DOOR & WINDOW HEADERS NOT INDICATED ON PLAN

SIZE OF OPENING	REQUIRED MEMBER
UP TO 3'-6"	(2) 2" x 8"
UP TO 6'-0"	(2) 2" x 10"
UP TO 8'-0"	(2) 2" x 12"

FOR ALL HEADER POST NOT SPECIFIED
 USE (2) 2"x4" POST FOR OPENINGS < 6'-0"
 USE (3) 2"x4" POST FOR OPENINGS > 6'-0"

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John F. Capobianco
 Architect/Interior Designer/Planner AIA
 158 Battery Boulevard, Wood NY 11793
 (516) 224-7777 Fax: (516) 224-0171

REVISIONS	DATE

NOTES: These drawings are the property of the Architect and they are not to be used for any other project without the written consent of the Architect. The Engineer shall not be responsible for the accuracy of the information provided by the contractor. The contractor shall be responsible for the accuracy of the information provided by the contractor.

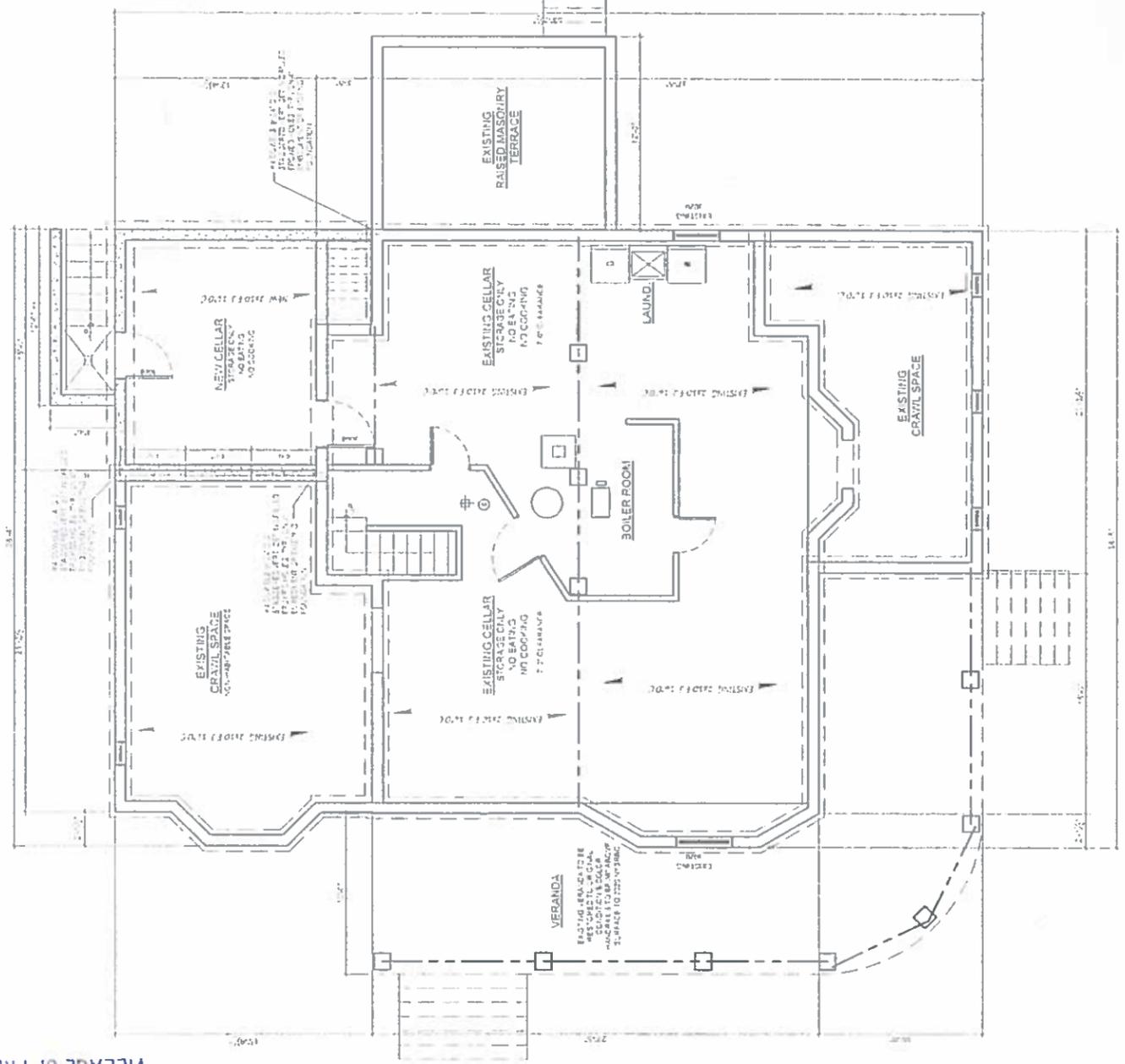
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PROPOSED TWO STORY
ADDITION & RENOVATION
 255 SOUTH OCEAN AVE
 FREEPORT NY

DATE: 04/12/24
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 DRAWN BY: J.F.C.
 CHECKED BY: J.F.C.
 SCALE: AS SHOWN

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- HEATING & COOLING
RADIANT HEAT IN FLOOR JOISTS
(OPTIONAL)
NEW HIGH-EFFICIENCY WALL-JOIST BOILER UNIT - HOT WATER STORAGE TANK, SIZING BY MECHANICAL CONTRACTOR (ENGINEER)
PROVIDE EXHAUST & FRESH AIR INTAKE
HVAC CONTRACTOR
3 HEAT PUMPS
- CONSULT HVAC CONTRACTOR / MECHANICAL ENGINEER FOR SIZING.
- INTERIOR FINISHES:
- FLOORING: STONE ON MUDSET BASE IN BATHROOMS & KITCHEN, HARDWOOD FLOORING THROUGHOUT ALL OTHER ROOMS (AS PER OWNER SELECTION)
- DOOR STYLE & HARDWARE (AS PER OWNER SELECTION)
- DOOR CASING TO AS PER OWNERS SELECTION
- BASE MOLDING - CROWN & WAINSCOT (AS PER OWNERS SELECTION)
- CEILING COFFERING AS PER OWNER
- 5/8" GYP BOARD THROUGHOUT
- PAINT TO BE SELECTED BY OWNER
- SHOWER PAN TO BE VINYL BASE MUDSET WITH SCLUTTER SYSTEM, TILE & SHOWER FIXTURES TO BE SELECTED BY OWNER.
- ELECTRIC FIXTURES:
- 4" RECESSED INSUL. CANITYP
- DECORA SWITCHES & OUTLETS
- OUTLETS INSTALLED HORIZ. IN FLOOR BASE (TYP)
- ALL ELECTRIC TO CODE BY LICENSED ELECTRICIAN
- CONTRACTOR TO PROVIDE SMOKE DETECTORS & CARBON MONOXIDE DETECTORS TO CODE.

NOTES: (FOR NEW CONSTRUCTION)

1. PROVIDE (2) JACK STUDS AT ALL OPENING HEADERS UNLESS OTHERWISE NOTED.
2. PROVIDE 1/2" MIN. INSULATION ON ALL EXTERIOR WALLS AND WINDOWS TO BE TYPED AS PER R-30 OR 4 OF THE NYS RES CODE.
3. ALL HABITABLE SPACES MEET OR EXCEED 8% FLOOR AND 4% CLEAR VENTILATION AREA.
4. PROVIDE 1/2" MIN. INSULATION ON ALL EXTERIOR WALLS ABOVE.
5. PROVIDE 2x4 STUDS AT ALL PLUMBING WALLS AND WALLS CONTAINING POCKET DOORS.
6. SHEER WALLS (10'-0" OR HIGHER) TO BE 2x4 (6) LVL WITH 1/2" PLYWOOD ONE SIDE 8D NAILS 6" O/C EDGE AND 12" O/C FIELD.

NEW PARTITION NOTES:

1. ALL INTERIOR & EXT. WALLS ARE TO BE 5/8" CEMENT BOARD ON EACH SIDE OF STUD UNLESS NOTED OTHERWISE.
2. PROVIDE 1/2" MOISTURE RESISTANT GYPSUM WALL BOARD ON ALL WALLS & CEILINGS AT THE BASEMENT LEVEL.
3. PROVIDE 1/2" MOISTURE RESISTANT GYPSUM WALL BOARD ON WALLS & CEILINGS AT ALL BATHROOMS.
4. PROVIDE 1/2" CEMENT BOARD ON WALLS & CEILINGS AT ALL SHOWERS AND BATH TUBS.
5. PROVIDE 2x4 STUDS AT ALL PLUMBING WALLS AND WALLS CONTAINING POCKET DOORS.
6. SHEER WALLS (10'-0" OR HIGHER) TO BE 2x4 (6) LVL WITH 1/2" PLYWOOD ONE SIDE 8D NAILS 6" O/C EDGE AND 12" O/C FIELD.

WINDOW NOTES

1. ALL WINDOWS TO BE CASEMENT OR DOUBLE HUNG ANDersen 400 OR EQUAL WINDOWS WITH SCREENS. SEE ELEVATIONS/PLANS FOR WINDOW SIZES & RELATED SHOP DRAWINGS TO BE PREPARED FOR APPROVAL PRIOR TO ORDERING.
2. ALL WINDOW SIZES TO BE FIELD VERIFIED WITH GENERAL CONTRACTOR.
3. PROVIDE 1/2" MOISTURE RESISTANT GYPSUM WALL BOARD ON WALLS & CEILINGS AT ALL BATHROOMS.
4. PROVIDE 1/2" CEMENT BOARD ON WALLS & CEILINGS AT ALL SHOWERS AND BATH TUBS.
5. PROVIDE 2x4 STUDS AT ALL PLUMBING WALLS AND WALLS CONTAINING POCKET DOORS.
6. SHEER WALLS (10'-0" OR HIGHER) TO BE 2x4 (6) LVL WITH 1/2" PLYWOOD ONE SIDE 8D NAILS 6" O/C EDGE AND 12" O/C FIELD.

DOOR NOTES

1. ALL INTERIOR DOORS STYLE AND FINISH AS PER INTERIOR DESIGNER. SEE PLAN FOR SIZE.
2. ALL EXTERIOR DOORS TO BE ANDERSON 400 SERIES MINIMUM 1 1/2" MINIMUM CLEARANCE UNDER DOOR.
3. ALL EXTERIOR DOORS TO HAVE ADVANCED E-LOW INSULATED GLASS.
4. SHOP DRAWINGS TO BE PREPARED FOR APPROVAL PRIOR TO ORDERING.
5. ALL DOOR SIZES TO BE FIELD VERIFIED WITH GENERAL CONTRACTOR.

INSULATION SCHEDULE

MIN. ZONE 4 REQUIREMENTS AS PER TABLE R402.1.2 OF 2018 IECC & N1102.1.2 OF 2018 IRC

VAULTED CEILINGS	R-38 (202 OR 300 5" MAX)
CEILINGS	R-49 (SEE NOTE BELOW)
EXTERIOR WALLS	R-20 OR R19 + R(CONTINUOUS)
FLOOR	R-30

NOTE: CEILING WITH LATH SPACE AS PER R402.2.1 (N1102.2.1). INSTALLING R-38 OVER 100% OF CEILING AREA WHERE THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-49

HEADER SCHEDULE

NOTE: FOR NEW DOOR & WINDOW HEADERS NOT INDICATED ON PLAN

SIZE OF OPENING	REQUIRED MEMBER
UP TO 3'-6"	(2) 2" x 8"
UP TO 6'-0"	(2) 2" x 10"
UP TO 8'-0"	(2) 2" x 12"

FOR ALL HEADER POST NOT SPECIFIED:
USE (2) 2"x4" POST FOR OPENINGS < 6'-0"
USE (3) 2"x4" POST FOR OPENINGS > 6'-0"

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(516) 234-7777
Fax: (516) 234-4418

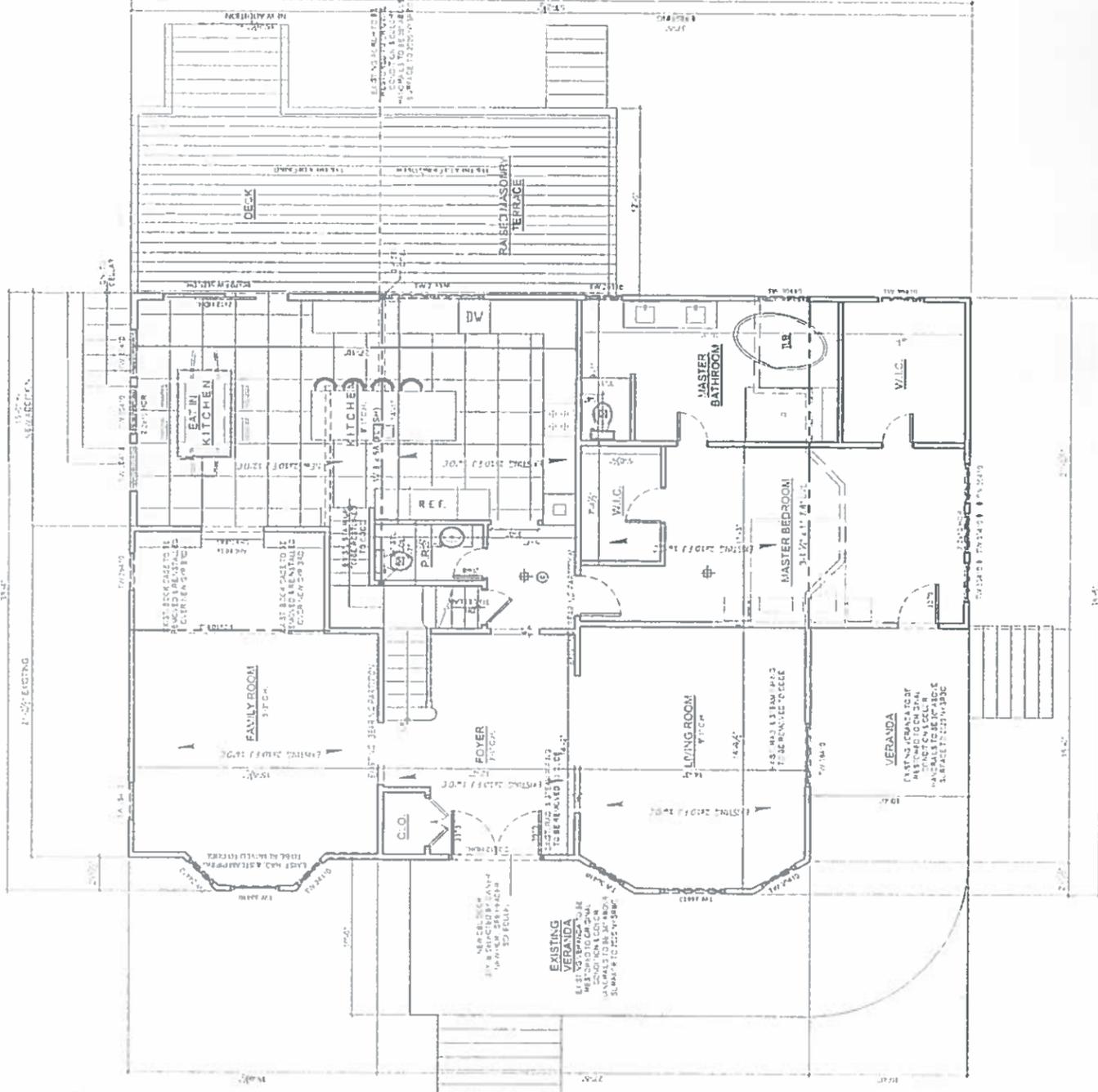
RESIDENCE
PROPOSED TWO STORY
ADDITION & RENOVATION
255 SOUTH OCEAN AVE
FREEPORT NY

FILE: FOUNDATION PLAN
DATE: 4/20/24
SCALE: AS SHOWN
DRAWN BY: JFC
CHECKED BY: JFC
PROJECT NO: A-200

RECEIVED

2024 APR -4 P 12: 17

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



PROPOSED FIRST FLOOR PLAN

- HEATING & COOLING**
- RADIANT HEATING IN BATHROOMS
 - OPTIONAL:
 - NEW HIGH EFFICIENCY WALL HUNG BOILER WITH HOT WATER STORAGE TANK (SIZED BY MECHANICAL CONTRACTOR ENGINEER)
 - PROVIDE EXHAUST & FRESH AIR INTAKE HOT AIR FAN/COIL
 - HVAC CONTRACTOR
 - HEAT PUMP
- CONSULT HVAC CONTRACTOR / MECHANICAL ENGINEER FOR SIZES**
- INTERIOR FINISHES:**
- FLOORING: STONE OR HUDSET BASE IN BATHROOMS & KITCHEN; HARDWOOD FLOORING THROUGHOUT ALL OTHER ROOMS (AS PER OWNER SELECTION)
 - DOOR STYLE & HARDWARE (AS PER OWNER SELECTION)
 - DOOR CASING TO AS PER OWNERS SELECTION
 - BASE MOLDING - CROWN
 - WAINSCOT (AS PER OWNERS SELECTION)
 - CEILING COFFERING AS PER OWNER
 - 5/8" GYP BOARD THROUGHOUT
 - PAINT TO BE SELECTED BY OWNER
- SHOWER PAN TO BE VINYL BASE MUDSET WITH SCLUTER SYSTEM TILE & SHOWER FIXTURES TO BE SELECTED BY OWNER**
- ELECTRIC FIXTURES:**
- 4" RECESSED INSUL CAN TYP
 - DECORA SWITCHES & OUTLETS
 - OUTLETS INSTALLED HORIZ IN FLOOR BASE (TYP)
- ALL ELECTRIC TO CODE BY LICENSED ELECTRICIAN**
- CONTRACTOR TO PROVIDE SMOKE DETECTORS & CARBON MONOXIDE DETECTORS TO CODE.**

NOTES: (FOR NEW CONSTRUCTION)

- PROVIDE (2) JACK STUDS AT ALL OPENING HEADERS AND ALL INTERIOR WALLS.
- ALL GLASS AT SHOWER AND BATHUB ENCLOSURES AND WINDOWS TO BE TEMPERED AS PER R-308.4 OF THE NYS RES CODE.
- ALL HABITABLE SPACES MEET OR EXCEED EX LIGHT AND VENTILATION REQUIREMENTS.
- ASSEMBLY TYPE SOUL BOARD CAPACITY VIF USE HEAVY DUTY HANGERS FOR ENGINEERED LUMBER PROVIDE SOLID BLOCKING BETWEEN JOISTS UNDER ALL WALLS ABOVE.
- PSL'S MAY BE SUBSTITUTED FOR LVLS OF SAME SPECIFICATION.
- SEE ELECTRICAL PLANS FOR SMOKE AND CARBON DETECTOR LOCATIONS.
- SEE DETAILS SHEETS FOR WOOD FRAMING, STRAPPING, CONCRETE, AND STEEL DETAILS.
- DOUBLE FLOOR JOIST UNDER WALLS PARALLEL ABOVE

- NEW PARTITION NOTES:**
- ALL INTERIOR & EXT. WALLS ARE TO BE 5/8" GYP-SUM BOARD ON EACH SIDE OF STUD UNLESS NOTED OTHERWISE.
 - PROVIDE 1/2" MOISTURE RESISTANT GYPSUM WALL BOARD ON ALL WALLS & CEILINGS AT THE BOARD ON WALLS & CEILINGS AT ALL BATHROOMS.
 - PROVIDE 1/2" MOISTURE RESISTANT GYPSUM WALL BOARD ON WALLS & CEILINGS AT ALL BATHROOMS.
 - PROVIDE 1/2" CEMENT BOARD ON WALLS & CEILINGS AT ALL SHOWERS AND BATH TUBS.
 - PROVIDE 2"x6" STUDS AT ALL PLUMBING WALLS AND WALLS CONTAINING POCKET DOCKS.
 - REINFORCE (1) FLOOR JOIST TO BE 2x4 (6) WITH 1/2" PLATE ON ONE SIDE AND WALLS 8 0/8" EDGE AND 12" 0/8" FIELD.

WINDOW NOTES

- ALL WINDOWS TO BE CASHEMUT OR DOUBLE HUNG COOK FOR EXTERIOR WINDOWS WITH SCREENS. SEE ELECTRICAL PLANS FOR LOW INSULATED GLASS TO BE ADVANCED E-LOW INSULATED PRIOR TO ORDERING.
- ALL WINDOW SIZES TO BE FIELD VERIFIED WITH ARCHITECTURAL DIVISION.
- ALL BATHROOM WINDOWS MEET EGRESS REQUIREMENTS AND CONFORM TO 2018 IRC PART 310.1.1. SUCH OPENING SHALL NOT IMPED EGRESS IN AN EMERGENCY. SHALL HAVE A MIN. AREA OF 5.7 SQFT. WITH A MIN. DIMENSION OF 20" WIDTH / 24" HEIGHT WITH BOTTOM OF OPENING NO HIGHER THAN ROOM FLOOR FINISH.
- STRAIGHT ARM OPERATORS (IF CASHEMUT) REPLACEMENT WINDOWS MUST MEET CONDITIONS OF SECTION R310.2.5 OF THE 2018 IRC.
- GRILLES AND DIVIDERS ON WINDOWS ARE SHIPPED ON FROM THE INSIDE.

- DOOR NOTES**
- ALL INTERIOR DOORS STYLE AND FINISH AS PER INTERIOR DESIGNER. SEE PLAN FOR SIZE. LOG SERIES HINGING WITH SCREENS TO BE PLANS FOR SIZE.
 - ALL EXTERIOR DOORS TO HAVE ADVANCED E-LOW INSULATED GLASS.
 - SHOP DRAWINGS TO BE PREPARED FOR APPROVAL PRIOR TO ORDERING.
 - ALL DOOR SIZES TO BE FIELD VERIFIED WITH ARCHITECTURAL DIVISION.
 - ALL BATHROOM WINDOWS MEET EGRESS REQUIREMENTS AND CONFORM TO 2018 IRC PART 310.1.1. SUCH OPENING SHALL NOT IMPED EGRESS IN AN EMERGENCY. SHALL HAVE A MIN. AREA OF 5.7 SQFT. WITH A MIN. DIMENSION OF 20" WIDTH / 24" HEIGHT WITH BOTTOM OF OPENING NO HIGHER THAN ROOM FLOOR FINISH.
 - STRAIGHT ARM OPERATORS (IF CASHEMUT) REPLACEMENT WINDOWS MUST MEET CONDITIONS OF SECTION R310.2.5 OF THE 2018 IRC.
 - GRILLES AND DIVIDERS ON WINDOWS ARE SHIPPED ON FROM THE INSIDE.

INSULATION SCHEDULE

MIN. ZONE 4 REQUIREMENTS AS PER TABLE R-402.1.2 OF 2018 IRC & M102.1.2 OF 2018 IRC)

VAULTED CEILINGS	R-38 (2X6 OR 6X8 @ 16" O.C.)
CEILINGS	R-48 (SEE NOTE BELOW)
EXTERIOR WALLS	R-20 OR R19 + R(CASTINGS)
FLOOR	R-30

NOTE: CEILINGS WITH ATRIC SPACE AS PER R402.1.1 (M102.1.1). INSTALLING R-38 OVER TOP OF CEILING AREA WHERE THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES SHALL BE CEMED TO SATISFY THE REQUIREMENT FOR R-48

HEADER SCHEDULE

NOTE: FOR NEW DOOR & WINDOW HEADERS NOT INDICATED ON PLAN

SIZE OF OPENING	REQUIRED MEMBER
UP TO 3'-6"	(2) 2" x 8"
UP TO 6'-0"	(2) 2" x 10"
UP TO 8'-0"	(2) 2" x 12"

FOR ALL HEADER POST NOT SPECIFIED:
 USE (2) 2"x4" POST FOR OPENINGS < 6'-0"
 USE (3) 2"x4" POST FOR OPENINGS > 6'-0"

RESIDENCE

PROPOSED TWO STORY

255 SOUTH OCEAN AVE
FREEPORT NY

John F. Capobianco

Architect, Interior Designer, Planning & Construction Management

150 Broadway, Suite 200, Freeport, NY 11040
 Phone: (516) 325-1100
 Fax: (516) 325-1101
 Email: jfc@jfcgroup.com

DATE: _____

TITLE: FIRST FLOOR PLAN

DATE: 04-12-24

SCALE: _____

DESIGNED BY: _____

CHECKED BY: _____

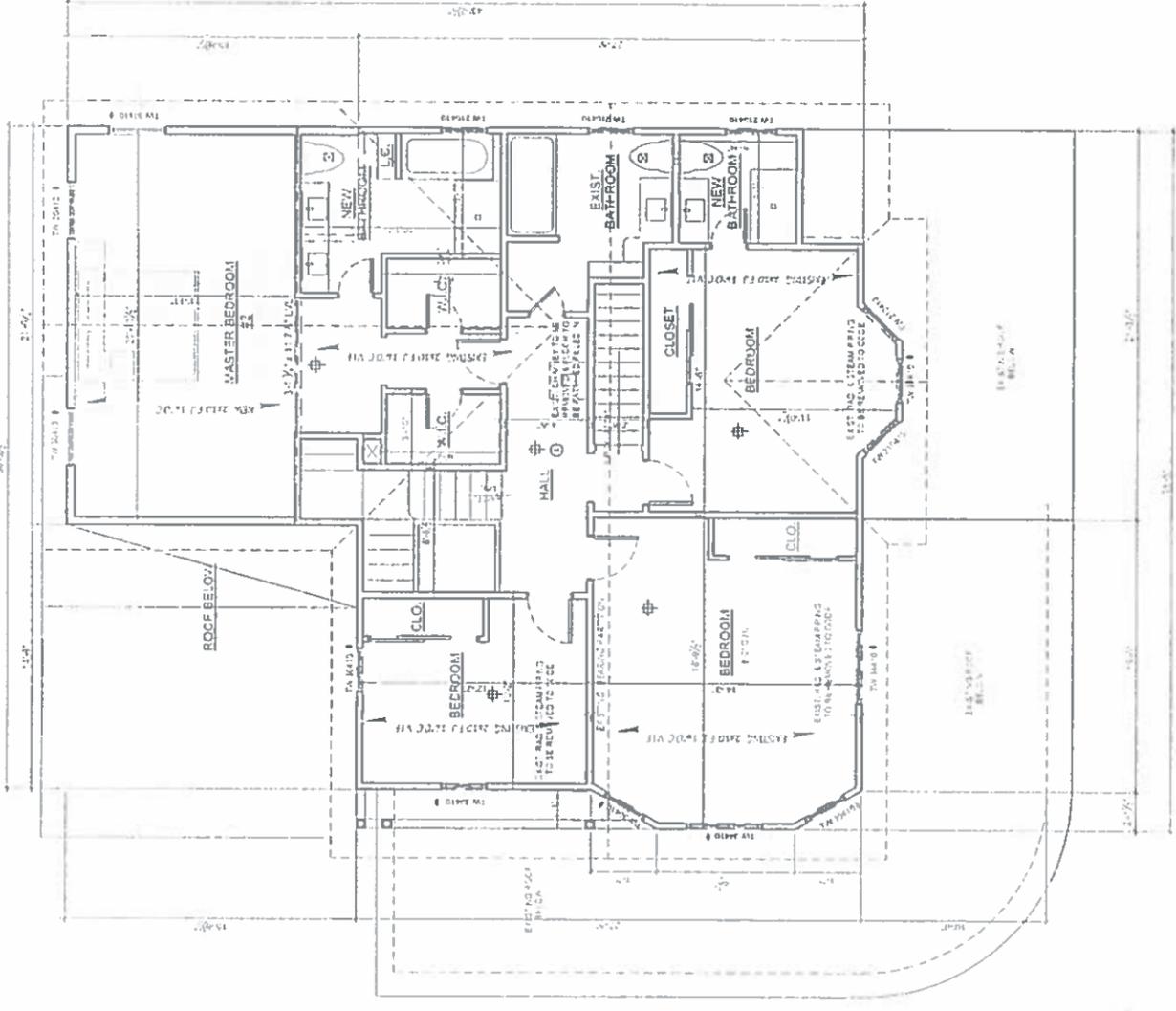
DATE: _____

PROJECT: A-201

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 VILLAGE OF FREEPORT, NY

HEATING & COOLING:
 RADIANT HEAT IN BATHROOMS
 (OPTIONAL)
 HE/HVAC EFFICIENT WALL HUNG
 BOILER WITH HOT WATER STORAGE
 TANK, SIZING BY MECHANICAL
 CONTRACTOR ENGINEER
 PROVIDE EXHAUST & FRESH AIR INTAKE
 HOT AIR FAN COIL /
 HVAC CONTRACTOR
 3. HEAT PUMP
 CONSULT HVAC CONTRACTOR /
 MECHANICAL ENGINEER FOR SIZING.

INTERIOR FINISHES
 - FLOORING: STONE OR MUDDSET BASE IN
 BATHROOM'S & KITCHEN. HARDWOOD
 FLOORING THROUGHOUT ALL OTHER
 ROOMS (AS PER OWNER SELECTION)
 - DOOR STYLE & HARDWARE (AS PER
 OWNER SELECTION)
 - DOOR CASING TO AS PER OWNER'S
 SELECTION
 - BASE MOLDING: CROWN &
 WAINSCOT (AS PER OWNERS
 SELECTION)
 - CEILING COFFERING AS PER OWNER
 - 5/8" GYP BOARD THROUGHOUT
 - PAINT TO BE SELECTED BY OWNER
 SHOWER PAN TO BE VINYL BASE
 MUDDSET WITH SCHLUTER SYSTEM
 TILE & SHOWER FIXTURES TO BE
 SELECTED BY OWNER.
 - ELECTRIC FIXTURES
 - ACCESSIBLE INSUL. CAN. TYP.
 - DECORA SWITCHES & OUTLETS
 - OUTLETS INSTALLED HORIZ. IN FLOOR
 BASE (TYP)
 ALL ELECTRIC TO CODE BY LICENSED
 ELECTRICIAN
 CONTRACTOR TO PROVIDE SMOKE
 DETECTORS & CARBON MONOXIDE
 DETECTORS TO CODE



PROPOSED SECOND FLOOR PLAN

NOTES: (FOR NEW CONSTRUCTION)
 1. PROVIDE (2) JACK STUDS AT ALL OPENING HEADERS
 2. ALL GLASS AT SHOWER AND BATH TUB ENCLOSURES
 AND WINDOWS TO BE TEMPERED AS PER R308.4 OF
 THE NYS RES CODE
 3. ALL HAD TABLE SPACES MEET OR EXCEED BR LIGHT
 AND CHAIR SEATING CAPACITY VIF
 4. USE HEAVY DUTY HANGERS FOR ENGINEERED LUMBER
 5. PROVIDE SOLID BLOCKING BETWEEN JOISTS UNDER ALL
 WALLS ABOVE
 6. PLS'S MAY BE SUBSTITUTED FOR LVL'S OF SAME
 SIZE PROVIDED THEY ARE FIELD VERIFIED WITH
 DETECTOR LOCATIONS FOR SMOKE AND CARBON
 7. SEE DETAILS SHEETS FOR WOOD FRAMING,
 STRAPPING, CONCRETE, AND STEEL DETAILS
 8. DOUBLE FLOOR JOIST UNDER WALLS PARALLEL ABOVE

NEW PARTITION NOTES:
 1. ALL INTERIOR & EXT. WALLS ARE TO BE 5/8"
 GYPSUM BOARD ON EACH SIDE OF STUD UNLESS
 NOTED OTHERWISE.
 2. PROVIDE 1/2" MOISTURE RESISTANT GYPSUM WALL
 BOARD ON ALL WALLS & CEILINGS AT THE
 BOARD ON WALLS & CEILINGS AT ALL BATHROOMS,
 BOARD ON WALLS & CEILINGS AT ALL BATHROOMS,
 PROVIDE 1/2" CEMENT BOARD ON WALLS &
 CEILINGS AT ALL SHOWERS AND BATH TUBS.
 3. PROVIDE 2" x 6" STUDS AT ALL PLUMBING WALLS
 AND WALLS CONTAINING POCKET DOORS.
 4. ALL 1/2" PL WOOD ONE SIDE 60 NAILS @
 O/C EDGE AND 12" O/C FIELD

WINDOW NOTES
 1. ALL WINDOWS TO BE CASEMENT OR DOUBLE HUNG
 WITH EGRESS WINDOWS WITH SCREENS.
 2. ALL GLASS TO BE ADVANCED E-LOW INSULATED
 SHOP DRAWINGS TO BE PREPARED FOR APPROVAL
 PRIOR TO ORDERING.
 3. ALL WINDOW SIZES TO BE FIELD VERIFIED WITH
 GENERAL CONTRACTOR.
 4. ALL BEDROOM WINDOWS MEET EGRESS
 REQUIREMENTS AND CONFORM TO 2018 IRC, PART
 310.1.1. SUCH OPENING SHALL NOT IMPERE EGRESS
 IN AN EMERGENCY. SHALL HAVE A MIN. AREA OF
 5.7 SQ. FT. WITH A MIN. DIMENSION OF 20" WIDTH /
 24" HEIGHT WITH BOTTOM OF OPENING NO HIGHER
 THAN 44" FROM FINISHED FLOOR.
 5. ALL BEDROOM WINDOWS TO BE SUPPLIED WITH
 STRAIGHT ARM OPERATORS (IF CASEMENT)
 SECTION R310.2.5 OF THE 2018 IRC.
 6. DRILLS AND DIVIDERS ON WINDOWS ARE SHAPED
 ON FROM THE INSIDE

DOOR NOTES
 1. ALL INTERIOR DOORS STYLE AND FINISH AS PER
 INTERIOR DESIGNER. SEE PLAN FOR SIZE.
 2. ALL INTERIOR DOORS TO HAVE ADVANCED E-LOW
 INSULATED GLASS. SEE PLANS FOR SIZE.
 3. ALL EXTERIOR DOORS TO HAVE ADVANCED E-LOW
 INSULATED GLASS.
 4. SHOP DRAWINGS TO BE PREPARED FOR APPROVAL
 PRIOR TO ORDERING.
 5. GENERAL CONTRACTOR.

INSULATION SCHEDULE
 MIN. ZONE 4 REQUIREMENTS AS PER TABLE
 R402.1.2 OF 2018 IECC & N1102.1.2 OF 2018 IRC
 VAULTED CEILINGS R-38 (SEE OR 50% OF MAX)
 CEILING OVER GARAGE R-49 (SEE NOTE BELOW)
 EXTERIOR WALLS R-20 OR R19 + R4(CONTINUOUS)
 FLOOR R-30
 NOTE: CEILING WITH ATTIC SPACE
 AS PER R402.1.1 (N1102.1.1). INSTALLING R-38 OVER
 100% OF CEILING AREA WHERE THE FULL HEIGHT OF
 UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE
 WALL TOP PLATE AT THE EAVES SHALL BE DEEMED
 TO SATISFY THE REQUIREMENT FOR R-49

HEADER SCHEDULE
 NOTE: FOR NEW DOOR & WINDOW
 HEADERS NOT INDICATED ON PLAN

SIZE OF OPENING	REQUIRED MEMBER
UP TO 3'-6"	(2) 2" x 8"
UP TO 6'-0"	(2) 2" x 10"
UP TO 8'-0"	(2) 2" x 12"

FOR ALL HEADER POST NOT SPECIFIED
 USE (2) 2"x4" POST FOR OPENINGS < 6'-0"
 USE (3) 2"x4" POST FOR OPENINGS > 6'-0"

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 518-790-1444
 paul@pebdesigngroup.com

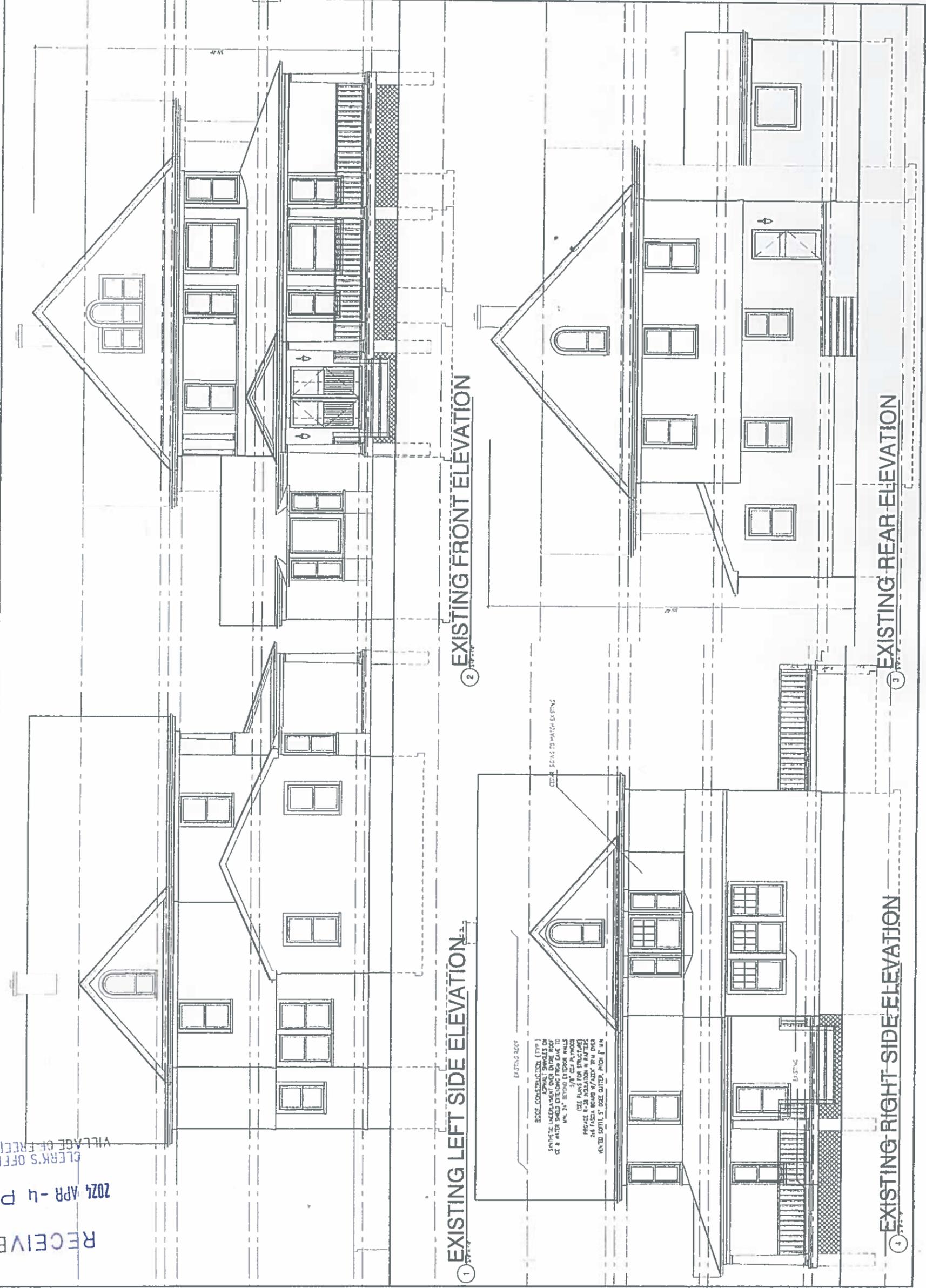
John F. Capobianco
 Architect, Interior Designer, Planner, AIA
 255 SOUTH OCEAN AVE
 FREEPORT NY 11002
 518-790-1444
 jfc@jfcapobianco.com

NO.	REVISIONS	DATE

RESIDENCE
PROPOSED TWO STORY
ADDITION & RENOVATION
 255 SOUTH OCEAN AVE
 FREEPORT NY

SECOND FLOOR PLAN
 DATE: 4/11/24
 DRAWN BY: JFC
 CHECKED BY: JFC
 SCALE: AS SHOWN
 SHEET NO: A-201

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1 EXISTING LEFT SIDE ELEVATION

2 EXISTING FRONT ELEVATION

4 EXISTING RIGHT SIDE ELEVATION

3 EXISTING REAR ELEVATION

EXISTING ROOF
 ROOF CONSTRUCTION (TYPE 1)
 ASPHALT SHINGLES ON
 SYNTHETIC UNDERLAYMENT OVER INSULATION
 CEILING SHEET EXTENDING FROM EAVE TO
 MIN. 2" EXTENDING TO EXTERIOR WALLS
 (SEE PLANS FOR STRAPDOWN)
 PROVIDE 8" x 8" JOIST BRACKET W/ 2" x 4" STUD
 2x4 FASCIA BOARD W/ 1/2" x 1" TRIM OVER
 1/2" x 2" SOFTI, 1" ROSE QUARTER, PITCH 1/4"

CEILING BEING TO MATCH EX STNG

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 Spec. Designing
 518-790-1444
 Email: p.l.b.design@p.l.b.group

John F. Capobianco
 Architect, Interior Design, Planning, AIA
 132 Doughty Boulevard, Newark, NJ 07102
 (973) 228-2272 Fax: (973) 228-0493
 www.johnfcapobianco.com

#	REVISIONS	DATE

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RESIDENCE
PROPOSED TWO STORY
ADDITION & RENOVATION
 255 SOUTH OCEAN AVE
 FREEPORT NY
 PREPARED BY

SEP. _____
 TITLE _____
 EXISTING ELEVATIONS
 DATE: 03/29/23
 DRAWN: P.A.A.
 CHECKED: P.
 SHEET: A-101

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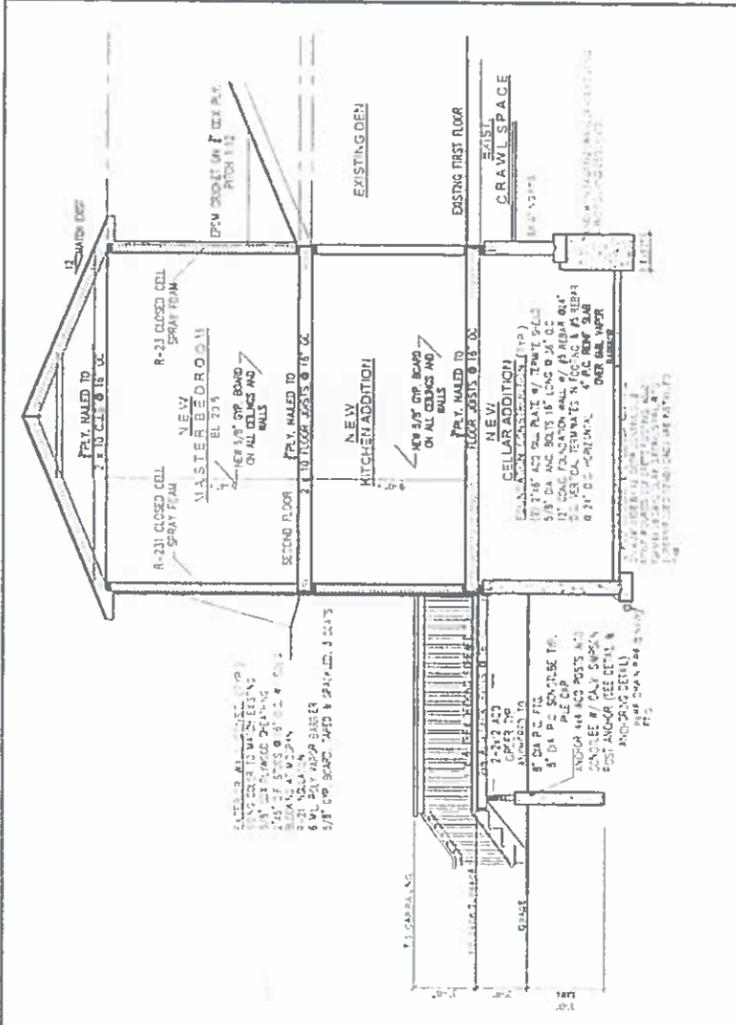
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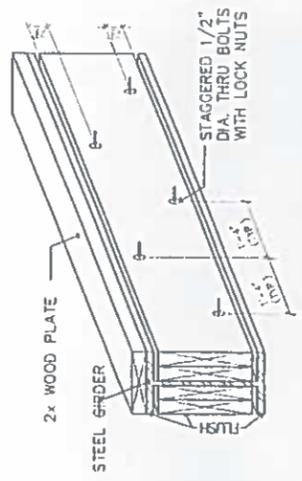
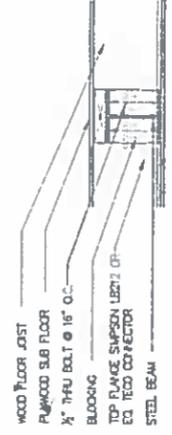
John F. Capobianco
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150 County Road, Freeport, NY 11040
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Fax: 516-790-1445

RESIDENCE
PROPOSED TWO STORY
255 SOUTH OCEAN AVE
FREEPORT NY

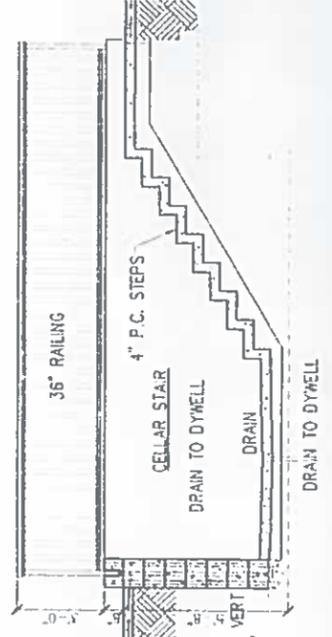
SECTION
DETAILS
DATE: 11/18/23
SCALE: 1/4" = 1'-0"
DRAWN BY: J.F.C.
CHECKED BY: J.F.C.
DATE: 11/18/23
JOB #:
A-400



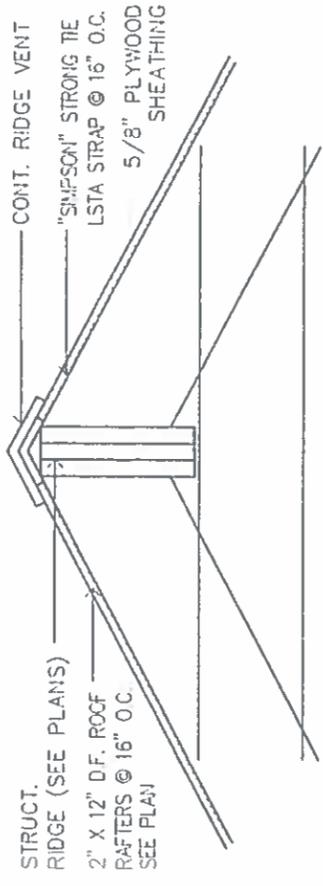
1 CROSS SECTION THRU ADDITION



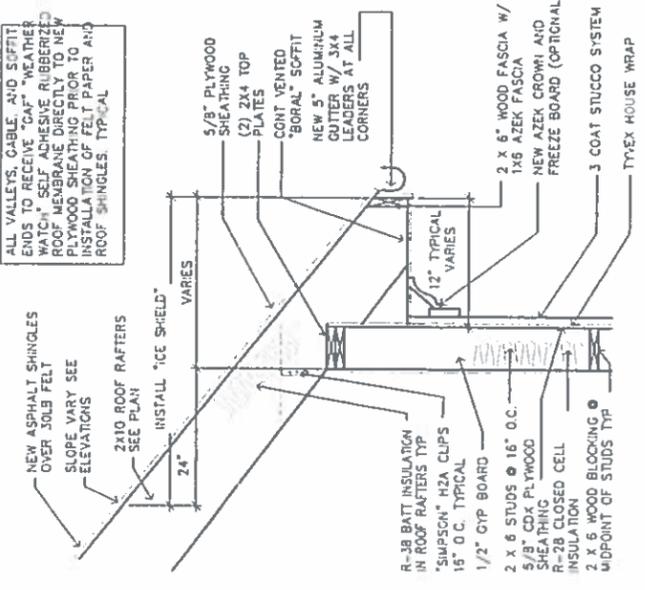
2 STEEL BEAM DETAIL



3 STAIRWELL DETAIL

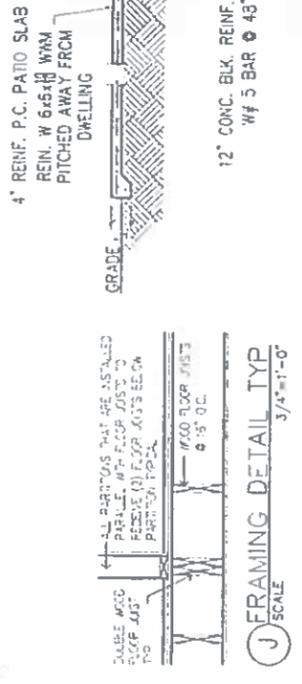


H RIDGE DETAIL
3/4\" = 1'-0"

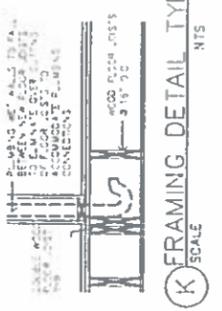


D LVL COLUMN TO DETAIL
3/4\" = 1'-0"

A TYPICAL SOFFIT DETAIL
3/4\" = 1'-0"



J FRAMING DETAIL TYP
3/4\" = 1'-0"



K FRAMING DETAIL TYP
NTS

Application Date: 4/5/24
Fees Paid: \$200.00

SP# 3726

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 9 MEADOWBROOK COURT ZONING DISTRICT RES AA
SECTION 54 BLOCK B LOT 65 LOT SIZE: _____

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>SAME AS OWNER</u>	Name: <u>Beth Ann McKenzie</u>
Address: <u>"</u>	Address: <u>9 Meadowbrook Ct (Box 7605)</u>
Telephone #: <u>"</u>	Telephone #: <u>516-633-8314</u>

Attorney Name: April Madigan Address: 8 W Merrick Rd, 215
(optional) Phone #: _____ Freeport, NY 11520

Present Land Use: residential Proposed Land Use: residential

Description of Proposed Work: Proposed Addition

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied. YES _____ NO

Beth A McKenzie
APPLICANT'S SIGNATURE
Sworn to before me this 12
day of September, 2023
Alicia E. Cooke
Notary Public

Alicia E. Cooke
Notary Public, State of New York
No. 01414770
Qualified in Nassau County
Certificate on File in New York County
Commission Expires August 13th, 2026
VILLAGE OF FREEPORT, NY
2024 APR -5 A 11:06
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Property Owner's Consent:
I, BETH ANN MCKENZIE am (are) the owner(s) of the subject property and consent to the filing of this application.

Beth A McKenzie
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 12
day of September, 2023
Alicia E. Cooke
Notary Public

Alicia E. Cooke
Notary Public, State of New York
No. 01414770
Qualified in Nassau County
Certificate on File in New York County
Commission Expires August 13th, 2026

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____
Planning Board Signature: _____	Date: _____

SUBMISSION CHECKLIST

YES	NO	N/A	
_____	_____	_____	1. The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only).
_____	_____	_____	2. The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs.
_____	_____	_____	3. A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch:
_____	_____	_____	a. Title of drawing, including name and address of applicant.
_____	_____	_____	b. North point, scale, and date.
_____	_____	_____	c. Boundaries of the project.
_____	_____	_____	d. Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted.
_____	_____	_____	e. Floodplain boundaries as determined by the Federal Emergency Management Agency.
_____	_____	_____	f. Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures.
_____	_____	_____	g. Location of outdoor storage and description of materials to be stored.
_____	_____	_____	h. Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private.
_____	_____	_____	i. Location and description of all proposed waterfront public access/recreation provisions.
_____	_____	_____	j. Description of sewage disposal and water supply systems and locations of such facilities.
_____	_____	_____	k. Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule.
_____	_____	_____	l. Location of all parking and loading area, internal circulation pattern, and ingress and egress drives.
_____	_____	_____	m. Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks.
_____	_____	_____	n. Location, design and size of all signs and lighting facilities.
_____	_____	_____	o. Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space.
_____	_____	_____	p. Building orientation and site design for energy efficiency and visual quality.
_____	_____	_____	q. Location and design of all energy distribution facilities, including electrical, gas, and solar energy.
_____	_____	_____	r. Description and location of erosion control measures including proposed location of sediment sink/setting pond and interceptor swales, etc..
_____	_____	_____	s. Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities.
_____	_____	_____	t. Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development.
_____	_____	_____	u. Estimated project construction schedule.
_____	_____	_____	v. Record of application for approval status of all necessary permits from federal, state and county officials.
_____	_____	_____	w. Identification of any federal, state or county permits required for project execution.
_____	_____	_____	x. The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter.



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE

FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL. BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

UPDATED SITE PLAN LETTER

April 2, 2024

Bethann Mckenzie

RE: 9 Meadowbrook Ct , Freeport, NY

Zoning District: Res AA Sec 54, Blk B, Lot 65

Building Permit Application #20233364

Description: Proposed addition

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

2024 APR - 5 - 11:06

c: Village Clerk

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ZBA Approval Needed: Yes__ No__x__

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20233364

Location: 9 Meadowbrook Ct , Freeport, NY

Applicant: Bethann Mckenzie

Description : Proposed Addition

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: July 13, 2023

Sergio A. Mauras
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Sergio A. Mauras
Superintendent of Buildings

2024 APR - 5 - 11:06

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

20233364

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <i>Beth Ann McKenzie</i>			
Project Location (describe, and attach a location map): <i>9 Meadowbrook Ct, Freeport</i>			
Brief Description of Proposed Action: <i>Proposed Addition</i>			
Name of Applicant or Sponsor: <i>April Madison</i>		Telephone: <i>516 324 6742</i>	
Address: <i>8 W. Memick Rd</i>		E-Mail: <i>Amexpediter@gmail.com</i>	
City/PO: <i>Freeport</i>		State: <i>NY</i>	Zip Code: <i>11520</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		<i>.1837</i> acres	
b. Total acreage to be physically disturbed?		<i>0</i> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<i>.1837</i> acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (single family) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

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	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		<input checked="" type="checkbox"/>	
b. Consistent with the adopted comprehensive plan?			<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		<input checked="" type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____			<input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____			<input checked="" type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____			<input checked="" type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		<input checked="" type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?		<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		<input checked="" type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?		<input checked="" type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? <input type="checkbox"/> NO <input type="checkbox"/> YES If Yes, briefly describe: _____		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>April Macougan</u> Date: <u>6/1/23</u> Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

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 VILLAGE OF FREEPORT NY

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency

Date

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

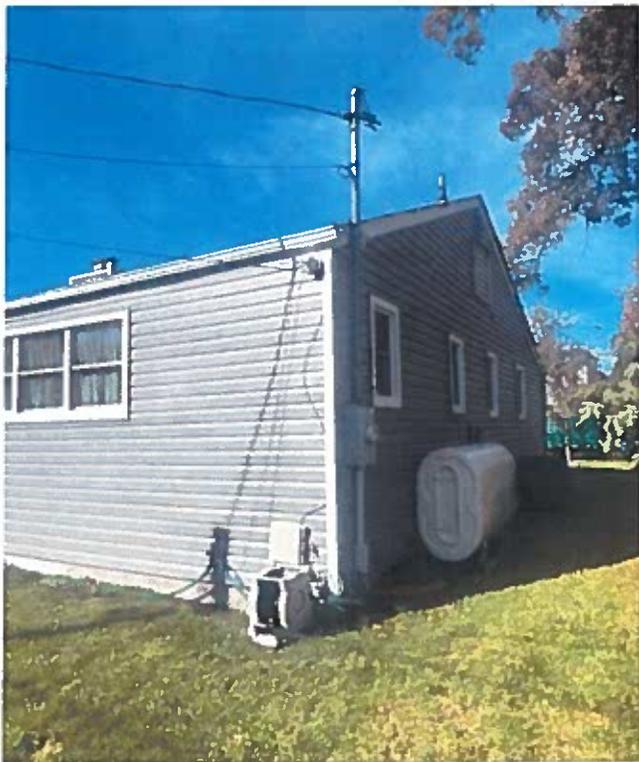
Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)

9 Meadowbrook Court, Freeport

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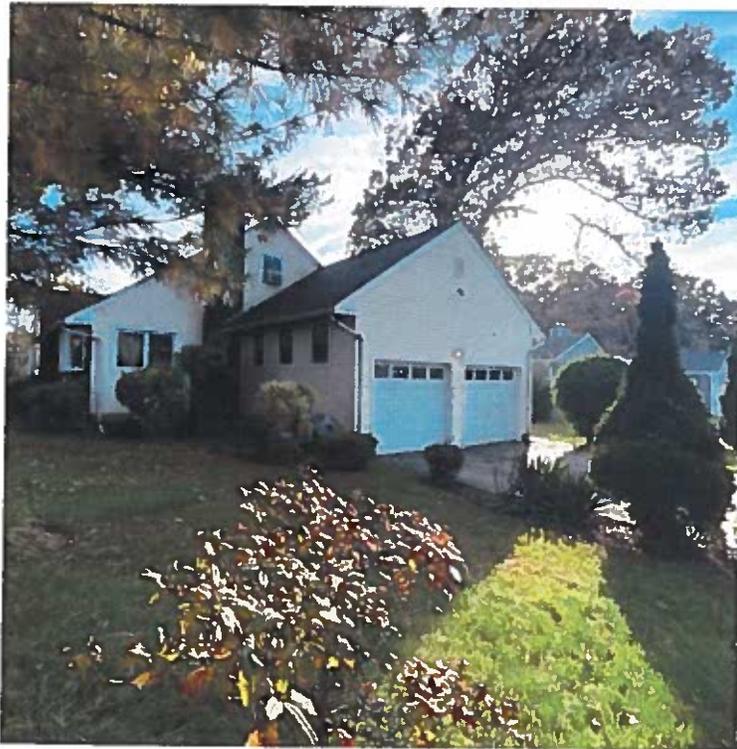
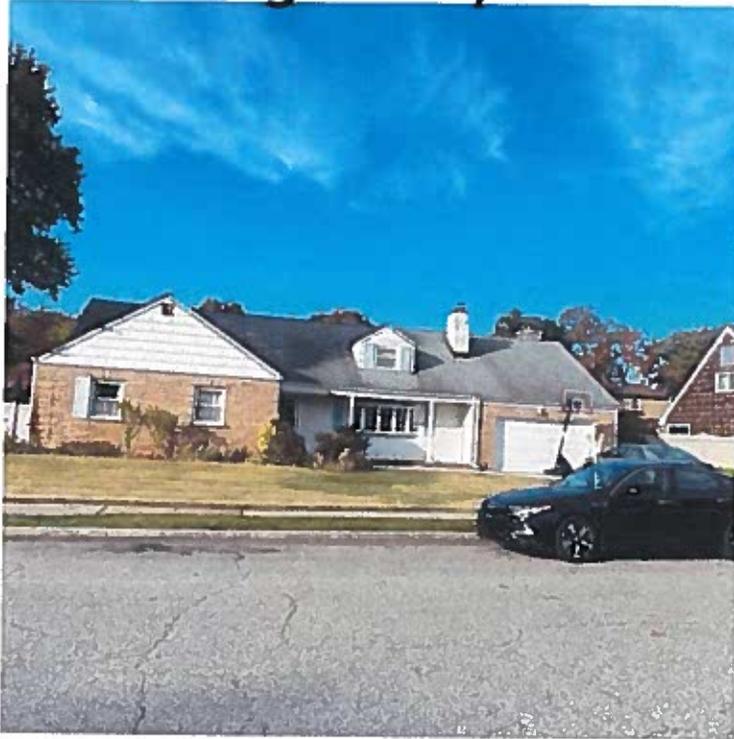
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Neighbors, 9 Meadowbrook Ct, Freeport

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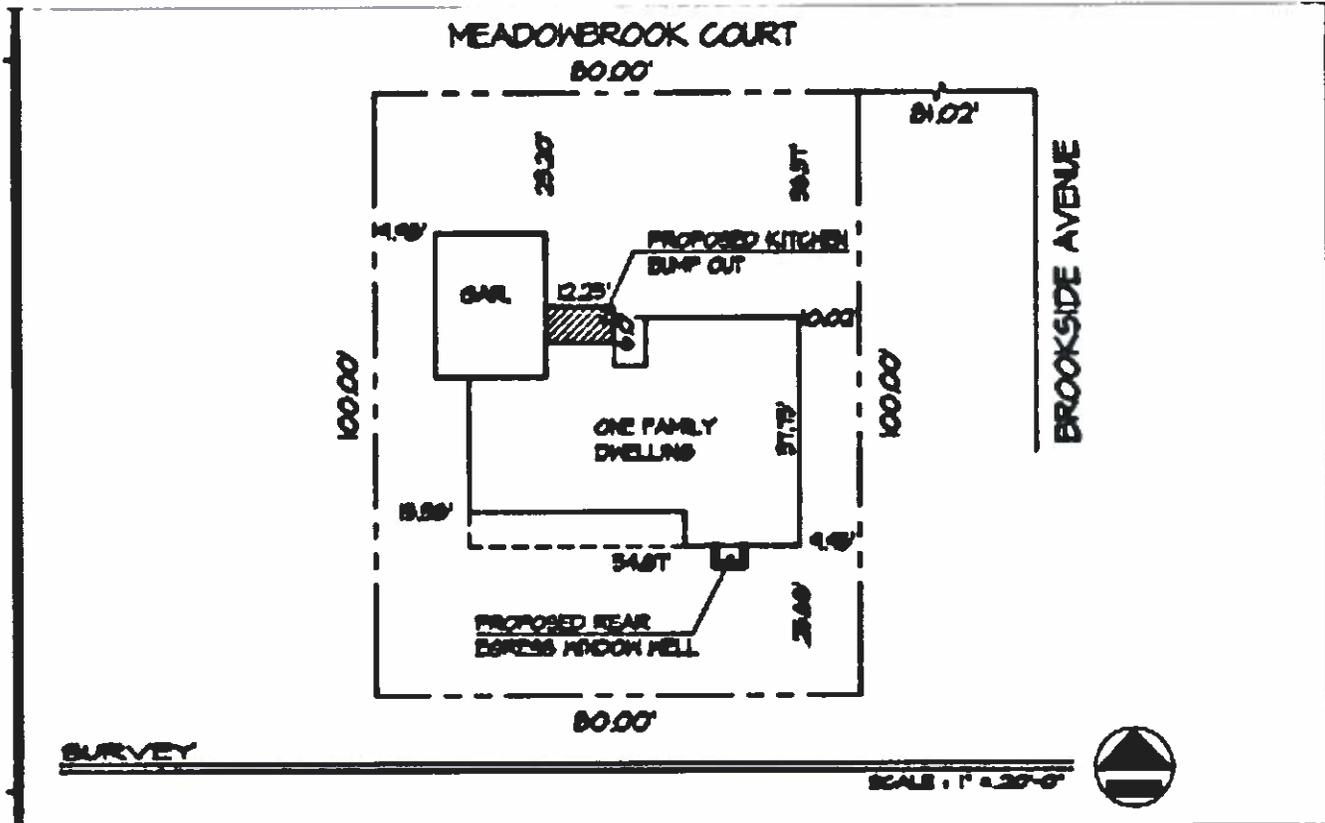
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RABCO ENGINEERING P.C.
8 W. MERRICK ROAD SUITE 219
FREEPORT, NEW YORK 11520
516 867-2036 FAX 516 867-2037

MCKENZIE RESIDENCE
8 MEADOWBROOK COURT
FREEPORT, NY 11520

VILLAGE OF FREEPORT ZONING TABLE

TWP 54 B 05					
REQUIREMENT	PERMITTED	EXISTING	PROPOSED	REMARKS	VARIANCE REQUIRED
ZONING DISTRICT 30-05	RES AA	RES AA	RES AA	NO CHANGE	-
LOT AREA 30-05	MIN 1200 SF	6800 SF	6800 SF	OK	-
LOT FRONTAGE 30-05	MIN 35'	80'	80'	OK	-
LOT COVERAGE 30-05	30% OF 6800 = 2040	146 SF = 2.1%	2001 SF OR 2.9%	OK. PERIOD 22 SF FROM KITCHEN BUMP OUT AT EXISTED PERIOD	-
HEIGHT 30-05	15'	15'	15'	OK - NO CHANGE	-
FLOOR AREA RATIO 30-05	40% OF 6800	146 OR 2.1%	2001 OR 2.9%	(2000 SF) OK	-
FRONT YARD SETBACK 30-05	20'	25.5'	25.5'	OK	-
REAR YARD SETBACK 30-05	25% LOT DEPTH = 20'	24.6'	24.6'	OK	-
SIDE YARD SETBACK 30-05	5'	10.02'	10.02'	OK	-
SIDE YARD AREA 30-05	30% OF LOT FRONT = 255'	20'	20'	OK	-
SKY EXPOSURE PLANE MIN 30-05	N	1 N	1 N	OK	-
SKY EXPOSURE PLANE MAX 30-05	LN	1 LN	1 LN	OK	-

Material List: McKenzie Residence

Siding:

Manufacturer: CertainTeed

**Front: Cedar Impressions, Perfection Shapes
Color: Charcoal Gray**

**Front: Over Garage:
Type: Octagon Single
Color: Charcoal Gray**

**Sides and Rear:
Type: Dutchlap
Color: Charcoal Gray**

**Trim:
CertainTeed
Type: Satin-Gobain
Color: Colonial White**

**Roof:
TriBuilt Material Group
Shingle Type: True Definition
Color: Wood Grain Gray**

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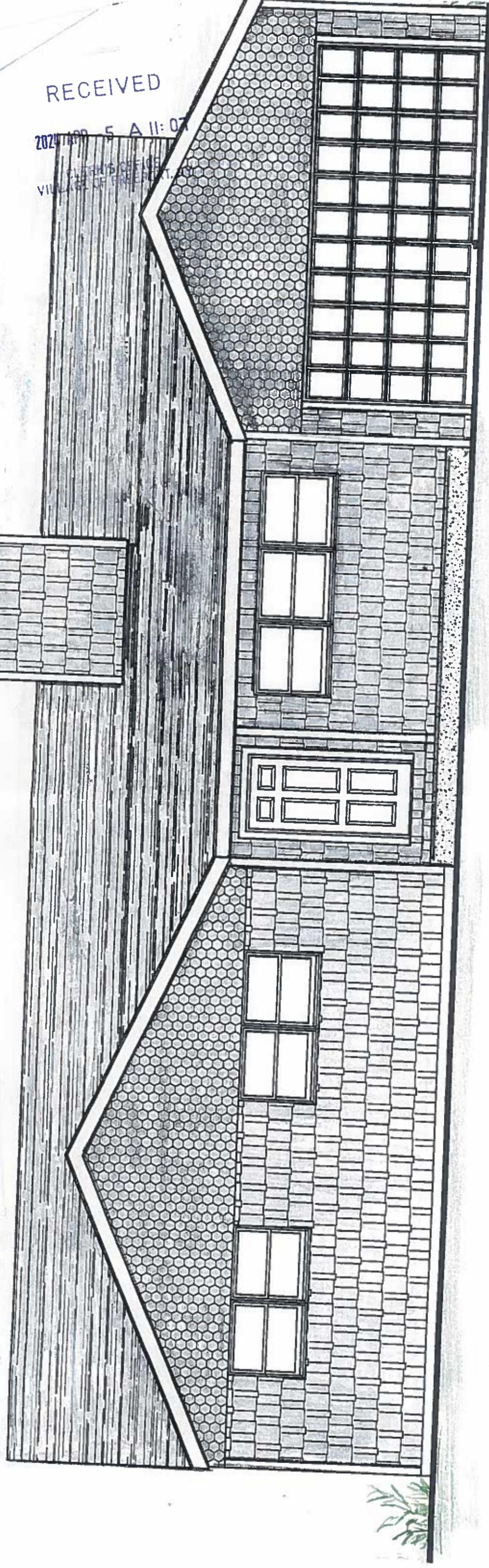
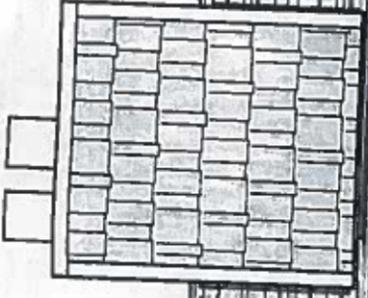
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VILLAGE OF FREEPORT, NY

2



FRONT ELEVATION (NORTH)

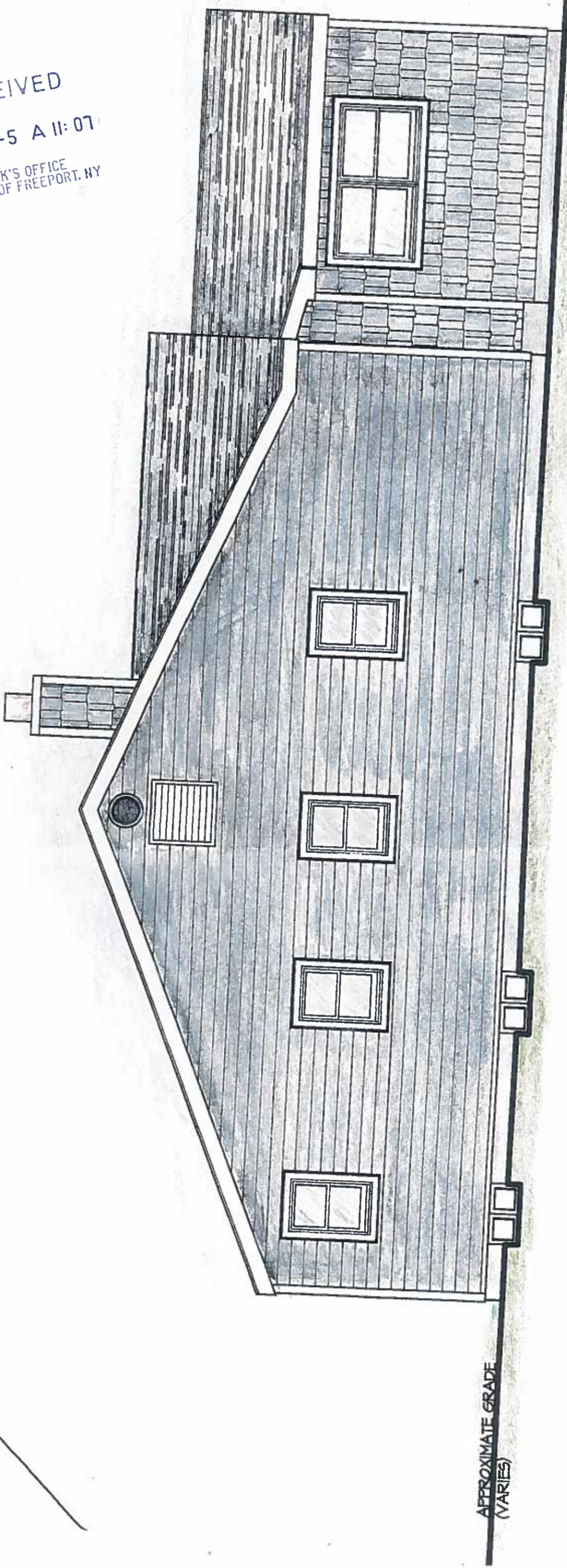
SCALE : 1/4" = 1'-0"

McKenzie Residence
9 Meadowbrook Court
Freeport, NY 11520
Prepared by:
Maria Miro
04/01/24

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APPROXIMATE GRADE
(VARIES)

LEFT SIDE ELEVATION (EAST)

McKenzie Residence
9 Meadowbrook Court
Freeport, NY 11520
Prepared by:
Maria Miro
04/01/24

SCALE: 1/4" = 1'-0"

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A3

RABCO ENGINEERING P.C.
8 W. HERRICK ROAD SUITE 219
FREEPORT, NEW YORK 11520
516 867-2036 FAX 516 867-2037

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145 SECTION 2709, FOR ANY PERSON UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY SEAL OR SIGNATURE BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IN ANY MANNER, OR TO ALTER THE SPECIFIC DESCRIPTION OF THE ALTERNATION, AND A SIGNATURE SHALL BE FOLLOWS BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

Table with 2 columns: Date, Revision

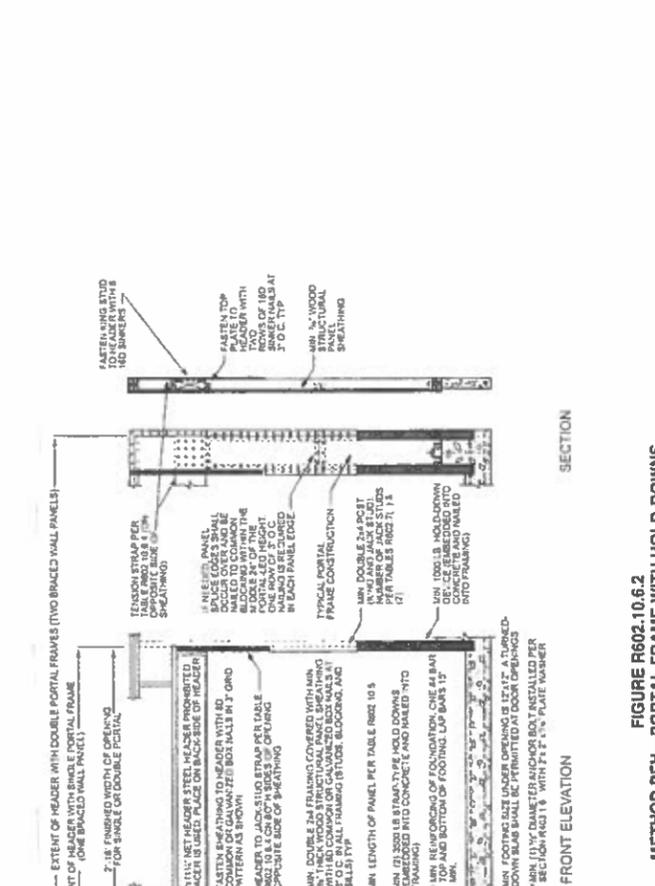
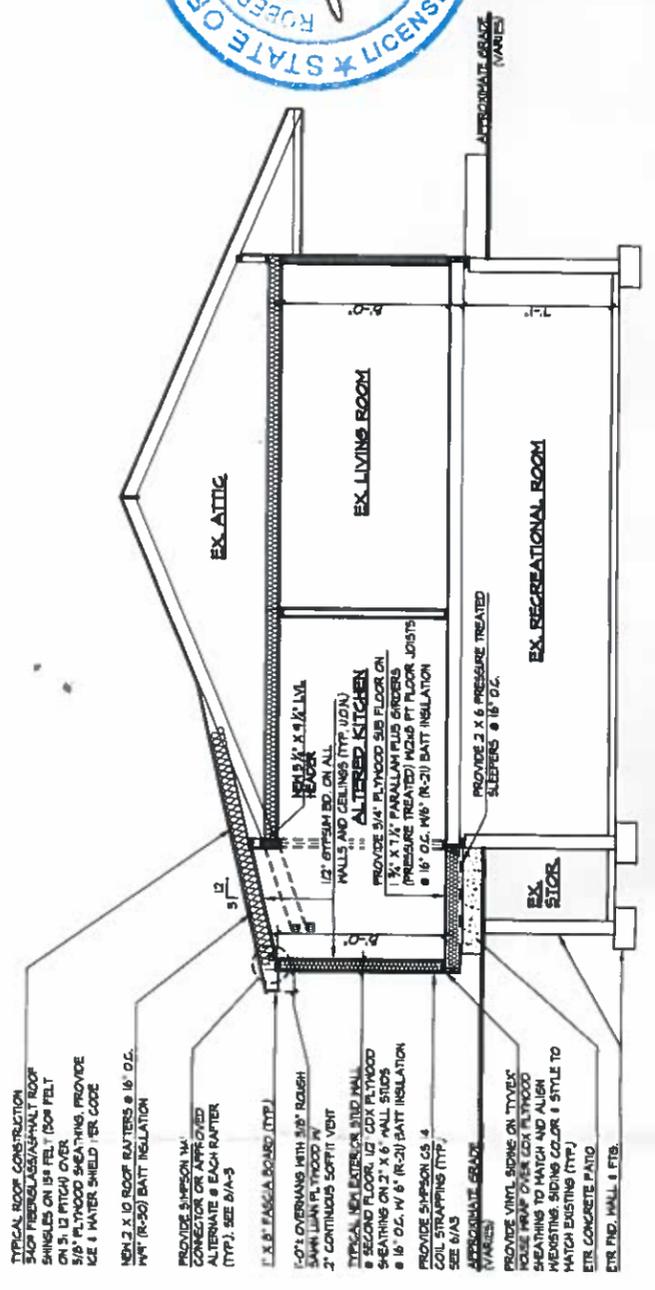
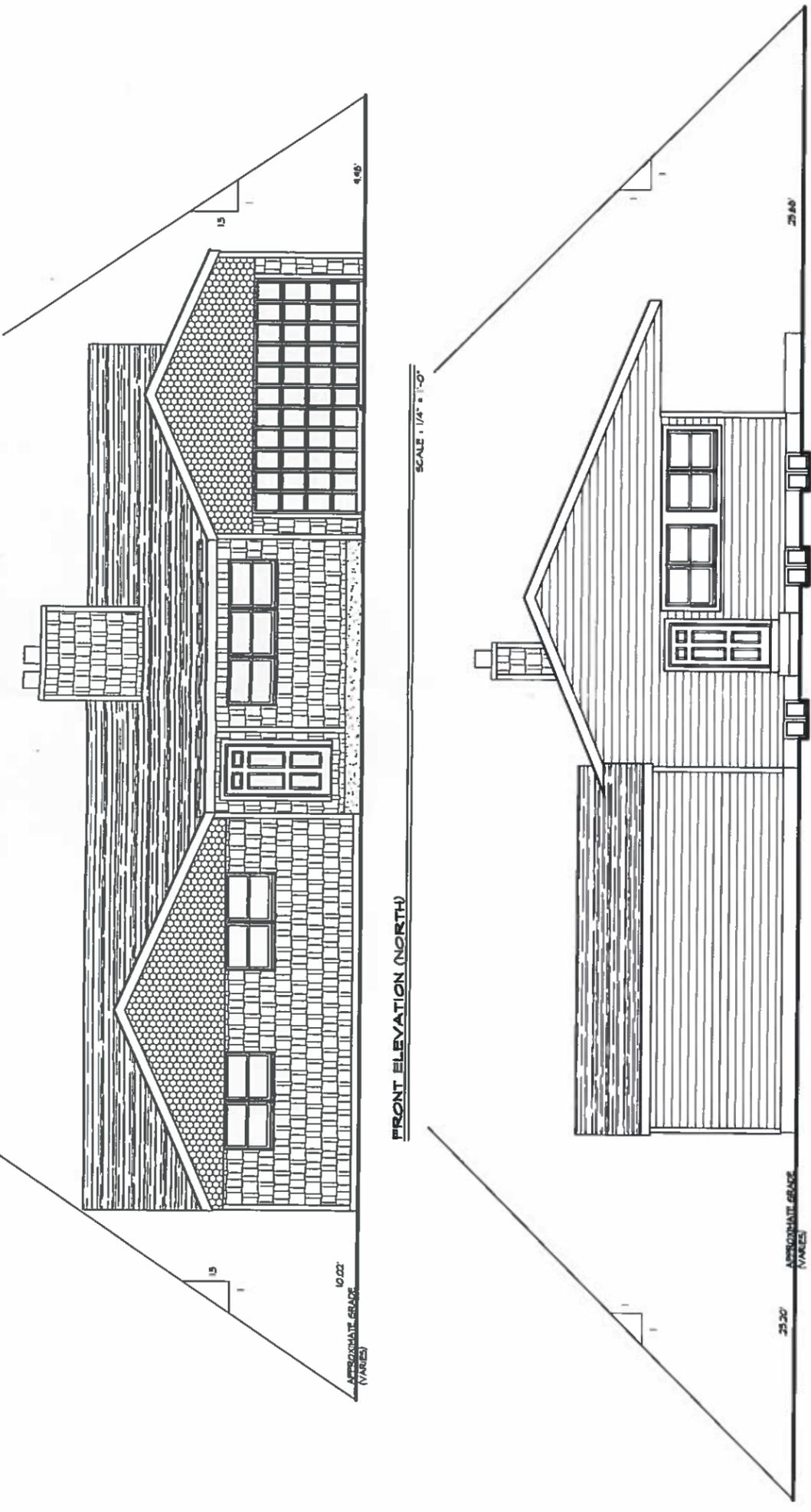


FIGURE R602.10.6.2 METHOD PFH—PORTAL FRAME WITH HOLD-DOWNS

SCALE: 1/4" = 1'-0"



A4

Project No. 2019
Date: 11/11/19
Drawn: RAB

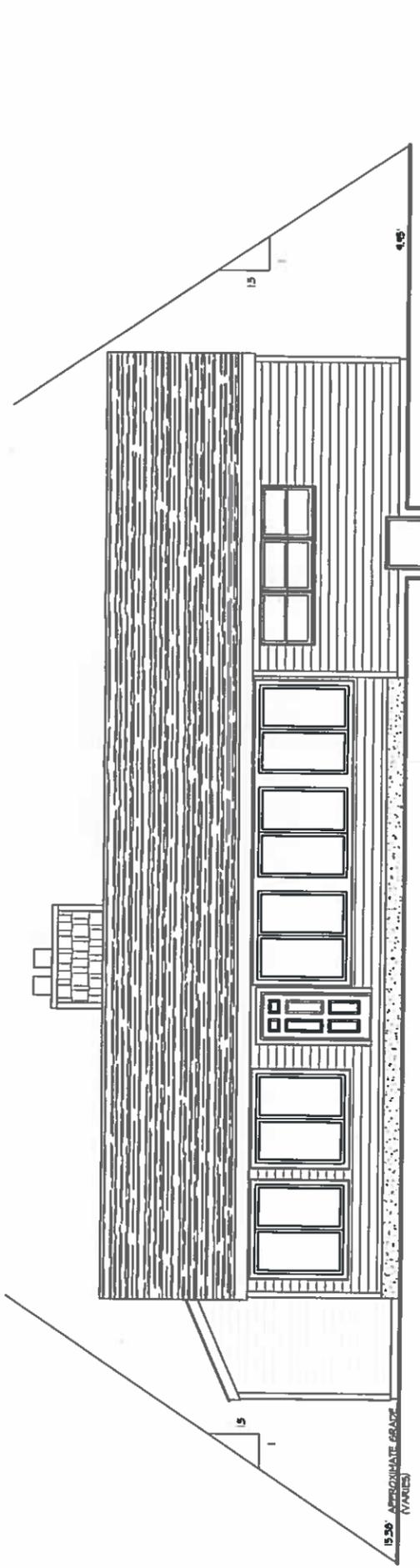
MCKENZIE RESIDENCE
9 MEADOWBROOK COURT
FREEPORT, NY 11520

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RABCO ENGINEERING P.C.
10-1117-A
8 W. MERRICK ROAD SUITE 219
FREEPORT, NEW YORK 11520
516 887-2036
FAX 516 887-2037

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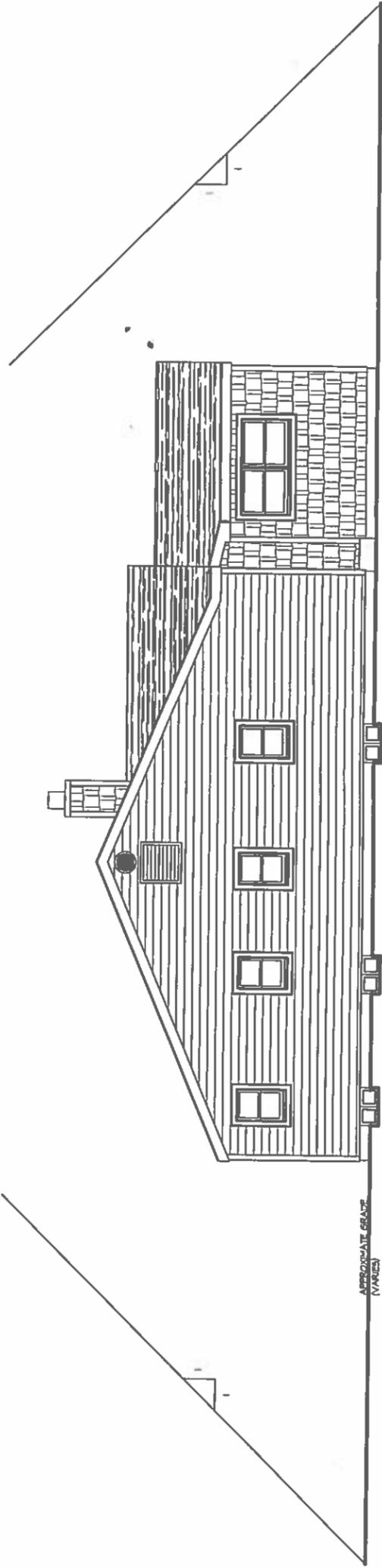
Date	Revision

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



REAR ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION (EAST)

SCALE: 1/4" = 1'-0"

Application Date: 4/8/2024
Fees Paid: \$ 225.00

SP# 3727

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 474 ARCHER STREET ZONING DISTRICT RES "A"
SECTION 54 BLOCK 302 LOT 33 LOT SIZE: 45' * 105 (4,725 SF)

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>MIGUEL RAMIREZ</u>	Name: <u>MARIA MONEGRO</u>
Address: <u>33 LAMONT PLACE</u> <u>WEST BABYLON, N.Y. 11704</u>	Address: <u>474 ARCHER STREET</u> <u>FREEPORT, N.Y. 11520</u>
Telephone #: <u>(631) 704-6601</u>	Telephone #: <u>(516) 853-3824</u>

Attorney Name: MIGUEL RAMIREZ Address: (APPLICANT)
(optional) Phone #: (631) 704-6601

Present Land Use: 1-FAMILY RESID Proposed Land Use: 1-FAMILY RES.

Description of Proposed Work: FIRE DAMAGE RESTORATION & ALTERATION
(CHANGE OF WINDOWS & DOORS)

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

YES NO

[Signature]

MARCH 24 of 2024

APPLICANT'S SIGNATURE
Sworn to before me this 25th
day of March of 2024
[Signature]
Notary Public

DORIS ALEXANDRA RAMIREZ
NOTARY PUBLIC STATE OF NEW YORK
SUFFOLK COUNTY
LIC. # 01RA835P178
COMM. EXP. May 30 of 2025

DATE

Property Owner's Consent:
I, MARIA MONEGRO am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]

MARCH 25 of 2024

PROPERTY OWNER'S SIGNATURE
Sworn to before me this 25th
day of March of 2024
[Signature]
Notary Public

DORIS ALEXANDRA RAMIREZ
NOTARY PUBLIC STATE OF NEW YORK
SUFFOLK COUNTY
LIC. # 01RA835P178
COMM. EXP. May 30 of 2025

DATE

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2024 APR 19 10:43
VILLAGE OF FREEPORT, NY
SERIES OF PERMITS

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____
Village Clerk's Signature: _____	Date of Decision: _____
Planning Board Signature: _____	Date: _____
	<input type="checkbox"/> Approved <input type="checkbox"/> Denied

SUBMISSION CHECKLIST

YES	NO	N/A	
_____	_____	<input checked="" type="checkbox"/>	1. The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only).
_____	_____	<input checked="" type="checkbox"/>	2. The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs.
_____	_____	_____	3. A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch:
<input checked="" type="checkbox"/>	_____	_____	a. Title of drawing, including name and address of applicant.
<input checked="" type="checkbox"/>	_____	_____	b. North point, scale, and date.
<input checked="" type="checkbox"/>	_____	_____	c. Boundaries of the project.
_____	_____	<input checked="" type="checkbox"/>	d. Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted.
_____	_____	<input checked="" type="checkbox"/>	e. Floodplain boundaries as determined by the Federal Emergency Management Agency.
_____	_____	<input checked="" type="checkbox"/>	f. Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures.
_____	_____	<input checked="" type="checkbox"/>	g. Location of outdoor storage and description of materials to be stored.
_____	_____	<input checked="" type="checkbox"/>	h. Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private.
_____	_____	<input checked="" type="checkbox"/>	i. Location and description of all proposed waterfront public access/recreation provisions.
_____	_____	<input checked="" type="checkbox"/>	j. Description of sewage disposal and water supply systems and locations of such facilities.
_____	_____	<input checked="" type="checkbox"/>	k. Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule.
_____	_____	<input checked="" type="checkbox"/>	l. Location of all parking and loading area, internal circulation pattern, and ingress and egress drives.
_____	_____	<input checked="" type="checkbox"/>	m. Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks.
_____	_____	<input checked="" type="checkbox"/>	n. Location, design and size of all signs and lighting facilities.
_____	_____	<input checked="" type="checkbox"/>	o. Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space.
_____	_____	<input checked="" type="checkbox"/>	p. Building orientation and site design for energy efficiency and visual quality.
_____	_____	<input checked="" type="checkbox"/>	q. Location and design of all energy distribution facilities, including electrical, gas, and solar energy.
_____	_____	<input checked="" type="checkbox"/>	r. Description and location of erosion control measures including proposed location of sediment sink/settling pond and interceptor swales, etc..
_____	_____	<input checked="" type="checkbox"/>	s. Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities.
_____	_____	<input checked="" type="checkbox"/>	t. Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development.
_____	_____	<input checked="" type="checkbox"/>	u. Estimated project construction schedule.
_____	_____	<input checked="" type="checkbox"/>	v. Record of application for approval status of all necessary permits from federal, state and county officials.
_____	_____	<input checked="" type="checkbox"/>	w. Identification of any federal, state or county permits required for project execution.
<input checked="" type="checkbox"/>	_____	_____	x. The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter.

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

2021 APR - 8 P 2:44

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2024 APR -8 P 2:43

INC. VILLAGE OF FREEPORT

Department of Building

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

ROBERT T. KENNEDY
MAYOR

SITE PLAN LETTER
March 13, 2024

Maria Monegro
474 Archer St
Freeport, NY 11520

RE: 474 Archer St Freeport, NY 11520
Zoning District – Residence A Sec. 54 Blk. 302 , Lot 33
Building Permit Application #20243623
Description– Fire damage restoration & alterations (change of windows)

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only ONE complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-3632.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes__ No_X_

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

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X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20243623

Location: 474 Archer St Freeport, NY 11520

Applicant: Maria Monegro

Description: Fire damage restoration & alterations (change of windows)

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: March 13, 2024

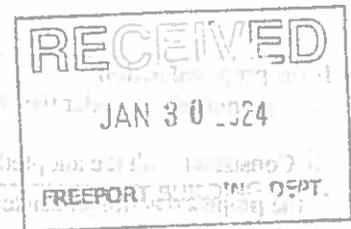
Sergio A. Mauras

Sergio A. Mauras

Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form



Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project:			
Project Location (describe, and attach a location map): No. 474 On North side of Archer Street at 105 ft East of Park Avenue, in the Inc. Village of Freeport, New York 11520			
Brief Description of Proposed Action: Fire damaged restoration and Alterations; In conjunction with proposed bedroom and 3-pc bathroom at first floor to existing 2-1/2 Story 1-Family Residence			
Name of Applicant or Sponsor: Maria Monegro		Telephone: (516)853-3884	
		E-Mail: mariaamejiaa@gmail.com	
Address: 474 Archer Street			
City/PO: Freeport		State: New York	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES ✓
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES ✓
3.a. Total acreage of the site of the proposed action?		0.11	acres
b. Total acreage to be physically disturbed?		0.11	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.11	acres
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?			✓	
b. Consistent with the adopted comprehensive plan?			✓	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?				✓
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? N If Yes, identify: _____		0		YES
			✓	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?			✓	
b. Are public transportation service(s) available at or near the site of the proposed action?			✓	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			✓	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____				✓
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____				✓
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____				✓
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		NO		YES
b. Is the proposed action located in an archeological sensitive area?			✓	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO		YES
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			✓	
			✓	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: > Shoreline > Forest > Agricultural/grasslands > Early mid-successional > Wetland > Urban > <input checked="" type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?			✓	
16. Is the project site located in the 100 year flood plain?			✓	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? > NO > YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____		NO		YES
			✓	
			✓	

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 WILLIAMS COUNTY, OHIO

1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?			
2. Will the proposed action result in a change in the use or intensity of use of land?			
3. Will the proposed action impair the character or quality of the existing community? ni			
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?			
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?			
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?			
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?			
8. Will the proposed action impair the character or quality of important historic, arch aeological, architectural or aesthetic resources?			
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?			

Part 2 Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

Signature: *Maria Monegro*
 Applicant/sponsor name: Maria Monegro
 Date: 01/26/2024

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size:		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:		

No, or small impact may occur
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 OFFICE OF PERMITTING
 VILLAGES

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	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	✓	
11. Will the proposed action create a hazard to environmental resources or human health?	✓	

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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VILLAGE OF FREEPORT, NY

- 9 Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- 9 Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

EXISTING PARCEL PHOTOGRAPHS 474 Archer St



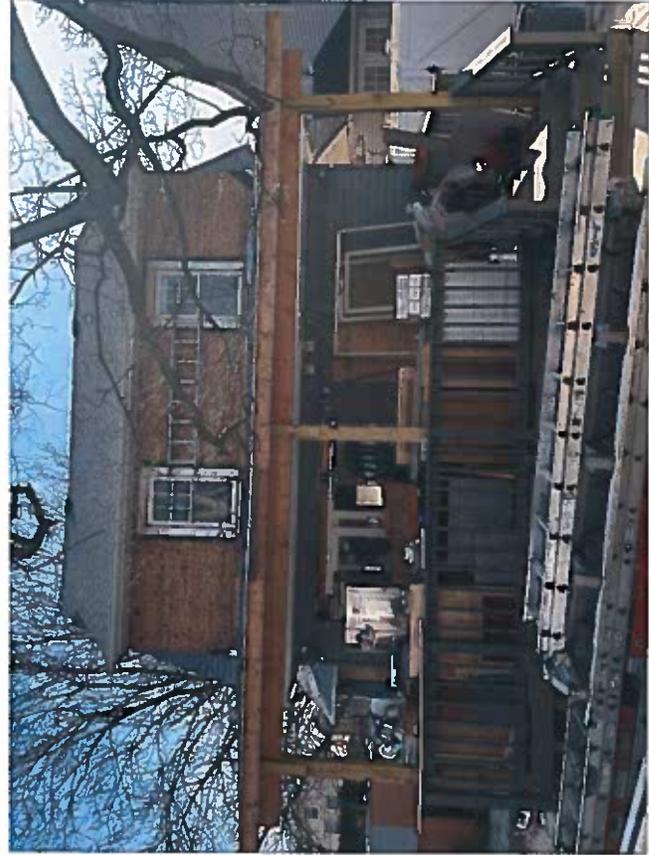
FRONT FACADE



RIGHT SIDE FACADE



LEFT SIDE FACADE

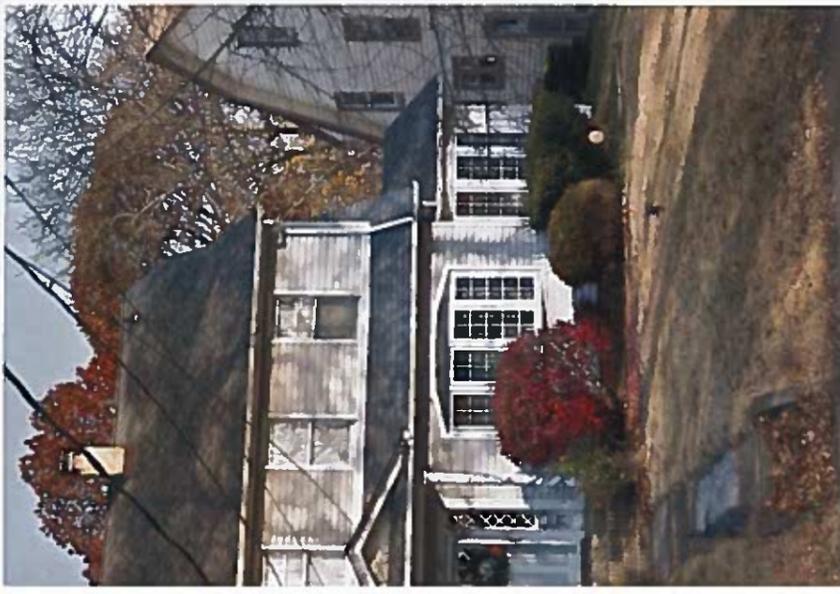


REAR FACADE

DAMAGE RESTORATION AND ALTERATIONS TO EXISTING 1-FAMILY RESIDENCE

PROPERTY NO. 474 LOCATED ON NORTH SIDE OF ARCHER STREET. SBL: 5R BLK 302 LOT 33

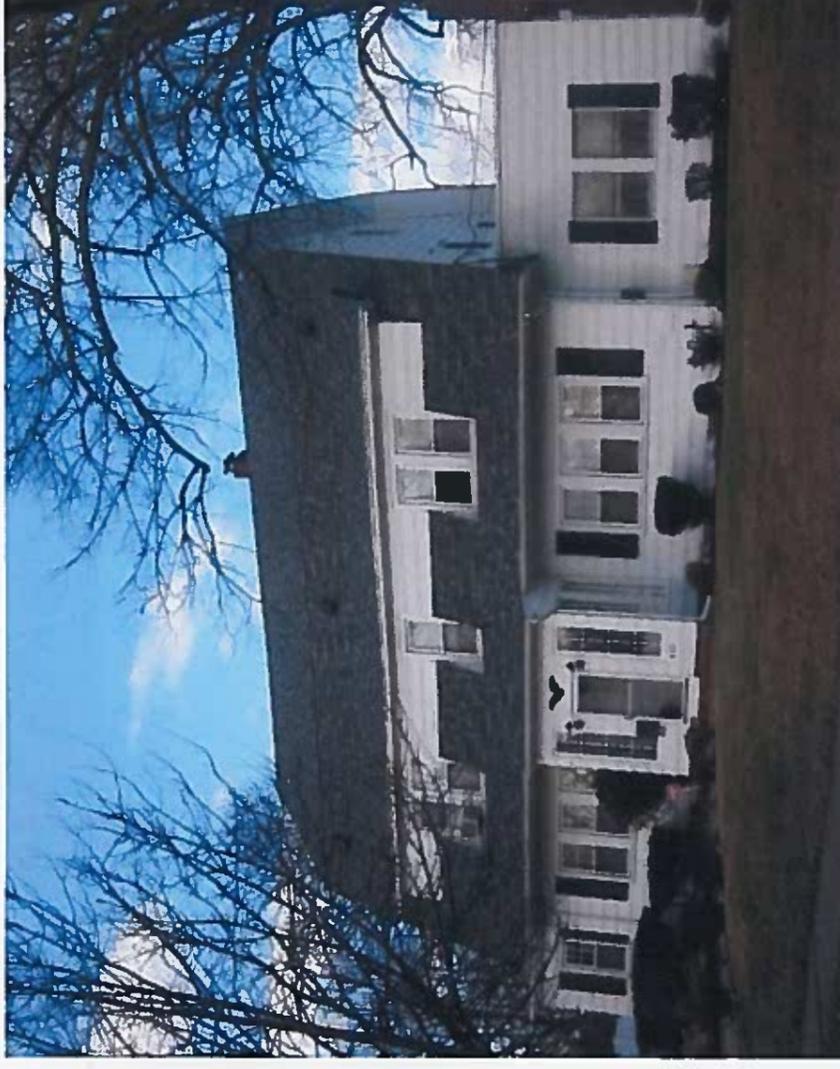
EXISTING PICTURES OF SUBJECT PROPERTY AND NEARBY PARCELS



ARCHER STREET SBL: 54 302 34



474 ARCHER STREET SBL: 54 302 33 (SUBJECT PARCEL)



458 ARCHER STREET SBL: 54 302 32



7 ARCHER ST SB: 54 309 271



473 ARCHER STREET SBL: 54 309 273

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VILLAGE OF FREEPORT, NY

VLADIMIR CONSTANT P.E.
 7 Metrick Court
 Westbury, New York 11590
 Phone: (516) 779-2343
 E-MAIL: v.constant@yaboo.com



CONSULTANT
MAR
DRAFTING CORPORATION
 RESIDENTIAL & COMMERCIAL DESIGN
 33 LAMONT PLACE
 WEST BABYLON, NY 11704
 OFF: (631) 920-2445
 MOBILE: (631) 704-8601

REVISIONS		
NO	DATE	DESCRIPTION
1	02/20/24	REVISED AS PER VILLAGE OF FREEPORT COMMENTS
2		
3		
4		

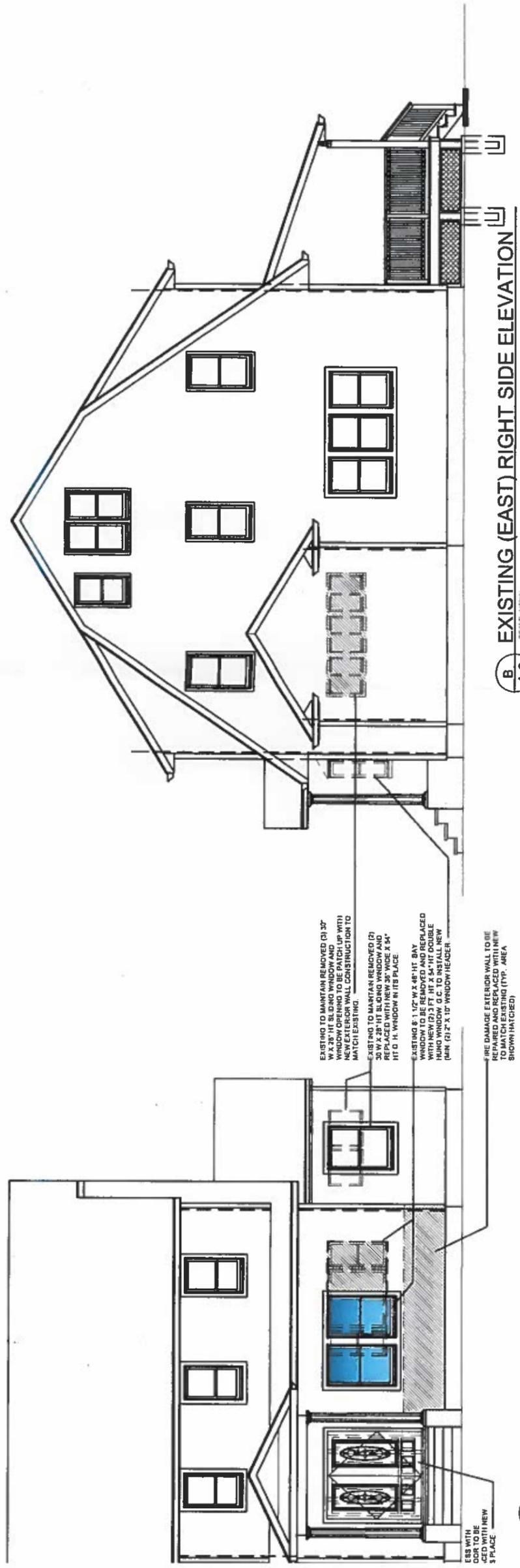
NO.	DATE

APPLICATION NO.
APPLICANT/OWNER
 MARIA MONEGRO
 ADDRESS:
 474 ARCHER STREET
 FREEPORT, N.Y. 11520
 PHONE: (516) 553-3884
 E-mail:
 EMERGENCY CONTACT
 MIGUEL RAMIREZ
 PHONE: (631) 704-6601

PROJECT TITLE
FIRE DAMAGED RESTORATION TO EXISTING 2-1/2 STORY 1-FAMILY RESIDENCE
 474 ARCHER STREET
 FREEPORT, N.Y. 11520
 SEC. 54, BLK. 302 LOT. 33

EXISTING EXTERIOR ELEVATIONS

DRAWING NO.
A-2
CHECKED BY:
 VC
DATE:
 JAN 2024
PROJECT NO.
 3

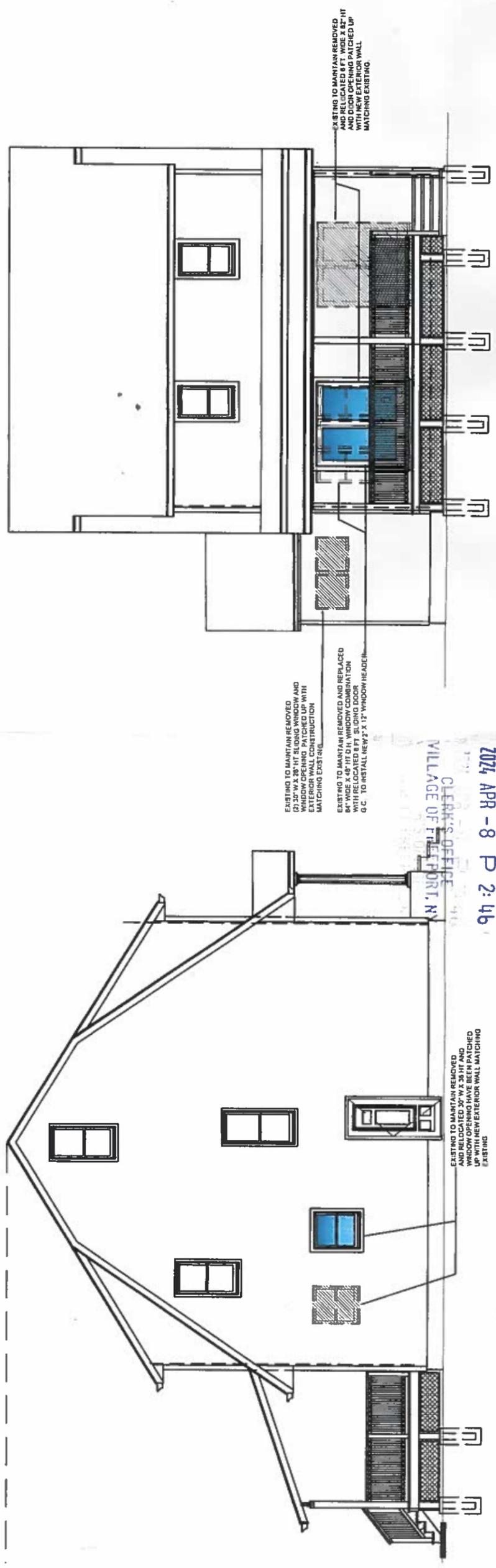


A EXISTING (SOUTH) FRONT ELEVATION
 SCALE: 1/4"=1'-0"

EXISTING TO MAINTAIN REMOVED (3) 30" W X 28" HT SLIDING WINDOW AND WINDOW OPENING TO BE PATCH UP WITH MATCHING EXISTING.
 EXISTING TO MAINTAIN REMOVED (2) 30" W X 28" HT SLIDING WINDOW AND WINDOW OPENING TO BE PATCH UP WITH MATCHING EXISTING.
 EXISTING 8' 1 1/2" W X 48" HT BAY WINDOW TO BE REMOVED AND REPLACED WITH NEW 30" W X 28" HT SLIDING WINDOW (MIN. (2) 2" X 10" WINDOW HEADER

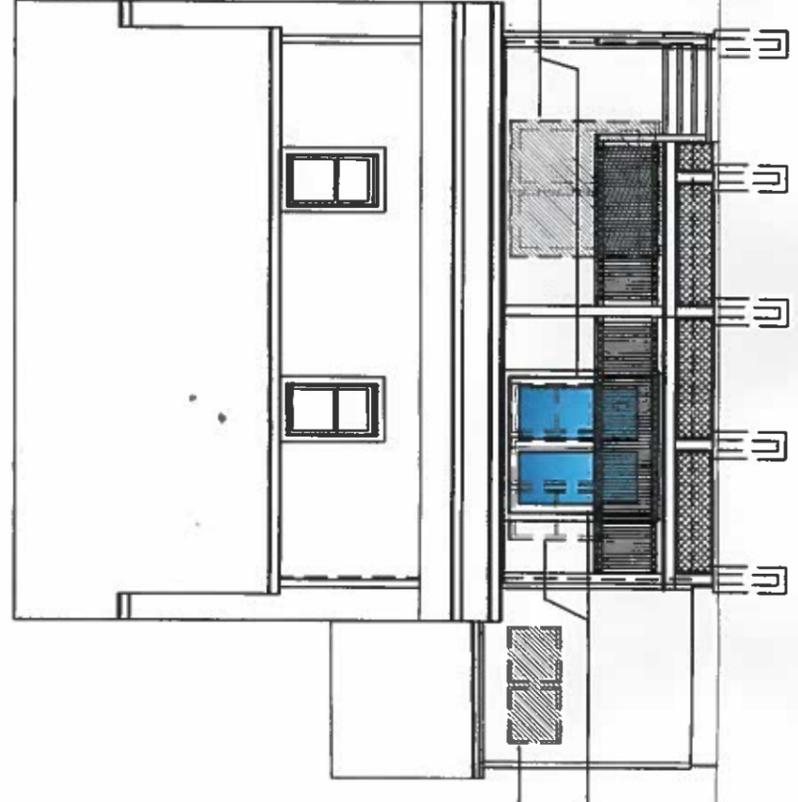
FIRE DAMAGE EXTERIOR WALL TO BE REPAIRED AND REPLACED WITH NEW TO MATCH EXISTING (TYP. AREA SHOWN IN GED)

ESS WITH DOOR TO BE PATCHED WITH NEW 3" PLACE



C EXISTING (WEST) LEFT SIDE ELEVATION
 SCALE: 1/4"=1'-0"

EXISTING TO MAINTAIN REMOVED AND PATCHED UP WITH NEW EXTERIOR WALL MATCHING EXISTING



D EXISTING (NORTH) REAR ELEVATION
 SCALE: 1/4"=1'-0"

EXISTING TO MAINTAIN REMOVED (2) 30" W X 28" HT SLIDING WINDOW AND WINDOW OPENING TO BE PATCHED UP WITH MATCHING EXISTING

EXISTING TO MAINTAIN REMOVED AND REPLACED 84" WIDE X 48" HT D.H. WINDOW COMBINATION WITH RELOCATED 8 FT SLIDING DOOR TO INSTALL NEW 2' X 12' WINDOW HEADER

EXISTING TO MAINTAIN REMOVED AND PATCHED UP WITH NEW EXTERIOR WALL MATCHING EXISTING

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