

Application Date: 6/6/2024
Fees Paid: \$275.00

SP# 3744

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 300 ARCHER STREET ZONING DISTRICT RES A
SECTION 02 BLOCK 129 LOT 15 LOT SIZE: 84 X 127

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>WALTER ELLIS</u>			Name: <u>WALTER ELLIS</u>
Address: <u>300 ARCHER ST.</u>			Address: <u>300 ARCHER ST.</u>
Telephone #: <u>917-805-4085</u>			Telephone #: <u>917-805-4085</u>

Attorney Name: _____ Address: _____
(optional) Phone # _____

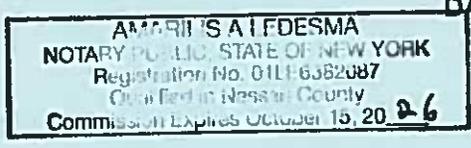
Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: CABANA WITH CHIMNEY 18 X 20 SQ. FT.
MAINTAIN

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
 YES _____ NO

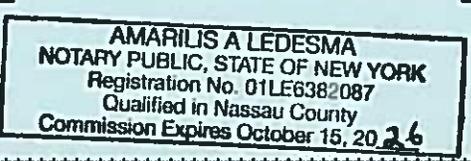
Walter Ellis
APPLICANT'S SIGNATURE
Sworn to before me this 31
day of May, 2024.
Amarilis Ledesma
Notary Public



5/31/24
DATE

Property Owner's Consent:
I, WALTER ELLIS am (are) the owner(s) of the subject property and consent to the filing of this application.

Walter Ellis
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 31st
day of May, 2024.
Amarilis Ledesma
Notary Public



5/31/24
DATE

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

AMENDED SITE PLAN LETTER
May 7, 2024

Walter Ellis
300 Archer St
Freeport, NY 11520

RE: 300 Archer St, Freeport, NY 11520
Zoning District: Residence A Sec 62, Blk 129, Lot 15
Building Permit Application #20233461
Description: Cabana with chimney 18 x 20 sq.ft

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only ONE complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/al

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

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c: Village Clerk
ZBA Approval Needed: Yes X No

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project : Building Permit App. 20233461

Location: 300 Archer St , Freeport NY 11520

Applicant: Walter Ellis

Description : Cabana with chimney 18 x 20 sq.ft

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: May 7, 2024

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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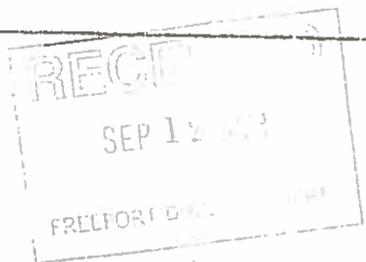
617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
18 x 20 foot Cabana with Chimney			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
300 ARCHER STREET			
Brief Description of Proposed Action:			
MAINTAIN 18' x 20' CABANA			
Name of Applicant or Sponsor:		Telephone: 917-805-4085	
WALTER ELLIS + ALIDA ELLIS		E-Mail: KKCELLIS@GMAIL.COM	
Address:			
300 ARCHER ST.			
City/Town:		State:	Zip Code:
FREEPORT		NY	11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			V
2. Does the proposed action require a permit, approval or funding from any other governmental Agency?			NO YES
If Yes, list agency(s) name and permit or approval:			V
3. a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			



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5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> N/A
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> N/A
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
10. Will the proposed action connect to an existing public/private water supply? {If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES} If No, describe method for providing potable water: _____	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
11. Will the proposed action connect to existing wastewater utilities? {If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES} If No, describe method for providing wastewater treatment: _____	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
b. Is the proposed action located in an archeological sensitive area?	<input type="checkbox"/> NO	<input type="checkbox"/> YES	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetlands <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>WALTER ELLIS</u>		Date: <u>9-9-23</u>
Signature: <u>L. UCCIALELLI</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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VILLAGE OF FREEPORT, NY

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**INCORPORATED VILLAGE OF FREEPORT
ZONING BOARD OF APPEALS DECISION**

DATE: February 15, 2024

APPROVAL

Building Department Permit Application #20233461

Chairman, regarding Application #2023-29 for the premises located at 300 Archer Street, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-35C1 and 2 seeking approval to maintain a cabana with chimney 18' by 20' square foot.

I, Ben Jackson move that this Board make the following findings of fact:

A public hearing was held on December 21, 2023 wherein applicant Walter Ellis represented himself. The Board explained that the variance required for a secondary front yard setback had been omitted from the denial letter, so the case would have to be adjourned. However, applicant made his presentation that night, with the plan to answer any further questions the next month if any questions were to arise. Mr. Ellis explained that the cabana was built a couple of years ago. They did not have 5 feet from the fence to the chimney. There is 3 feet 7 inches from the structure to the rear fence. He submitted a letter from his neighbor in support of the application. Additionally, the cabana was built in the secondary front yard. A 20 foot secondary front yard is required and the cabana is 9.1 feet from the sidewalk.

The hearing was adjourned to the January 19, 2024 zoning meeting to allow for the publication of the additional variance. At that meeting, there were no further questions from the Board or any public comment.

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:

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VILLAGE OF FREEPORT
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- a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance. The structure has been in existence for 2 years and the application has the support of the neighbor next door to the cabana.

- b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance;

- c. that the requested area variance is insubstantial;
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
 - e. that the alleged difficulty was not self-created, however, this factor is not dispositive.
2. The Board, as lead agency, has determined that this action is a Type II action and under SEQRA and no further review is required.

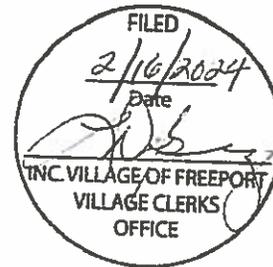
I further move that this application be granted subject to the following conditions:

- 1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
- 2. Applicant must obtain the required permits from the Building Department.
- 3. This application for variance(s) is being granted on the basis of the specific use proposed. If anything in this application is to change, the applicant must return to the Board for further review.

Second by: Charles Hawkins

The Clerk polled the Board:

Deputy Carey	In Favor
Member Mineo	In Favor
Member Jackson	In Favor
Member Hawkins	In Favor

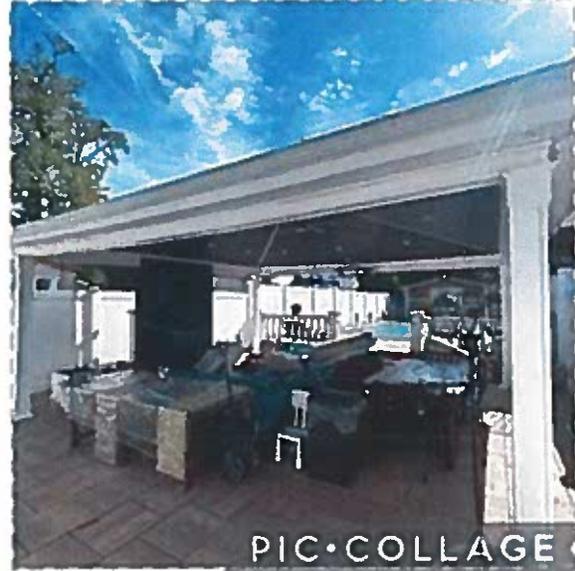
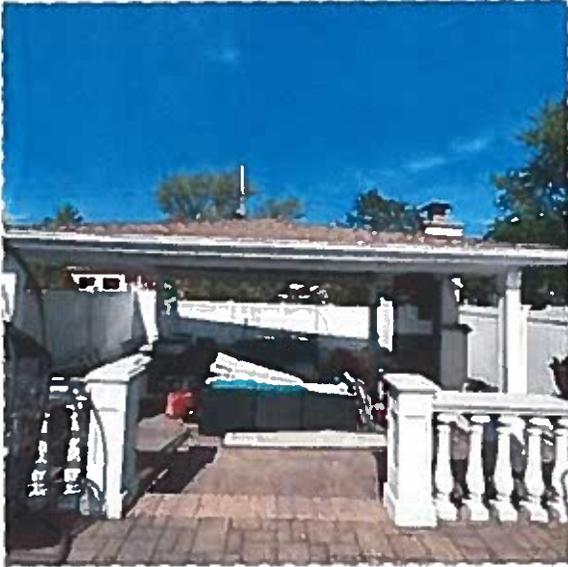


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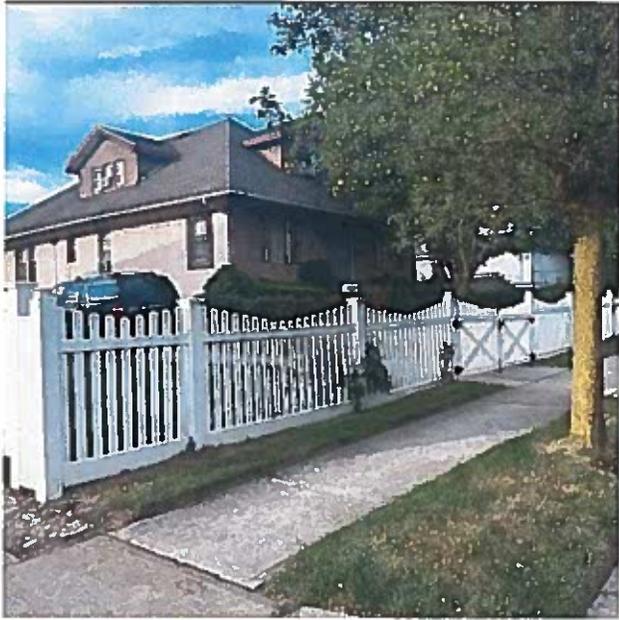


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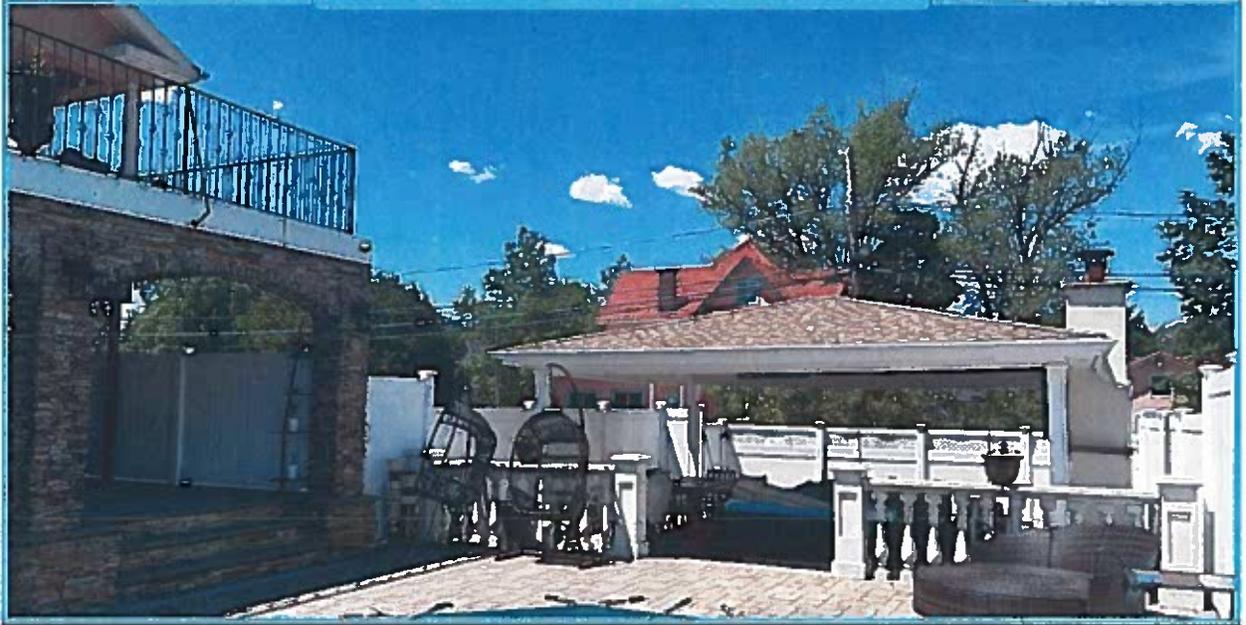
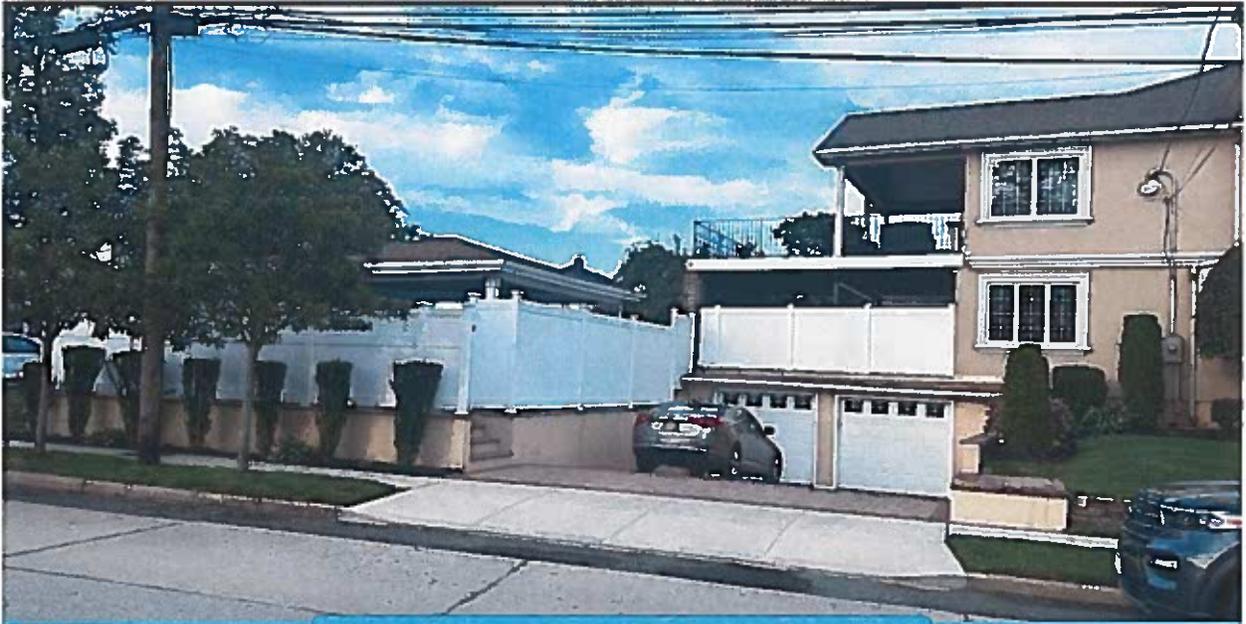
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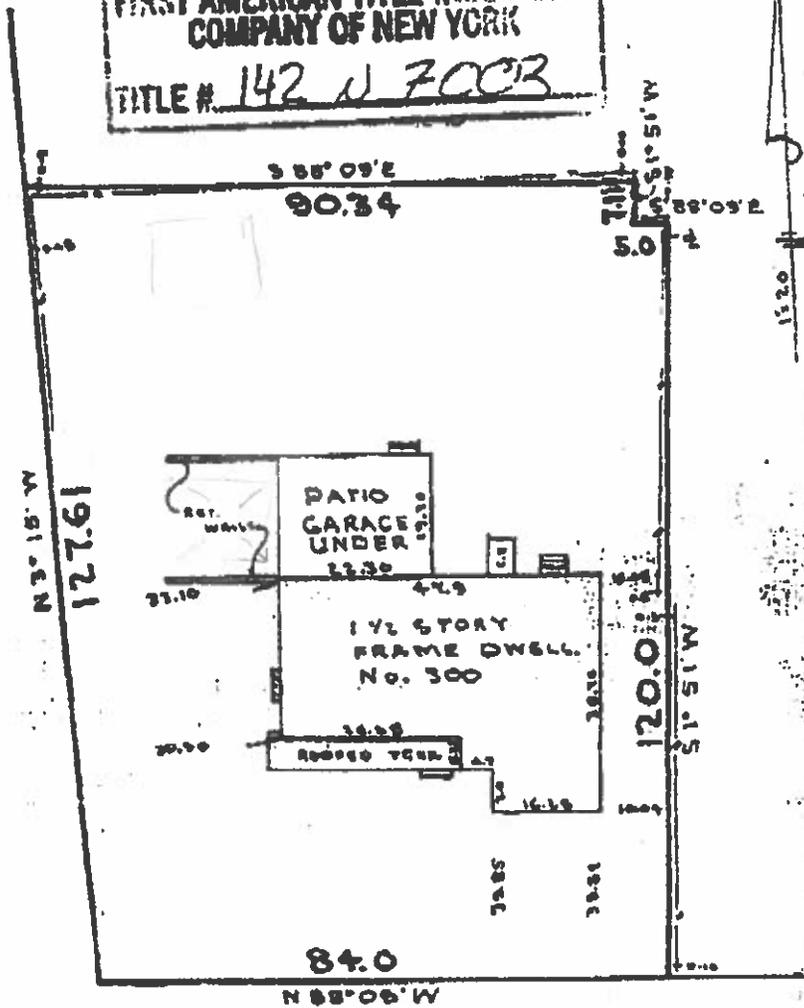
SURVEY NO. 3010-A

(PL) AVE.

ROOSEVELT

FIRST AMERICAN TITLE INSURANCE
COMPANY OF NEW YORK

TITLE # 142 N 7003



ARCHER

ST.

SURVEY OF PROPERTY AT FREEPORT
GUARANTEED TO SECURITY TITLE & CLEAR CO.
MARSHALL ASSOC. INC.

SURVEYED AUG 15 1965
BY Kenneth S. O'Brien L.S.
N.Y. STATE LIC. NO. 27414
MEASUREMENTS 1 S. STANDARD
SUBSURFACE CO' DITION NOT KNOWN

LOTS 15 BLOCK 133

MAP COUNTY LAND TAX MAP SEC. NO. 62

MAP FILED _____ CASE NO. _____ COUNTY OF NASSAU STATE OF NEW YORK

LAND SURVEYOR

KENNETH S. OBRIEN

688 BROADWAY
MADISON, N. Y.

PYRAMID 8-6086

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GENERAL NOTES

1. ALL LUMBER TO BE DOUGLAS FIR LARCH NO. 2 OR EQUAL, WITH A MINIMUM FIBER STRESS OF 1000 PSI AND A MODULUS OF ELASTICITY OF 1,600,000. UNLESS OTHERWISE NOTED.
2. ALL ENGINEERED STRUCTURAL WOOD MEMBERS, INCLUDING ENGINEERED BEAMS AND JOISTS TO BE MANUFACTURED BY TRUSS JOIST MacMILLAN OR APPROVED EQUAL, AND INSTALLED AS PER MANUFACTURER'S SPECS.
3. PROVIDE METAL STRAP AND CLIPS AT ALL CONNECTIONS IN ACCORDANCE WITH AFPA WFCM-95
4. GC TO INSTALL ALUM GUTTERS AND LEADERS IN LOCATIONS SPECIFIED BY OWNER - COLOR AS PER OWNER.

R301.2.1.1 - WIND LIMITATION DESIGN CRITERIA CONSTRUCTION IN REGIONS WHERE BASIC WIND SPEEDS EQUAL OR EXCEED 110 MILES PER HOUR ARE DESIGNED IN ACCORDANCE WITH THE AMERICAN FOREST AND PAPER ASSOCIATION WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS WFCM-95 (PRESCRIPTIVE DESIGN METHOD)

R301.2.2 - SEISMIC PROVISIONS PROJECT LIES WITHIN SEISMIC ZONE B OR C AND AS A ONE OR TWO FAMILY RESIDENCE IS EXEMPT FROM SEISMIC REQUIREMENTS OF THIS CODE.

R323.1 - PROTECTION AGAINST DECAY AREAS SUBJECT TO DECAY DAMAGE REQUIRE THE USE OF AN APPROVED SPECIES AND GRADE OF LUMBER OR PRESURE PRESERVATIVE TREATED IN ACCORDANCE WITH APWA. THESE AREAS INCLUDE ALL WOOD SILLS OR PLATES THAT REST ON CONCRETE, SILLS AND SLEEPERS ON A CONCRETE SLAB, ENDS OF WOOD GIRDERS ENTERING EXTERIOR FOUNDATION WALLS. ALL WOOD IN CONTACT WITH THE GROUND SHALL BE PRESURE TREATED.

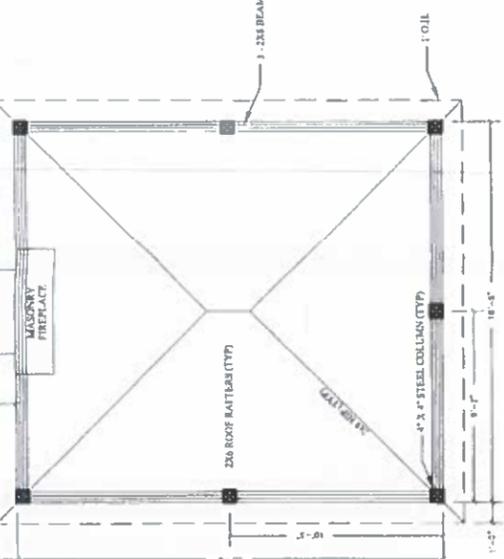
R401.4.1 - GEOTECHNICAL EVALUATION UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL FOOTINGS SHALL BEAR ON SOLID UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 4000 POUNDS PER SQUARE FOOT

R403.1.4 - MINIMUM FOOTING DEPTH ALL EXTERIOR FOOTINGS AND FOUNDATION SYSTEMS SHALL EXTEND BELOW THE FROST LINE TO A MINIMUM OF 3'-0" BELOW GRADE.

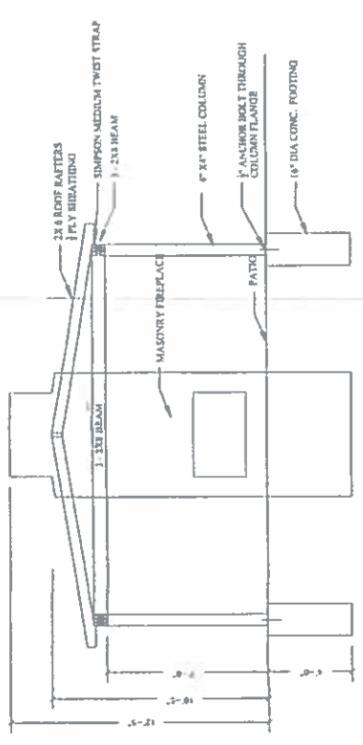
R403.1.6. - FOUNDATION ANCHORAGE STEEL COLUMNS SHALL BE ANCHORED TO THE FOUNDATION WITH ANCHOR BOLTS

ELECTRICAL NOTES

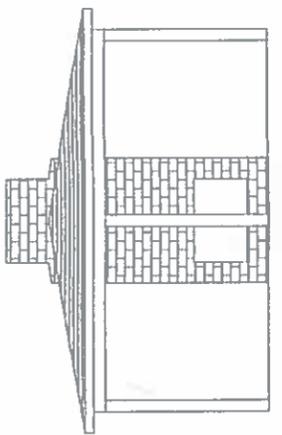
1. ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE NEW YORK BUREAU OF FIRE UNDERWRITERS, THE NATIONAL ELECTRICAL CODE, AND ALL OTHER STATE AND LOCAL CODES AND REQUIREMENTS.
2. THE CONTRACTOR IS TO PROVIDE A NY BOARD OF FIRE UNDERWRITERS CERTIFICATE TO THE OWNER UPON COMPLETION OF THE WORK.
3. G.F.I. CIRCUITS AND OUTLETS TO BE PROVIDED AS REQUIRED BY CODE.



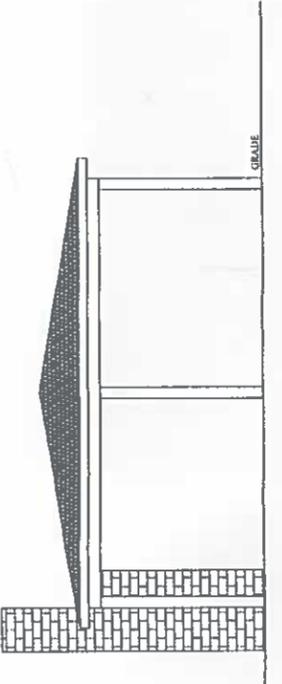
FRAMING PLAN
1/4" = 1'



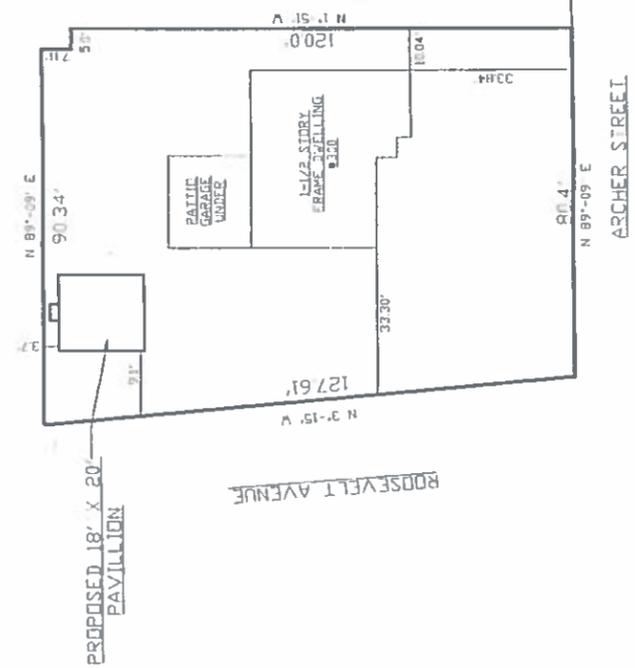
TYPICAL SECTION
1/4" = 1'



SOUTH ELEVATION
1/4" = 1'



WEST ELEVATION
1/4" = 1'



PLOT PLAN
1" = 20'

THESE PLANS SHOWING THE PROPOSED REVISIONS, ALTERATIONS AND ADDITIONS HAVE BEEN PADDED INTO THE UNDETERMINED.

Date	Revision/Issue



ROBERT R TISONNE PE #028997

PROJECT NAME AND ADDRESS
PROPOSED PAVILLION
300 ARCHER STREET
FREEPORT, N.Y.
SEC 62, BLDG 129, LOT 15

Project #	0243432
Date	9/08/2023
Notes	AS NOTED
Drawn	A.1

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Application Date: 6/13/2024
Fees Paid: \$ 225.00

SP# 3745

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 118 CENTRE ST. ZONING DISTRICT RES-A
SECTION SA BLOCK 76 LOT 22 LOT SIZE: 4,405 SF.

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>MARCELO KOHAN</u>		Name: <u>NORMA RIVERA</u>	
Address: <u>2963 HOLIDAY PARK DR, MERRICK, NY. 11566</u>		Address: <u>118 CENTRE ST. FREEPORT, NY. 11520</u>	
Telephone #: <u>516-378-2178</u>		Telephone #: <u>917-969-1641</u>	

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: (1) FAM. RESIDENTIAL Proposed Land Use: (1) FAM. RESIDENTIAL

Description of Proposed Work: REPLACEMENT OF FRONT STOOP

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:

- A. The subject property is zoned Residence A or Residence AA.
- B. The proposed construction is not a new building or dwelling.
- C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

_____ YES _____ NO

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VILLAGE OF FREEPORT, NY

[Signature]
APPLICANT'S SIGNATURE

PEGGY M. LESTER

6/13/2024
DATE

Sworn to before me this 13TH
day of JUNE, 2024.

Notary Public, State of New York
No. 01LE6293122
Qualified in Nassau County
Commission Expires Nov. 25, 2025

Notary Public

Property Owner's Consent:

I, Norma Rivera am (are) the owner(s) of the subject property and consent to the filing of this application.

Norma Rivera
PROPERTY OWNER'S SIGNATURE

06/04/2024
DATE

Sworn to before me this 04
day of June, 2024.

PATRICK J. SOCORRO
Notary Public, State of New York
Reg. No. 01S06299639
Qualified in Queens County
Commission Expires March 24, 2026

Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO

Date of Hearing: _____
Date of Decision: _____

Approved _____ Denied _____

Village Clerk's Signature: _____

Date: _____

Planning Board Signature: _____

Date: _____

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INC. VILLAGE OF FREEPORT

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER
May 22, 2024

Norma Rivera
118 Centre Street
Freeport, NY 11520

RE: 118 Centre Street, Freeport, NY
Zoning District: Residence A Sec. 54 Blk. 076 Lot 22
Building Permit Application #20243722
Description: Maintain front stoop 10'7" x 7'.

Dear Ms. Rivera

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-3632.

Very truly yours,



Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez
cc: Village Clerk

ZBA Approval Needed: No

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY
Positive Declaration

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

Building Permit App. 20243722

Location: 118 Centre Street

Applicant: Norma Rivera

Description: Maintain front stoop 10'7" x 7'.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: May 22, 2024

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
RIVERO'S RESIDENCE			
Name of Action or Project:			
Project Location (describe, and attach a location map): 118 CENTRE ST, FREEPORT, NY 11520			
Brief Description of Proposed Action: MAINTAIN EXISTING FRONT STOOP			
Name of Applicant or Sponsor: MARCELO KOHAN		Telephone: 516-378-2178	9
		E-Mail: MAK@DELARGENTDESIGN.COM	
Address: 2963 HOLIDAY PARK DR			
City/PO: MERRICK	State: NY	Zip Code: 11566	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		1.01	acres
b. Total acreage to be physically disturbed?		-	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.01	acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

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5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? <input type="checkbox"/> NO <input type="checkbox"/> YES If Yes, briefly describe: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>MARCELO KOHAN</u>	Date: <u>4/15/24</u>	
Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
DELARGENT DESIGN	4/15/24
Name of Lead Agency	Date
MARCELO KOHAN	ARCHITECT
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)



118 Centre St, Freeport, NY, 11520



FRONT ELEVATION



RIGHT SIDE ELEVATION

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118 Centre St, Freeport, NY, 11520



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OF FREEPORT

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LEFT SIDE ELEVATION



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118 Centre St. Freeport. NY. 11520

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NEIGHBORING HOUSES



118 Centre St, Freeport, NY, 11520



NEIGHBORING HOUSES

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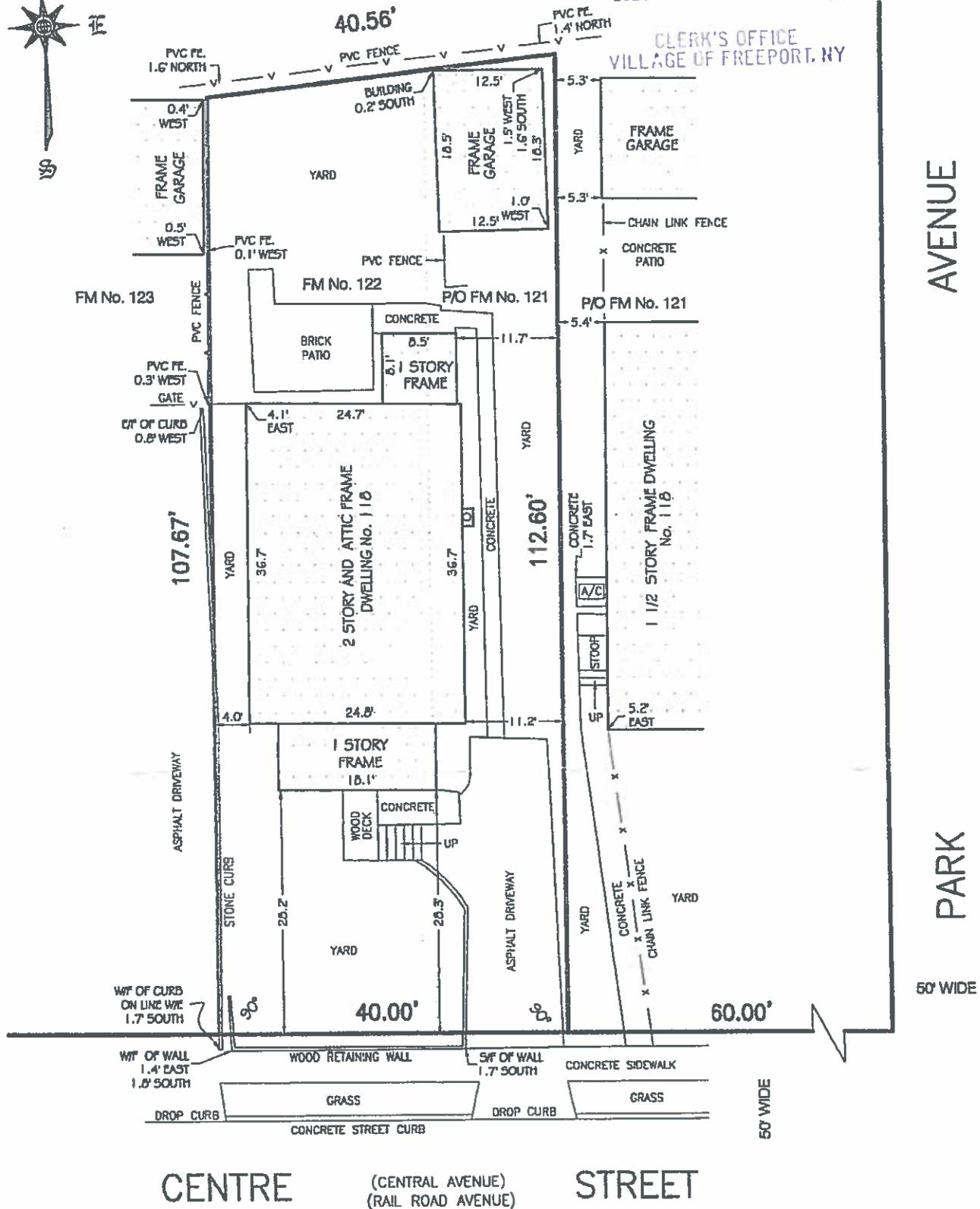
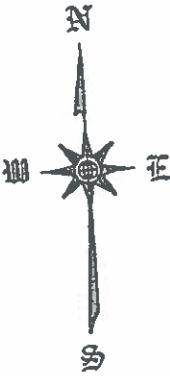
**WROUGHT IRON RAILING
COLOR: BRONZE**

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



NOTES:

1. THIS SURVEY WAS PREPARED ONLY FOR AXIOM ABSTRACT, LLC AND IS TO BE USED FOR TITLE PURPOSES ONLY.
2. NO GUARANTEE IS IMPLIED BY THIS MAP AS TO THE EXISTENCE OR NONEXISTENCE OF ANY EASEMENTS OF RECORD THAT WOULD AFFECT SUBJECT PROPERTY, UNLESS SURVEYOR HAS BEEN FURNISHED WITH THAT INFORMATION.
3. PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.
4. IT IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY.
5. ARCHITECTS MUST ORDER A TOPOGRAPHICAL MAP SPECIFYING THEIR EXACT NEEDS.
6. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

FM DENOTES FILED MAP LOTS ON
 'MAP OF ALPHINE'
 FILED JULY 24th, 1907
 AS MAP No. 203, CASE No.1649

CERTIFIED TO:

DATE SURVEYED: AUGUST 19th, 2023

1. NORMA RIVERA
2. QUONTIC BANK, ITS SUCCESSORS AND/OR ASSIGNS
3. AXIOM ABSTRACT, LLC.
4. STEWART TITLE INSURANCE COMPANY

ADRIAN S. LALSA L.S.

4 DUNFORD ST.,
 MELVILLE, N.Y. 11747
 EMAIL JBLMAPPING@GMAIL.COM
 TEL 516-503-9898



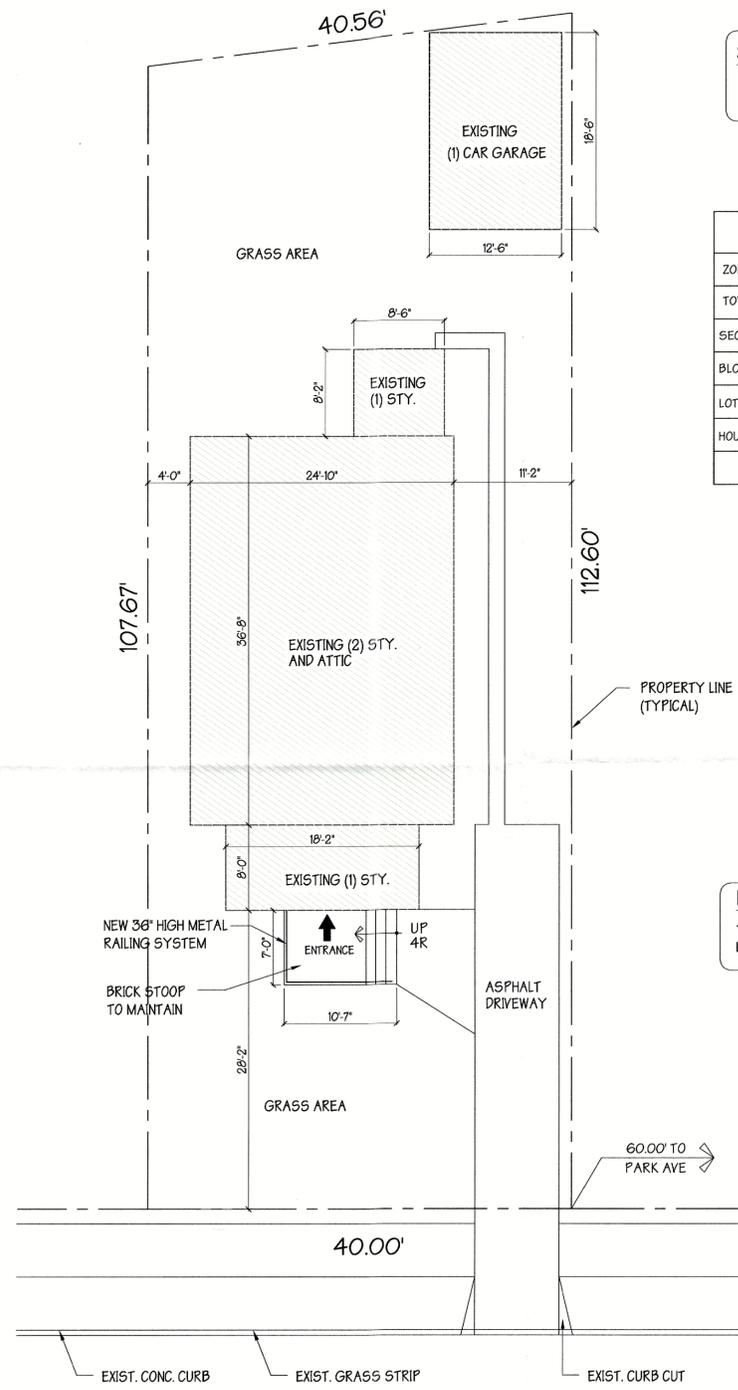
TITLE No. AX39257
 SCALE 1"=16'

TAX MAP
 SECTION: 54
 BLOCK: 76
 LOT: 22

COUNTY OF NASSAU
 TOWN OF HEMPSTEAD
 STATE OF NEW YORK

Ms. RIVERA'S RESIDENCE

118 Centre St, Freeport, NY, 11520

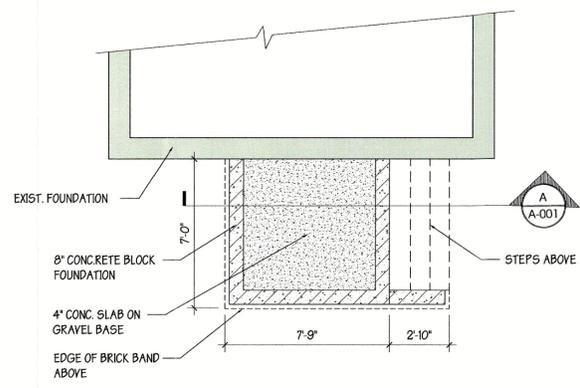
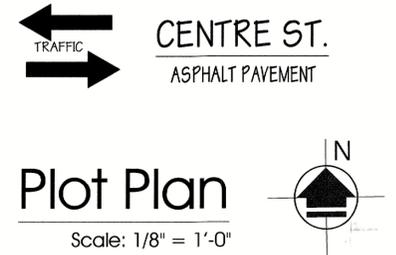


SCOPE OF WORK:
MAINTAIN FRONT STOOP

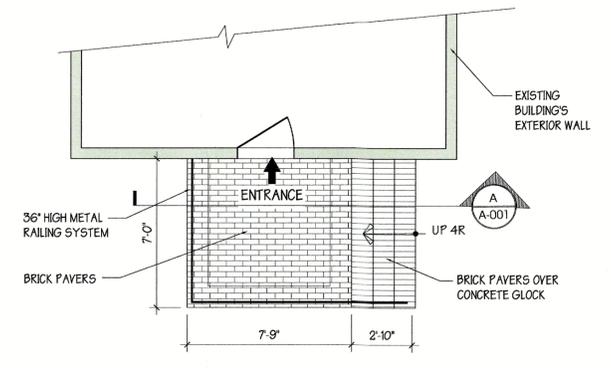
ZONING DATA	
ZONE	RES. DISTRICT 'A'
TOWN	VILLAGE OF FREEPORT
SECTION	54
BLOCK	76
LOT (s)	22
HOUSE#	118

NOTE:
THERE'S NO CHANGE IN THE BUILDING'S BULK, USE, OR EGRESS UNDER THIS APPLICATION.

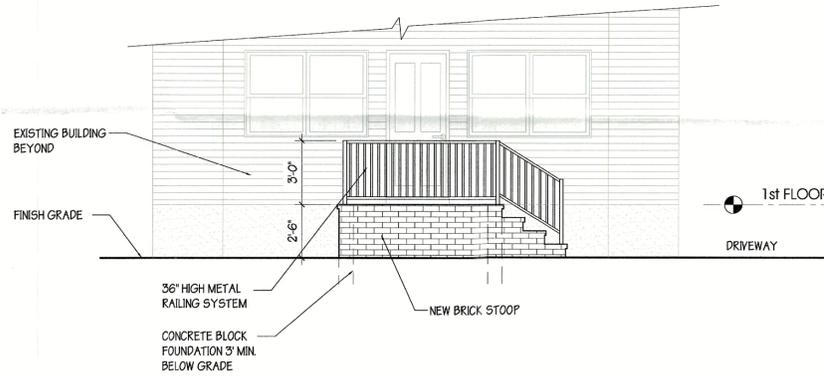
PLOT PLAN NOTE:
EXISTING SITE AND RESIDENCE'S DIMENSIONS ARE BASED ON SURVEY PREPARED BY: "ADRIAN LALSA, LAND SURVEYOR", ON SURVEY DATED 8/19/23



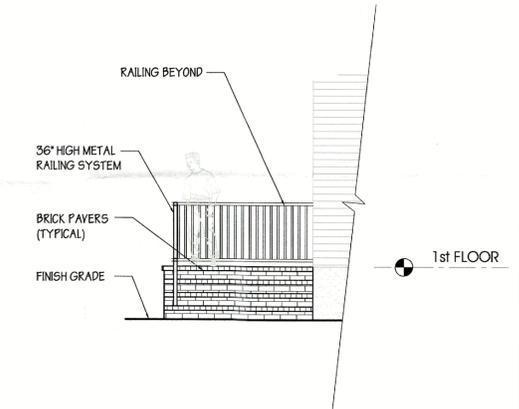
Foundation Plan
Scale: 1/4" = 1'-0"



Entry Stoop Plan
Scale: 1/4" = 1'-0"

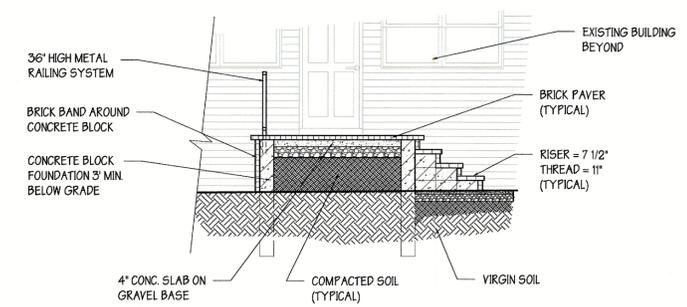


Front Elevation
Scale: 1/4" = 1'-0"

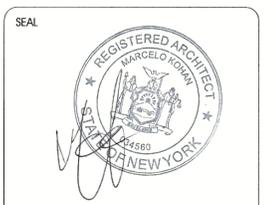


Side Elevation
Scale: 1/4" = 1'-0"

NOTES:
DRAWINGS WERE CREATED BASED UPON THE AVAILABLE INFORMATION OBTAINED, AND THE EXISTING CONDITIONS OF THE VISIBLE SURFACES ONLY AT THE TIME THE SITE VISIT WAS CONDUCTED.
THE ARCHITECT IS NOT RESPONSIBLE FOR ANY STRUCTURAL AND UNSEEN CONDITIONS PRESENT ON THE AREA OF WORK. ALTHOUGH THEY ARE FAIRLY ACCURATE, SOME DIMENSIONS INDICATED MAY NOT BE EXACT.



Section 'A'
Scale: 1/4" = 1'-0"



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DOB APPROVAL

PROJECT INFORMATION
Ms. Rivera's Residence
118 Centre St., Freeport, NY, 11520
SECTION: 55
BLOCK: 363
TAX LOT(s): 606; 607; 608

SUBMISSIONS		
No.	DATE	DESCRIPTION
1	4/19/24	FOR DOB FILING

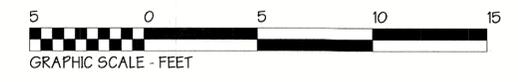
KEY PLAN

PROJECT NO: 2407
CAD DWG FILE:
DATE: 4/16/24
DRAWN BY: MAK

SHEET TITLE
Plot Plan / Zoning Information / Stoop Plans and Elevations

SHEET NUMBER	PAGE NO.
A-001.00	1 of 1

DOB JOB NUMBER



Application Date: 6/21/2024
Fees Paid: \$450.00

SP# 3747

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 51 Forest Ave ZONING DISTRICT Res A
SECTION 55 BLOCK 348 LOT 14 LOT SIZE: _____

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Dennis Marti</u>	Name: <u>Dennis Marti</u>
Address: <u>1500 Jerusalem Ave</u> <u>Merrick NY 11566</u>	Address: <u>1500 Jerusalem Ave</u> <u>Merrick NY 11566</u>
Telephone #: <u>516-902-2594</u>	Telephone #: <u>516-902-2594</u>

Attorney Name: _____
(optional) Phone #: _____

Address: 51 Forest Ave, Freeport
NY 11520

Present Land Use: Vacant land

Proposed Land Use: two story,
single family dwelling

Description of Proposed Work: Proposed single family, 2 story dwelling.

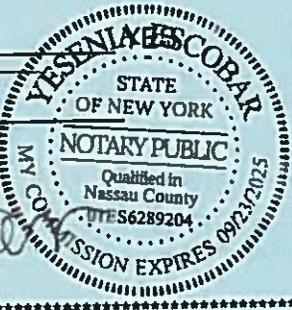
I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

NO
5/10/24
DATE

APPLICANT'S SIGNATURE

Sworn to before me this 10th day of May 2024
Yesenia Escobar
Notary Public



Property Owner's Consent:

I, _____ and _____ the owner(s) of the subject property and consent to the filing of this application.

PROPERTY OWNER'S SIGNATURE

Sworn to before me this 10th day of May 2024
Yesenia Escobar
Notary Public



5/10/24
DATE

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____

RECEIVED
VILLAGE OF FREEPORT, NY
CLERK'S OFFICE
Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER

June 12, 2024

Dennis Marti
51 Forest Ave
Freeport, NY 11520

RE: 51 Forest Ave Freeport, NY
Zoning District – Residence A Sec. 55 Blk. 348, Lot 14
Building Permit Application #20233556

Description: Proposed two story single family 2,603.1 Sq.Ft on lot A (Code compliant)

Dear Ms.

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only ONE complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-3632.

Very truly yours,

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE
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ZBA Approval Needed: NO

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

Building Permit App. 20233556

Location: 51 Forest Ave, Freeport NY 11520

Applicant: Denis Marti

Description: Proposed two story single family 2,603.1 Sq.Ft on lot A (Code compliant)

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: June 12, 2023

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Dennis Marti			
Name of Action or Project: NEW CONSTRUCTION			
Project Location (describe, and attach a location map): 51 Forest Drive, Freeport NY 11520			
Brief Description of Proposed Action: Proposed two story, single family dwelling			
Name of Applicant or Sponsor: Marti Homes LLC		Telephone: 516-902-2594	
		E-Mail: OFFICE@martihomes.net	
Address: 1500 Jerusalem Ave			
City/PO: MERRICK		State: NY	Zip Code: 11566
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO X	YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO X	YES
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

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OFFICE OF ENVIRONMENTAL CONSERVATION

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	X		
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	X		
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	X		
			o
			x
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	X		
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
			X
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
			X
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	X		
	X		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	X		
	X		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	X		
16. Is the project site located in the 100 year flood plain?	NO	YES	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	X	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	X	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Dennis Mann</u>		Date: _____
Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	X	
2. Will the proposed action result in a change in the use or intensity of use of land?	X	
3. Will the proposed action impair the character or quality of the existing community?	X	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	X	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	X	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	X	
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	X X	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	X	
9. Will the proposed action result in an adverse change to natural resources (e.g. wetlands, waterbodies, groundwater, air quality, flora and fauna)?	X	

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	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	0	
11. Will the proposed action create a hazard to environmental resources or human health?	0	

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)



1"=60'

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Powell

LEGEND

Radius Map
51 Forest Avenue
Freeport, NY 11520

Prepared By:
Long Island E-graphics
122 N. Sunrise Road
Bicksville, NY 11800
Phone: (516) 434-8000
© 2011, November 21, 2011



Section: 55
Block: 346

Section: 55
Block: 343

Section: 55
Block: 349

Section: 55
Block: 348

Section: 55
Block: 345

Section: 55
Block: 344

TOWN OF HEMPSTEAD
VILLAGE OF FREEPORT

Holloway Street

Main Street

Forest Street

N

Woodside Avenue

Elison Avenue

Avenue

Avenue

Street

Street

Street

Robert & G

Hernandez-Maria

Williams Jr

Ira C & Sheila

Gonzalez Lance

Apicano Jimmy

Caicedo Halima

Noel Timyaka & Brendon F

Person Vera

Smith R

Fernandez Marcia & Hernandez

Forest Legal Lc

Deloney Terry

Wilkes Loving

Matthews Linzy & Maty

Rudolph Henry

Delarosa Jesus

Sease Richard

Pinto Fredy A

Baez Ruth Victoria

Stephens L

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Lewis Philip & Tiffany

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Wright Leron J

Avola Rotimi D

Stuart Elvis

Reyes Manuel

Reyes Manuel

51 Forest Ave, Freeport NY 11520 – PARCEL A – Finishes

Siding

Blue

Trim

White

Doors

White

Windows

White

Masonry

Toupee and Sand

Light Fixtures

Black

Garage Door

White

Railings

White PVC

Roof

Black Shingle & Black Metal Pannel Accent

VILLAGE OF FREEPORT, NY
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Front



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**INCORPORATED VILLAGE OF FREEPORT
ZONING BOARD OF APPEALS DECISION**

DATE: April 18, 2024

APPROVAL

Building Department Permit Application #20233557

Chairman, regarding Application #2024-3 for the premises located at 51 Forest Avenue, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A and 210-40 seeking approval for code compliance for apportionment to create a new buildable lot B, 44.42' by 193.94'.

I, Anthony Mineo move that this Board make the following findings of fact:

A public hearing was held on March 21, 2024 wherein applicant was represented by Michael Gregory of Permits-R-U's, LLC. He explained that the applicant, Dennis Marti is proposing to subdivide a parcel at 51 Forest Avenue. Mr. Marti proposes to construct two single family homes that are approximately 2,200-2,300 square feet with four bedrooms and three bathrooms. Each lot will be in excess of the 5,000 square feet required, at 9,673 and 9,146 square feet.

The code requires a lot be 50 feet wide at the rear of the dwelling. At the proposed rear point of the dwelling, the lot is 47.56 feet wide, so a 2.44 foot variance is required.

Mr. Gregory relayed some questions that the neighbors had asked. Would the properties be rentals? No, they will be for sale. What will the setbacks be? The proposed houses are centered within the lots.

Mr. Marti also spoke on behalf of his application. He was unaware the property would need a variance to subdivide when he purchased the property because the frontage is 100 feet. However the property narrows as it moves back. Each house will provide an attached garage and a 4 car driveway.

A neighbor, Aaron Lloyd, spoke on the application. He explained that he came out because he was concerned that the property might be rentals. His family has been on the block for 70 years. His grandmother is 102, living at their home. Mr. Marti's assertions about offering the houses for sale alleviated his concerns. He also had concerns about the setbacks because the proposed house will be closer than the previous house, however, he concluded that as long as it is a quality dwelling, he does not have a problem. His concerns about parking were also alleviated with the ample driveway space proposed. He explained that the original house, which has now been demolished, was in great disrepair and was unlivable.

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1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
 - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance;
 - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance;
 - c. that the requested area variance is insubstantial;
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
 - e. that the alleged difficulty may be considered self-created, but this factor is not dispositive.

2. The Board, as lead agency has determined that this action is a Type II action and under SEQRA and no further review is required.

I further move that this application be granted subject to the following conditions:

1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department.
3. This application for variance(s) is being granted on the basis of the specific use proposed. If anything in this application is to change, the applicant must return to the Board for further review.

Second by: Ben Jackson

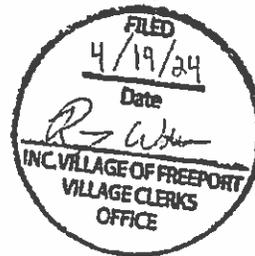
The Clerk polled the Board:

Member Mineo
 Member Jackson
 Deputy Carey

In Favor
 In Favor
 In Favor

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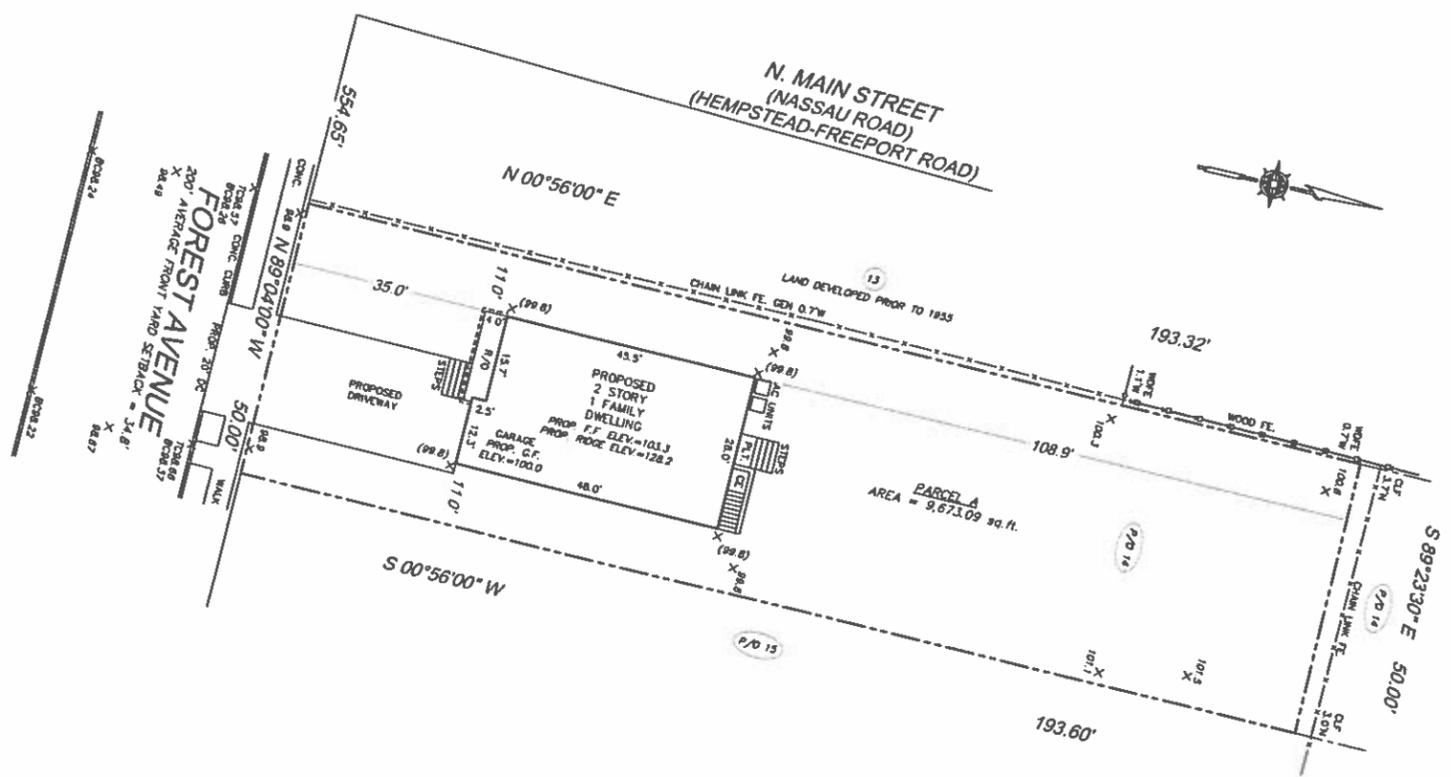
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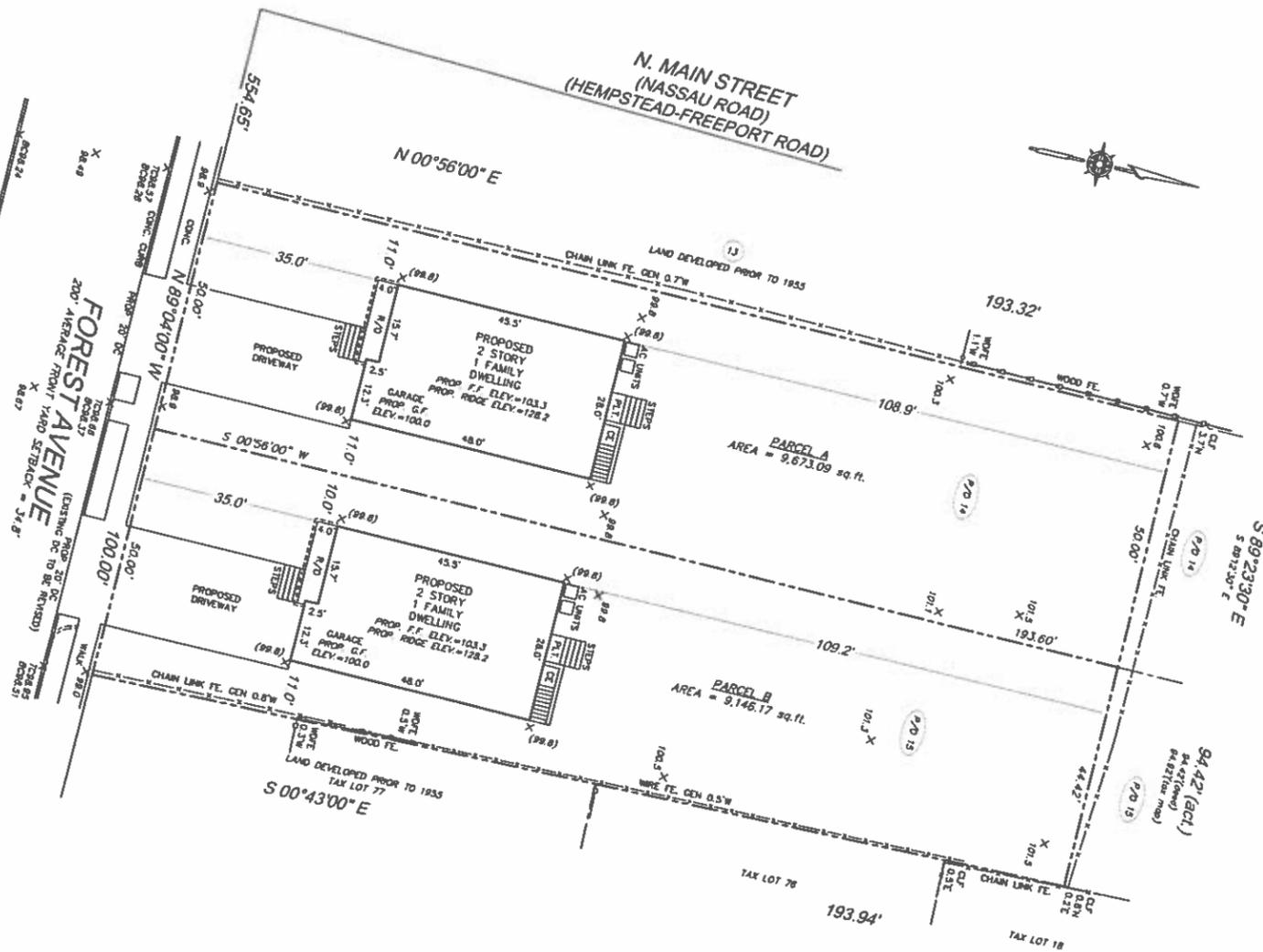
200' AVERAGE FRONT YARD SETBACK CALC.
 N.C.T.M. SECTION 55, BLOCK 346
 LOT: 4
 SETBACK: 51.8'
 N.C.T.M. SECTION 55, BLOCK 348
 LOT(S): 77-8, 77-9, 77-10, 77-11
 SETBACK: 37.8', 36.5', 36.5'
 AVERAGE: 139.1 / 4 = 34.8'

LEGEND:
 20' FILED MAP LOT NUMBER

<p>PARCEL A SITUATED IN INCORPORATED VILLAGE OF FREEPORT TOWN OF HEMPSTEAD COUNTY OF NASSAU STATE OF NEW YORK</p>			
<p>JOSEPH M. PETITO Land Surveying & Civil Engineering PC 27 Forest Avenue Locust Valley, NY 11560 (516) 876-3260 Website: www.jpelito.com Email: oconnorpetito@ventzon.net formerly O'Connor - Petito, L.L.C.</p>			
<p>PROPERTY OF OLIVER B SMITH FILED ON DECEMBER 23 1994 AS FILE NO. 257</p>	<p>SEC 55</p>	<p>BLK. 348</p>	<p>LOT 14</p>
<p>DATE NOVEMBER 27 2023</p>	<p>REVISED</p>	<p>SCALE 1"=20'</p>	<p>SHEET 1 OF 1</p>



ELEVATIONS SHOWN HEREIN REFER TO AN ASSAID DATUM.
 UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP PREPARED AND SEALED BY A LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 1703 OF THE NEW YORK STATE EDUCATION LAW.
 COPIES FROM THE ORIGINAL OF THIS SURVEY MAP NOT MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS UNDOUBTED SEAL SHALL NOT BE CONSIDERED A VALID INSTRUMENT FOR ANY PURPOSES. ANY INSTRUMENT MARKED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, SAID INSTRUMENTS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND DOMESTIC INSTITUTION. CONTRIBUTIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTRUMENTS OR SUBSEQUENT OWNERS.



200' AVERAGE FRONT YARD SETBACK, CALC.S.
 N.C.T.M. SECTION 55; BLOCK 346
 LOT 4
 SETBACK: 31.8'
 N.C.T.M. SECTION 55; BLOCK 348
 LOT(S) 10-11
 SETBACK: 32.8'
 32.8'
 34.5'
 AVERAGE: 139.1 / 4 = 34.8'

LEGEND:
 (38) PLOD MAP LOT NUMBER

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DEVIATIONS SHOWN HEREIN REFER TO AN ASSUMED DATUM.
 "UNLAWFUL ALTERATION OR ADDITION TO A SURVEY MAP PREPARED AND SEALED BY A LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7709 OF THE NEW YORK STATE EDUCATION LAW."

"WORKS FROM THE ORIGINAL OF THIS SURVEY MAP NOT MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR, AND NO SEAL OR HIS EXEMPTED SEAL, SHALL BE CONSIDERED VALID UNLESS THE SURVEYOR'S SIGNATURE IS PRESENT AND THE SURVEYOR'S PROFESSIONAL LAND SURVEYOR'S LICENSE NUMBER IS SHOWN ON THE ORIGINAL OF THIS SURVEY MAP. THE SURVEYOR'S SIGNATURE AND LICENSE NUMBER SHALL BE CONSIDERED VALID ONLY TO THE EXTENT THAT THE SURVEYOR'S SIGNATURE AND LICENSE NUMBER ARE SHOWN ON THE ORIGINAL OF THIS SURVEY MAP. THE SURVEYOR'S SIGNATURE AND LICENSE NUMBER SHALL BE CONSIDERED VALID ONLY TO THE EXTENT THAT THE SURVEYOR'S SIGNATURE AND LICENSE NUMBER ARE SHOWN ON THE ORIGINAL OF THIS SURVEY MAP."

PROPOSED COMPOSITE SUBDIVISION
 SITUATED IN
 INCORPORATED VILLAGE OF FREEPORT
 TOWN OF HEMPSTEAD COUNTY OF NASSAU STATE OF NEW YORK

JOSEPH M. PETITO
 Land Surveying & Civil Engineering PC
 27 Forest Avenue Locust Valley, NY 11560 (516) 676-3260
 Website: www.jpello.com Email: oconnorpetito@verizon.net
 formerly O'Connor - Petito, L.L.C.

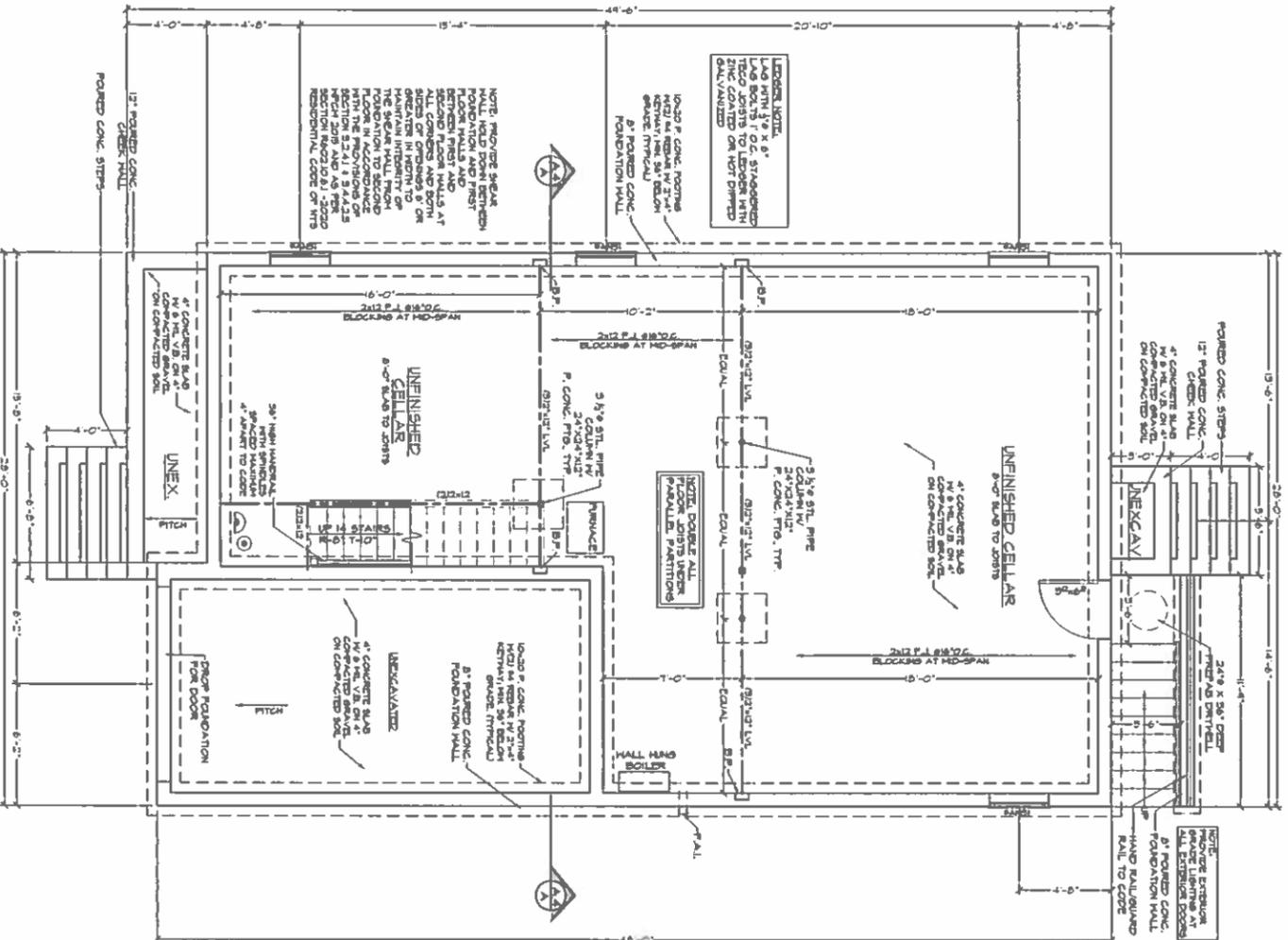
PROPERTY OF OLIVER B. SMITH FREDON
 MAP DECEMBER 23, 1994 AS FILED NO. 257

DATE NOVEMBER 27, 2023 REVISED

SEC 55 B.L.K. 348 LOTS 14-15

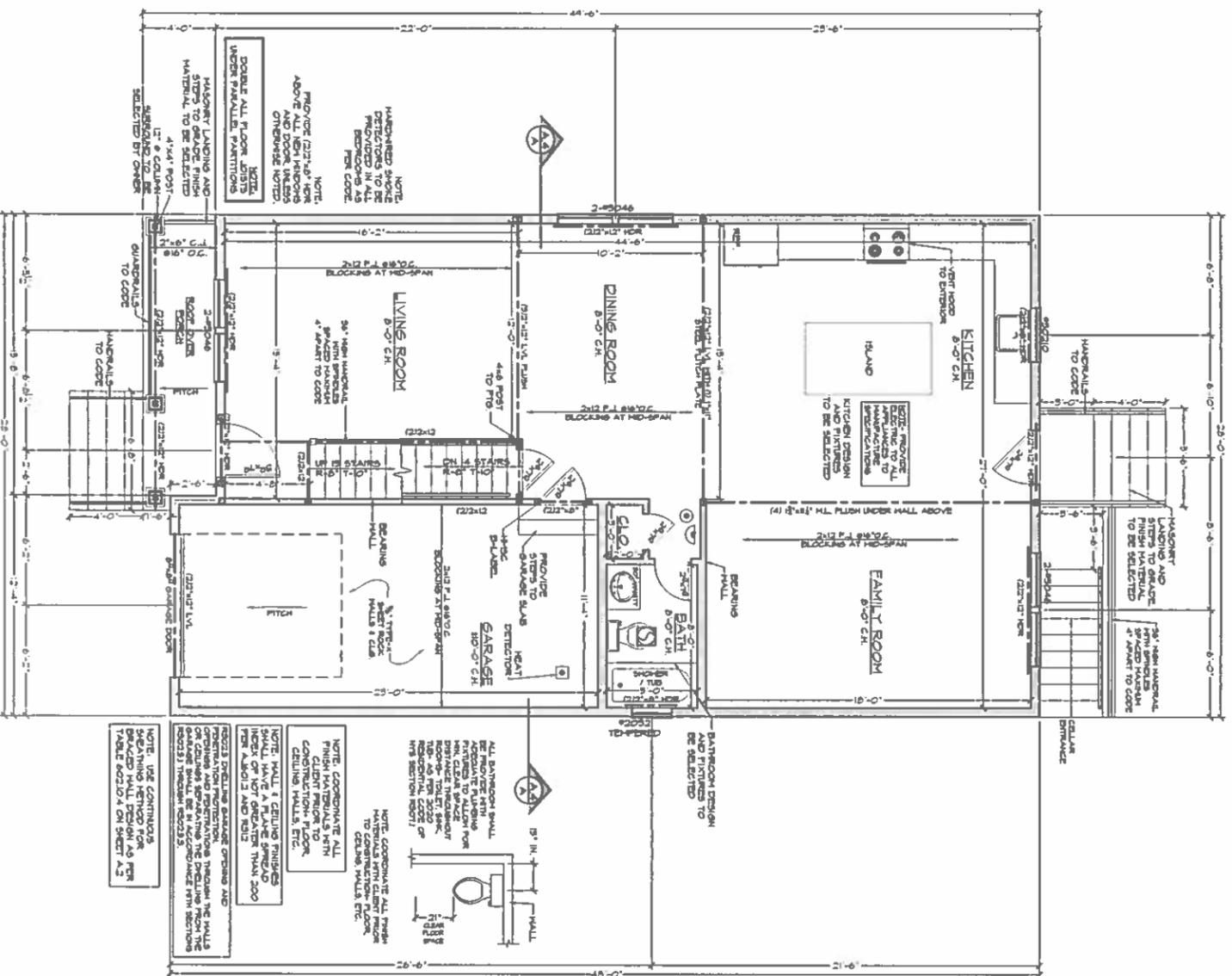
SCALE: 1"=20' SHEET 1 OF 1

- HALL SET**
- EXIST TO BE REMOVED
 - EXIST TO REMAIN
 - NEW FLOOR FINISH
 - NEW FLOOR CONCRETE
 - 4" x 4" POST ULTIMO OVERLAP
 - WALL TO BE REMOVED
 - WALL TO REMAIN
 - WALL TO BE RECONSTRUCTED
 - WALL TO BE RECONSTRUCTED WITH 2" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 4" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 6" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 8" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 10" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 12" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 14" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 16" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 18" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 20" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 22" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 24" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 26" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 28" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 30" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 32" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 34" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 36" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 38" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 40" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 42" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 44" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 46" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 48" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 50" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 52" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 54" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 56" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 58" MIN. REINFORCED CONCRETE
 - WALL TO BE RECONSTRUCTED WITH 60" MIN. REINFORCED CONCRETE



PROPOSED FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

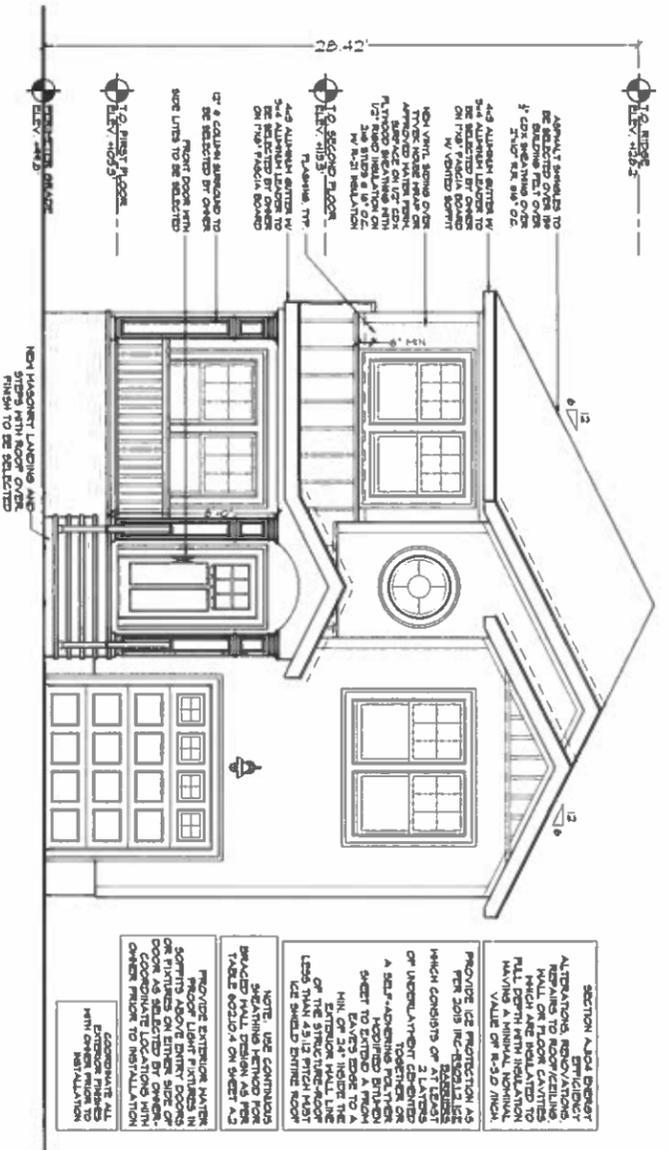
VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

PROPOSED TWO STORY, ONE FAMILY DWELLING
- PARCEL A - @ 51 FOREST AVENUE, FREEPORT, NY, 11520



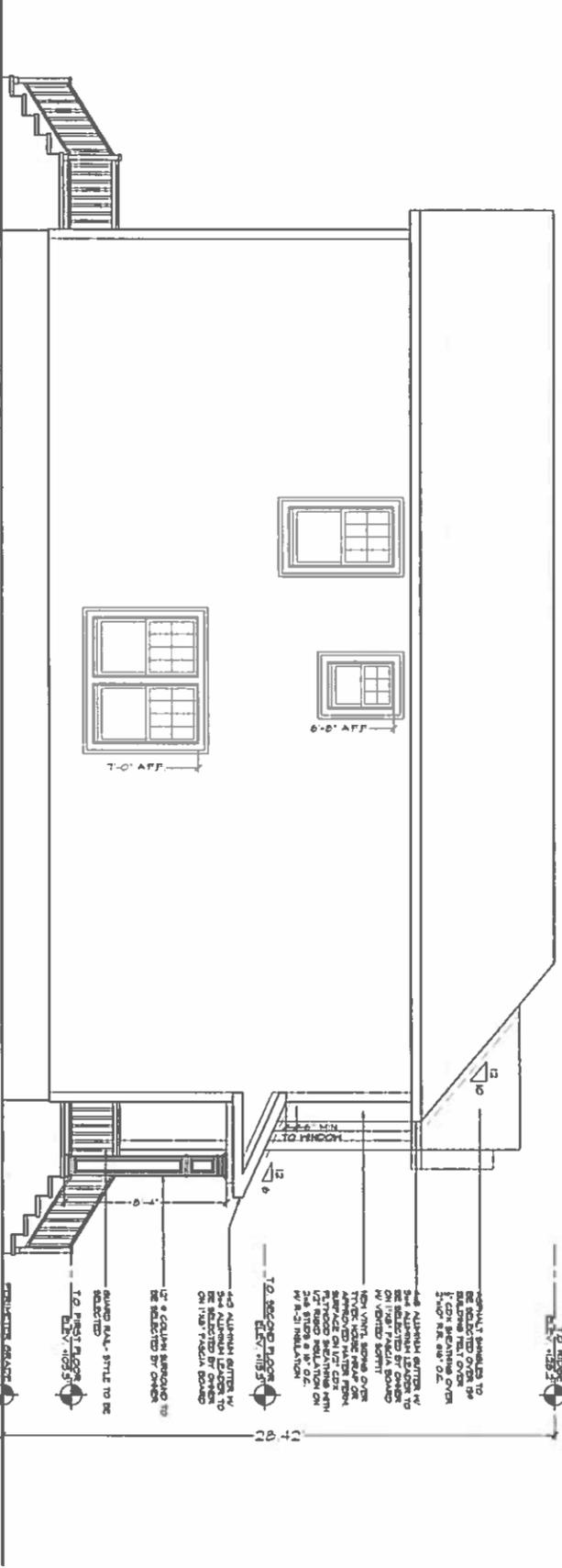
ARCHITECT SEAL
DATE: 11-28-23
SCALE: NOTED

A.2



PROPOSED FRONT ELEVATION

SCALE 1/4" = 1'-0"



PROPOSED SIDE ELEVATION

SCALE 1/4" = 1'-0"

CLEAR'S OFFICE
VILLAGE OF FREEPORT, NY

2024 JUN 27
A10102

PROPOSED TWO STORY, ONE FAMILY DWELLING

- PARCEL A - @ 51 FOREST AVENUE, FREEPORT, NY, 11520

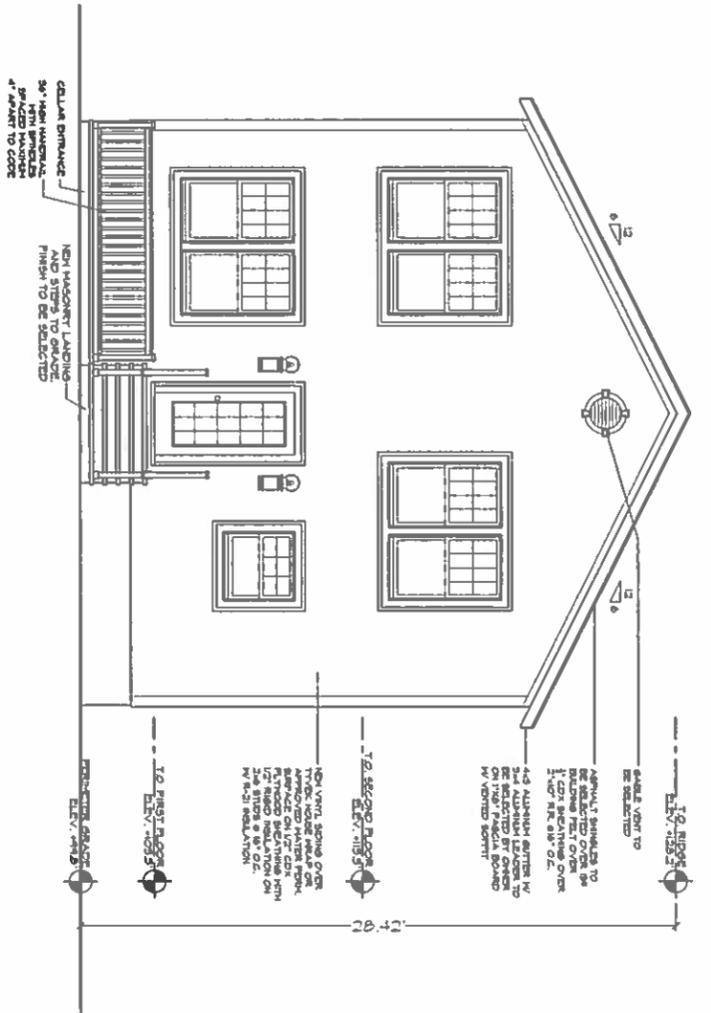
ARCHITECT SEAL



SCALEAS NOTED

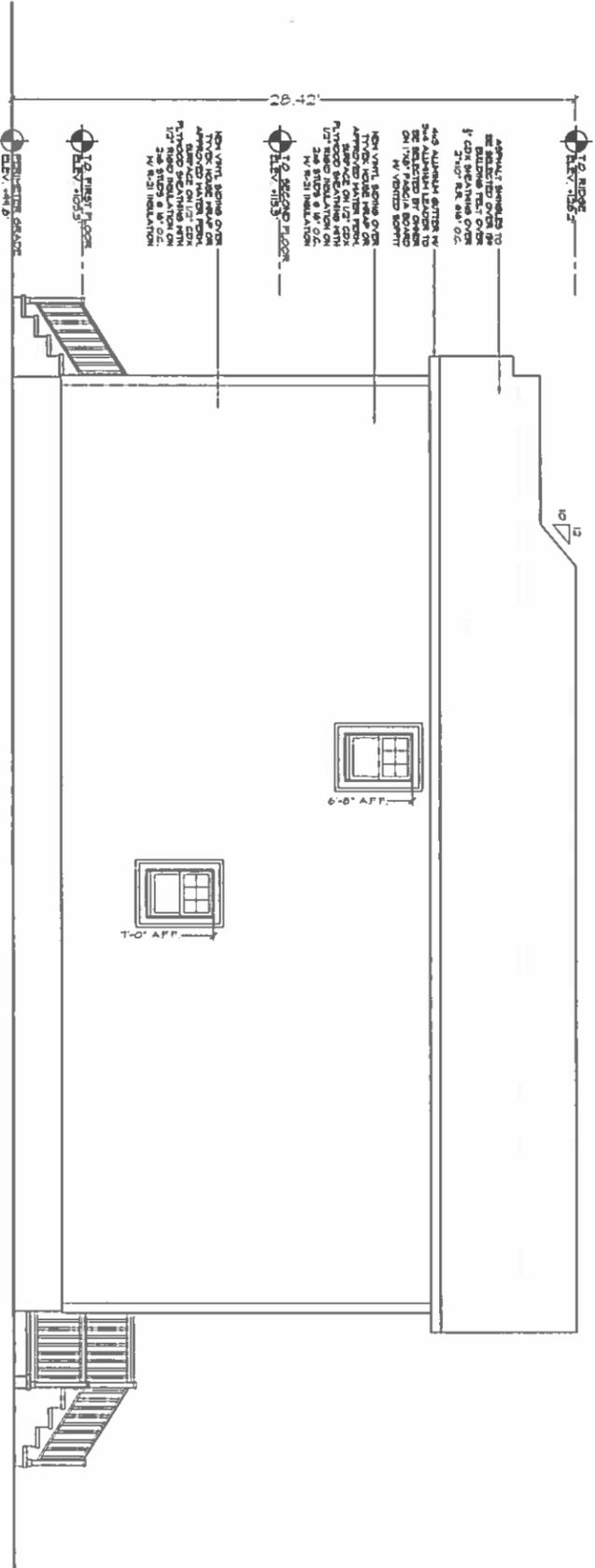
DATE: 11-28-23

A.5



PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED SIDE ELEVATION

SCALE: 1/4" = 1'-0"

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

2024 JUN 21 A 10:02

PROPOSED TWO STORY, ONE FAMILY DWELLING

RECEIVED

- PARCEL A - @ 51 FOREST AVENUE, FREEPORT, NY, 11520

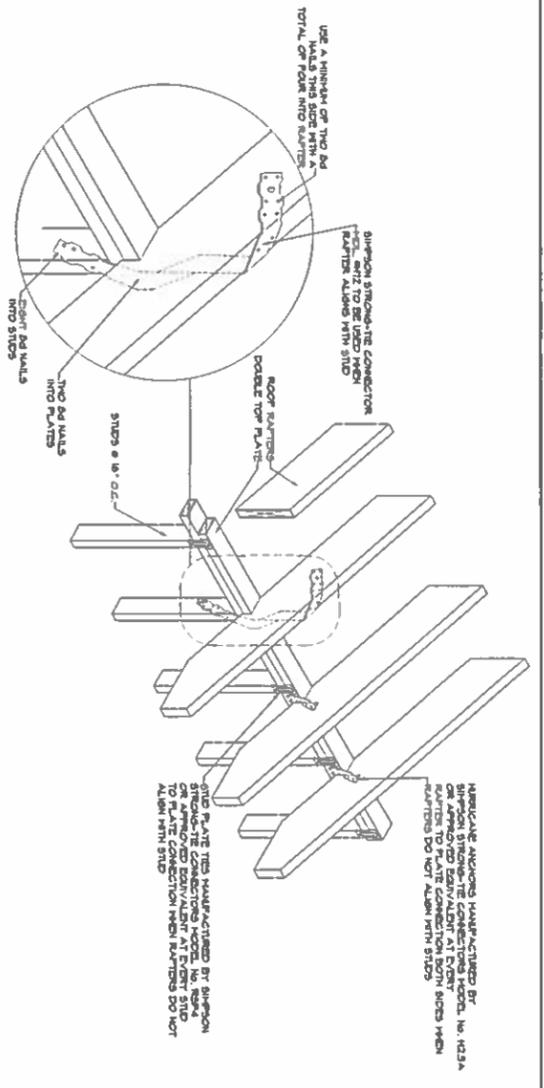
ARCHITECT SEAL



SCALEAS NOTED

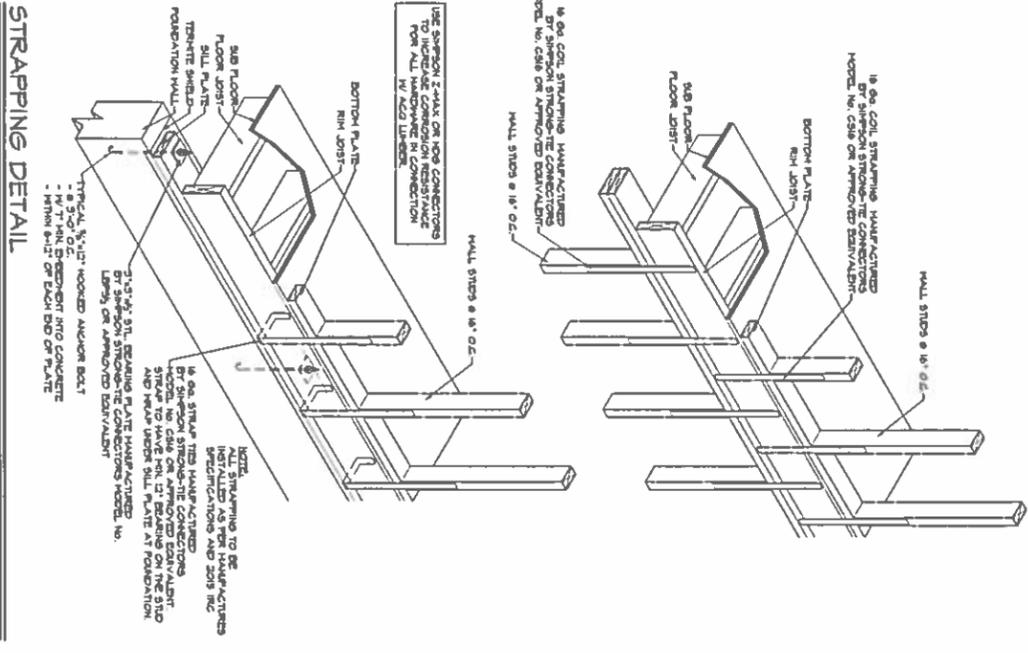
DATE: 11-28-23

A.6



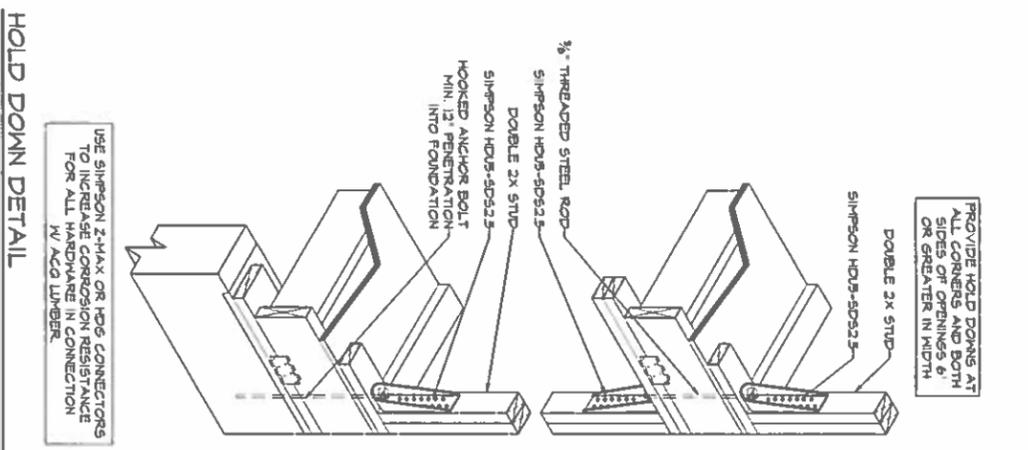
ROOF STRAPPING DETAIL

SCALE: 3/4" = 1'-0"



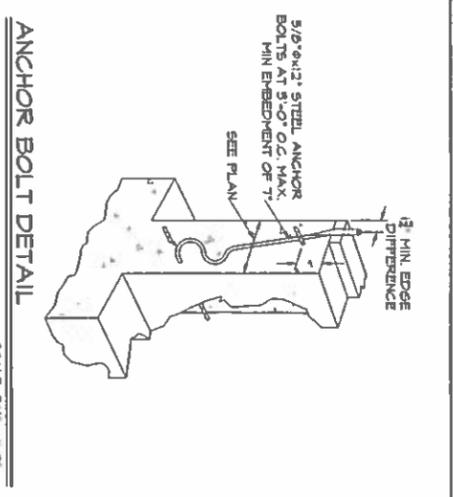
STRAPPING DETAIL

SCALE: 3/4" = 1'-0"



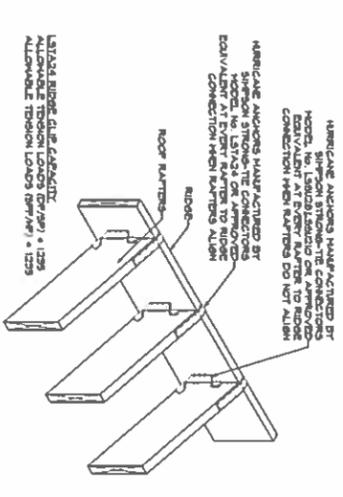
HOLD DOWN DETAIL

SCALE: 3/4" = 1'-0"



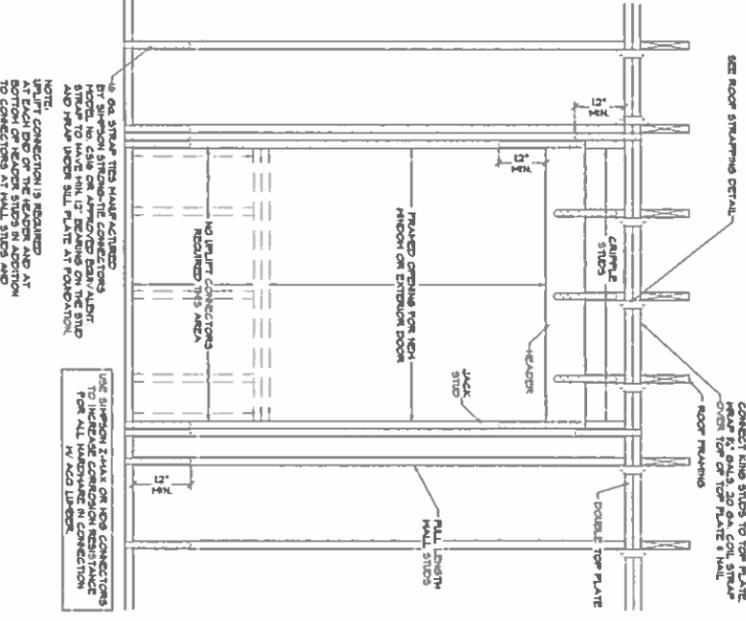
ANCHOR BOLT DETAIL

SCALE: 3/4" = 1'-0"



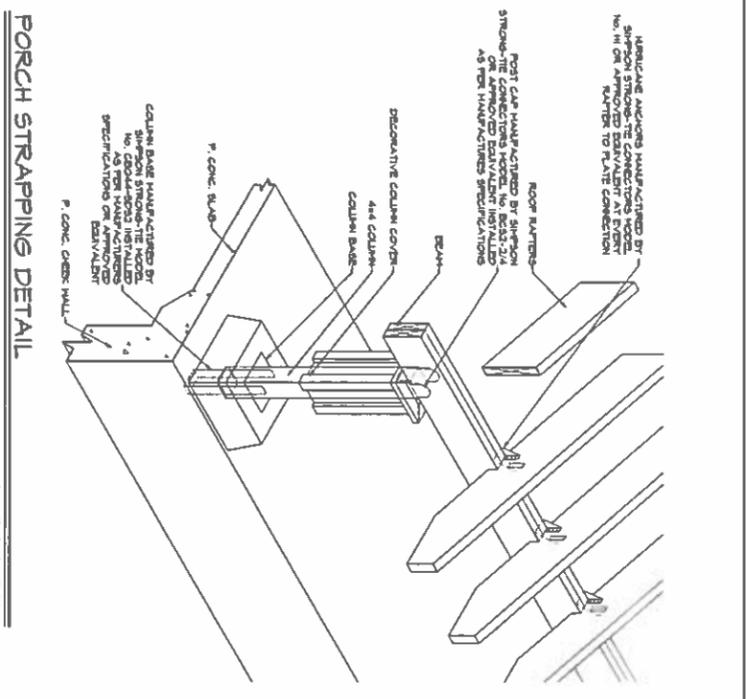
RIDGE STRAPPING DETAIL

SCALE: 3/4" = 1'-0"



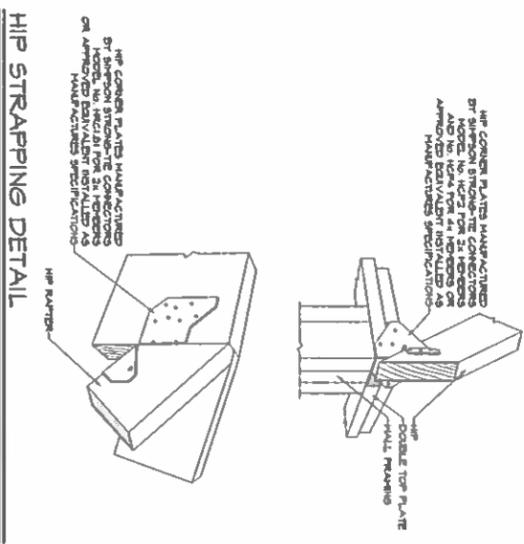
UPLIFT CONNECTOR DETAIL

SCALE: 3/4" = 1'-0"



PORCH STRAPPING DETAIL

SCALE: 3/4" = 1'-0"



HIP STRAPPING DETAIL

SCALE: 3/4" = 1'-0"

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

2025 JUN 21 A 10:02

PROPOSED TWO STORY, ONE FAMILY DWELLING

RECEIVED - PARCEL A - @ 51 FOREST AVENUE, FREEPORT, NY, 11520



ARCHITECT SEAL

SCALEAS NOTED

DATE: 11-26-25

A.8

Application Date: 6/21/2024
Fees Paid: \$460.00

SP# 3748

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 51 Forest Ave, Freeport ZONING DISTRICT Res A
SECTION 55 BLOCK 348 LOT 15 LOT SIZE: _____

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Dennis Marti</u>	Name: <u>Dennis Marti</u>
Address: <u>1500 Jerusalem Ave</u> <u>Merrick NY 11566</u>	Address: <u>1500 Jerusalem Ave</u> <u>Merrick NY 11566</u>
Telephone #: <u>516-902-2594</u>	Telephone #: <u>516-902-2594</u>

Attorney Name: _____
(optional) Phone #: _____

Address: 51 forest Ave, Freeport
New York, 11520

Present Land Use: Vacant

Proposed Land Use: two story, single family dwelling

Description of Proposed Work: Proposed two story, single family dwelling.

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

YES _____ NO _____
DATE 5/10/24

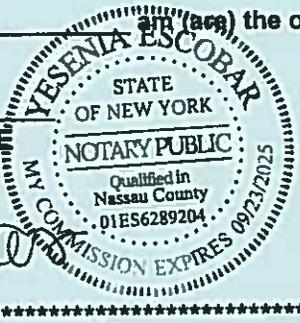
APPLICANT'S SIGNATURE
Sworn to before me this 10th day of May, 2024
Yesenia Escobar
Notary Public



Property Owner's Consent:

I, _____ am (are) the owner(s) of the subject property and consent to the filing of this application.

PROPERTY OWNER'S SIGNATURE
Sworn to before me this 10th day of May, 2024
Yesenia Escobar
Notary Public



DATE 5/10/24

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____ Date: <u>2024 JUN 21 11:38 AM</u>
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER
June 12, 2024

Dennis Marti
51 Forest Ave
Freeport, NY 11520

RE: 51 Forest Ave Freeport, NY
Zoning District – Residence A Sec. 55 Blk. 348, Lot 14
Building Permit Application #20233557
Description: Proposed two story single family 2,603.1 Sq.Ft on lot B

Dear Ms.

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only ONE complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-3632.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez
cc: Village Clerk

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE
2024 JUN 21 A 11:39

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ZBA Approval Needed: NO

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

Building Permit App. 20233557

Location: 51 Forest Ave, Freeport NY 11520

Applicant: Denis Marti

Description: Proposed two story single family 2,603.1 Sq.Ft on lot B

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: June 12, 2023

VILLAGE OF FREEPORT, NY

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Dennis Marti			
Name of Action or Project: New Construction			
Project Location (describe, and attach a location map): 51 Forest Drive, Freeport NY 11520			
Brief Description of Proposed Action: Proposed two story, single family dwelling			
Name of Applicant or Sponsor: Marti Homes LLC		Telephone: 516.902.2594	
		E-Mail: office@martihomes.net	
Address: 1500 Jerusalem Ave			
City/PO: Merrick		State: NY	Zip Code: 11566
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

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OFFICE OF THE CLERK OF THE SUPREME COURT
STATE OF NEW YORK

RECEIVED

2024 JUN 21 A 11:39

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?			
b. Consistent with the adopted comprehensive plan?			
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	X		
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	X		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	X		
b. Are public transportation service(s) available at or near the site of the proposed action?			o
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			x
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	X		
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
			X
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
			X
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	X		
b. Is the proposed action located in an archeological sensitive area?			
	X		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	X		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			
	X		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	X		
16. Is the project site located in the 100 year flood plain?	NO	YES	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
_____	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
_____	X	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
_____	X	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Dennis Marn</u>		Date: _____
Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	X	
2. Will the proposed action result in a change in the use or intensity of use of land?	X	
3. Will the proposed action impair the character or quality of the existing community?	X	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	X	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	X	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	X	
7. Will the proposed action impact existing:		
a. public / private water supplies?	X	
b. public / private wastewater treatment utilities?	X	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	X	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	X	

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	0	
11. Will the proposed action create a hazard to environmental resources or human health?	0	

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 VILLAGE OF FREEPORT, NY

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

51 Forest Ave, Freeport NY 11520 – PARCEL B – Finishes

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VILLAGE OF FREEPORT, NY

Siding

Grey

Trim

White

Doors

White

Windows

White

Masonry

Toupee and Sand

Light Fixtures

Black

Garage Door

White

Railings

White PVC

Roof

Black Shingle & Black Metal Pannel Accent

**INCORPORATED VILLAGE OF FREEPORT
ZONING BOARD OF APPEALS DECISION**

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

DATE: April 18, 2024

APPROVAL

Building Department Permit Application #20233557

Chairman, regarding Application #2024-3 for the premises located at 51 Forest Avenue, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A and 210-40 seeking approval for code compliance for apportionment to create a new buildable lot B, 44.42' by 193.94'.

I, Anthony Mineo move that this Board make the following findings of fact:

A public hearing was held on March 21, 2024 wherein applicant was represented by Michael Gregory of Permits-R-Us, LLC. He explained that the applicant, Dennis Marti is proposing to subdivide a parcel at 51 Forest Avenue. Mr. Marti proposes to construct two single family homes that are approximately 2,200-2,300 square feet with four bedrooms and three bathrooms. Each lot will be in excess of the 5,000 square feet required, at 9,673 and 9,146 square feet.

The code requires a lot be 50 feet wide at the rear of the dwelling. At the proposed rear point of the dwelling, the lot is 47.56 feet wide, so a 2.44 foot variance is required.

Mr. Gregory relayed some questions that the neighbors had asked. Would the properties be rentals? No, they will be for sale. What will the setbacks be? The proposed houses are centered within the lots.

Mr. Marti also spoke on behalf of his application. He was unaware the property would need a variance to subdivide when he purchased the property because the frontage is 100 feet. However the property narrows as it moves back. Each house will provide an attached garage and a 4 car driveway.

A neighbor, Aaron Lloyd, spoke on the application. He explained that he came out because he was concerned that the property might be rentals. His family has been on the block for 70 years. His grandmother is 102, living at their home. Mr. Marti's assertions about offering the houses for sale alleviated his concerns. He also had concerns about the setbacks because the proposed house will be closer than the previous house, however, he concluded that as long as it is a quality dwelling, he does not have a problem. His concerns about parking were also alleviated with the ample driveway space proposed. He explained that the original house, which has now been demolished, was in great disrepair and was unlivable.

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1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
 - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance;
 - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance;
 - c. that the requested area variance is insubstantial;
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
 - e. that the alleged difficulty may be considered self-created, but this factor is not dispositive.

2. The Board, as lead agency has determined that this action is a Type II action and under SEQRA and no further review is required.

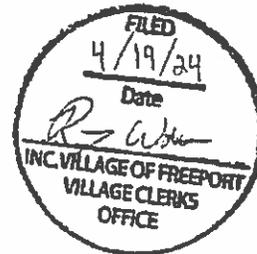
I further move that this application be granted subject to the following conditions:

1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department.
3. This application for variance(s) is being granted on the basis of the specific use proposed. If anything in this application is to change, the applicant must return to the Board for further review.

Second by: Ben Jackson

The Clerk polled the Board:

Member Mineo	In Favor
Member Jackson	In Favor
Deputy Carey	In Favor





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2024 JUN 21 A 11:40

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VILLAGE OF FREEPORT, NY

Front



Left



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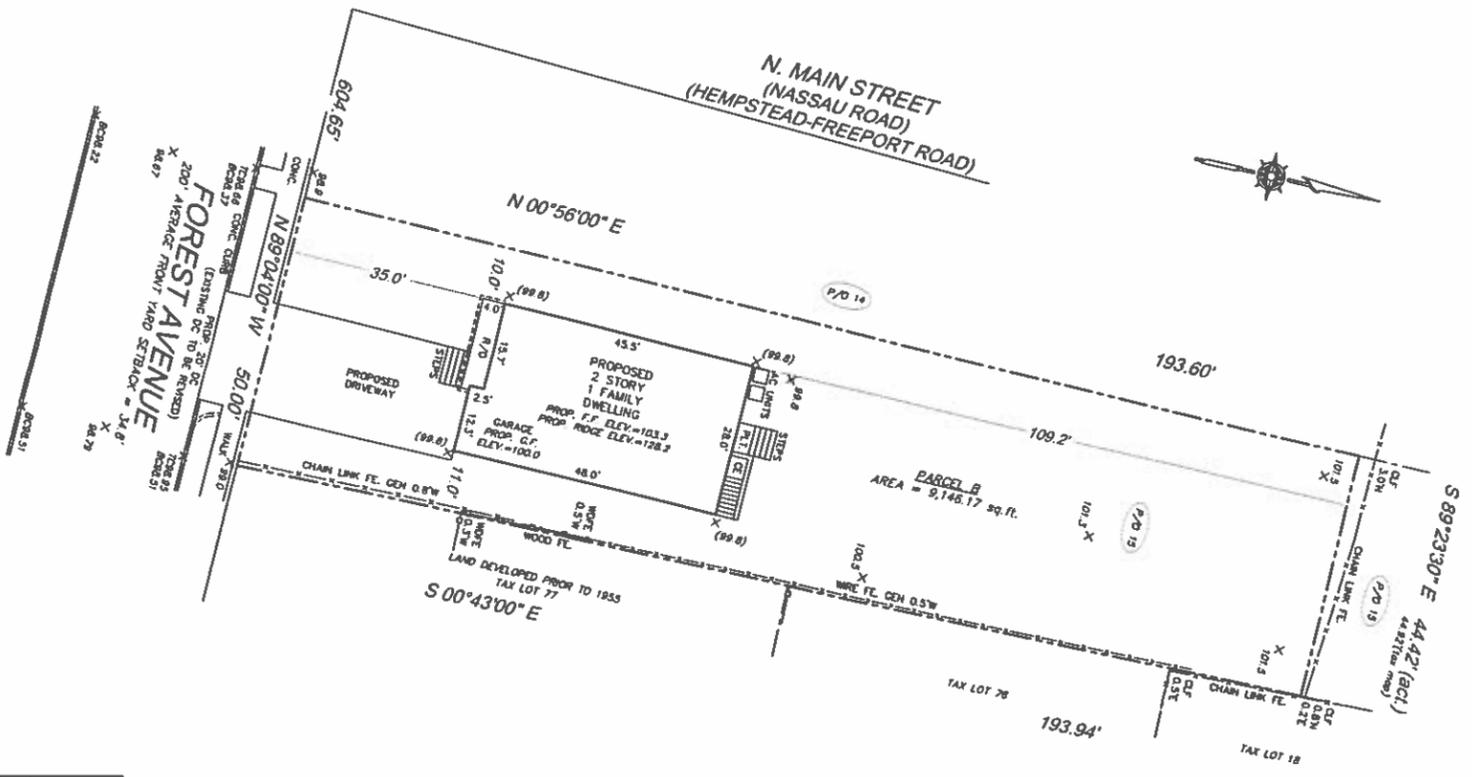
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VILLAGE OF FREEPORT, NY



200' AVERAGE FRONT YARD SETBACK CALC.S.
 N.C.T.M. SECTION 55, BLOCK 348
 LOT: 4
 SETBACK: 31.0'
 N.C.T.M. SECTION 55, BLOCK 348
 LOTS: 10-11
 SETBACK: 36.5'
 AVERAGE: 139.1 / 4 = 34.8'

LEGEND.

20 FILED MAP LOT NUMBER

ELEVATIONS SHOWN HEREON REFER TO AN ASSUMED DATUM.
 UNADJUSTED AVERAGE OF READINGS TO A POINT WAS PREPARED AND SEALED BY A LICENSED LAND SURVEYOR IN A NOTATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.
 CORNER FROM THE ORIGINAL OF THIS SURVEY WAS NOT LOCATED WITH AN ORIGINAL OF THE LAND SURVEYOR. ANGLED SEAL OR AN APPROVED SEAL WITH THE EXISTING COORDINATES FOR LAND SURVEYING SHALL BE AFFIXED TO THE SURVEY. THE SURVEYOR'S ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, CONTRACTOR, ARCHITECT AND ENGINEER. CERTIFICATIONS ARE NOT TRANSFERABLE TO ANY OTHER PERSONS OR SUBSEQUENT OWNERS.

PARCEL B
 SITUATED IN
 INCORPORATED VILLAGE OF FREEPORT
 TOWN OF HEMPSTEAD COUNTY OF NASSAU STATE OF NEW YORK

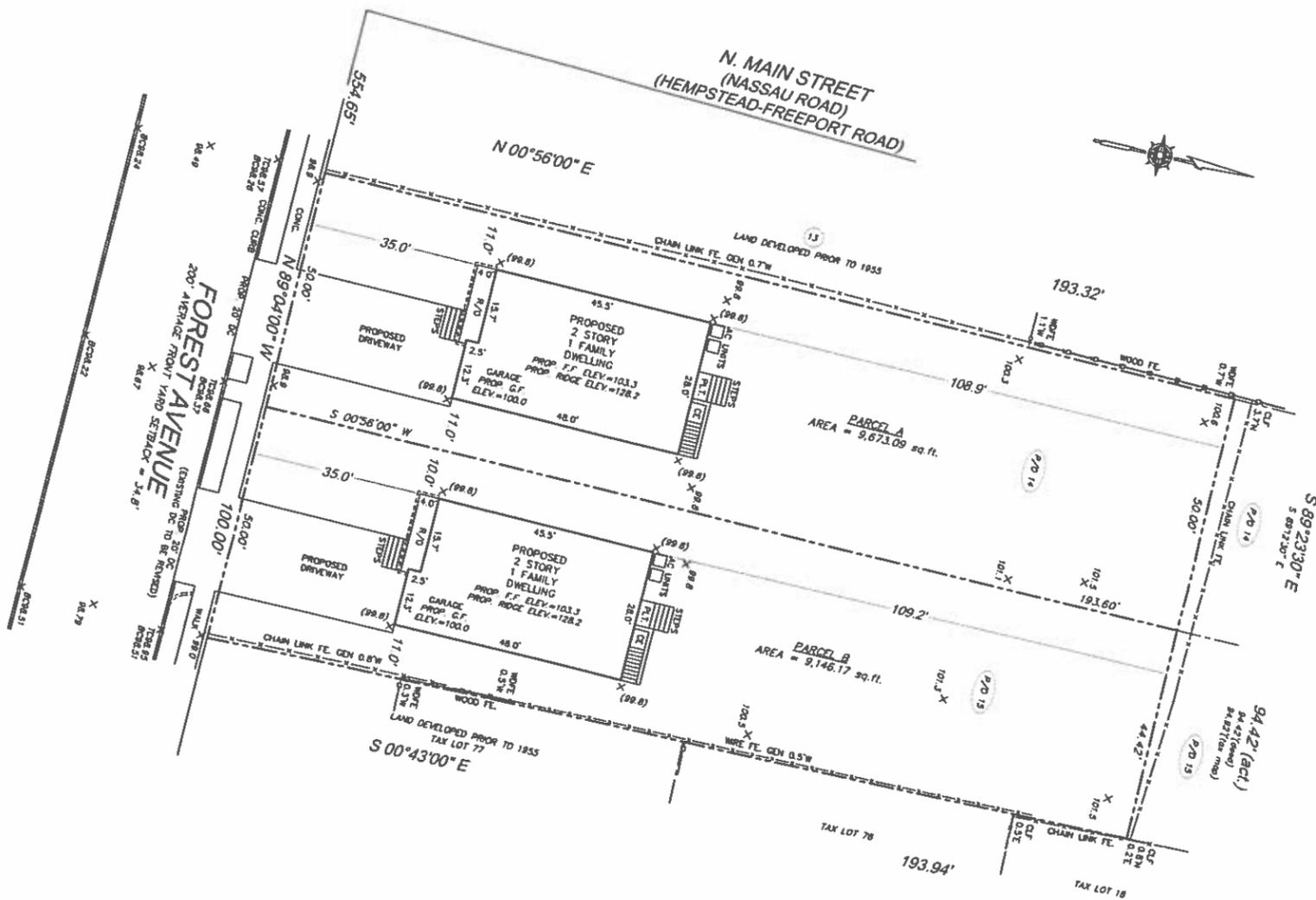
JOSEPH M. PETITO
 Land Surveying & Civil Engineering PC
 27 Forest Avenue Locust Valley, NY 11560 (516) 676-3260
 Website: www.jpelito.com Email: oconnorpetito@verizon.net
 formerly of O'Connor - Petito, L.L.C.

PROPERTY OF QUEN B SMITH FILED ON
 DECEMBER 23 1994 AS FILE NO 217

MAP: DECEMBER 23 1994 AS FILE NO 217 SEC 55 B.L.K. 348 LOT 15
 DATE: NOVEMBER 27 2023 REVISED: SCALE 1"=20' SHEET 1 OF 1



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 VILLAGE OF FREEPORT, NY



200' AVERAGE FRONT YARD SETBACK CALC.
 N.C.T.M. SECTION 55, BLOCK 346
 LOT 4
 SETBACK: 31.8'
 N.C.T.M. SECTION 55, BLOCK 348
 LOTS 1-11
 SETBACK: 37.8', 37.8', 37.8', 38.5'
 AVERAGE: 139.1 / 4 = 34.8'

LEGEND:
 (Symbol) FIELD MAP LOT NUMBER

PROPOSED COMPOSITE SUBDIVISION
 SITUATED IN
 INCORPORATED VILLAGE OF FREEPORT
 TOWN OF HEMPSTEAD COUNTY OF NASSAU STATE OF NEW YORK

JOSEPH M. PETTO
 Land Surveying & Civil Engineering PC
 27 Forest Avenue Locust Valley, NY 11550 (516) 676-3260
 Website: www.jpello.com Email: oconnorpetto@verizon.net
 formerly O'Connor - Petto, L.L.C.

PROPERTY OF OLIVER B SMITH FILED ON
 MAP DECEMBER 23 1904 AS FILE NO. 257

DATE NOVEMBER 27, 2023

REVISED

SEC 55 BLK. 346 LOTS 14-15

SCALE 1"=20'

SHEET 1 OF 1

ELEVATIONS SHOWN HEREON REFER TO AN ASSUMED DATUM.
 UNADJUSTED ALTIMETER ON APPROX. TO A SURVEY MAP PREPARED AND SEALED BY A LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7208 OF THE NEW YORK STATE EDUCATION LAW.
 COMES FROM THE ORIGINAL OF THIS SURVEY MAP NOT LAMINATED WITH AN ORIGINAL OF THE LAND SURVEYOR'S MAPS SEAL OR HIS ENDORSED SEAL WITHIN THE EXPIRING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATION SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, CONVEYANCE AGENT AND UNDER INSTITUTION. CONTRIBUTIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

PROPOSED: PROPOSED TWO STORY, ONE FAMILY DWELLING

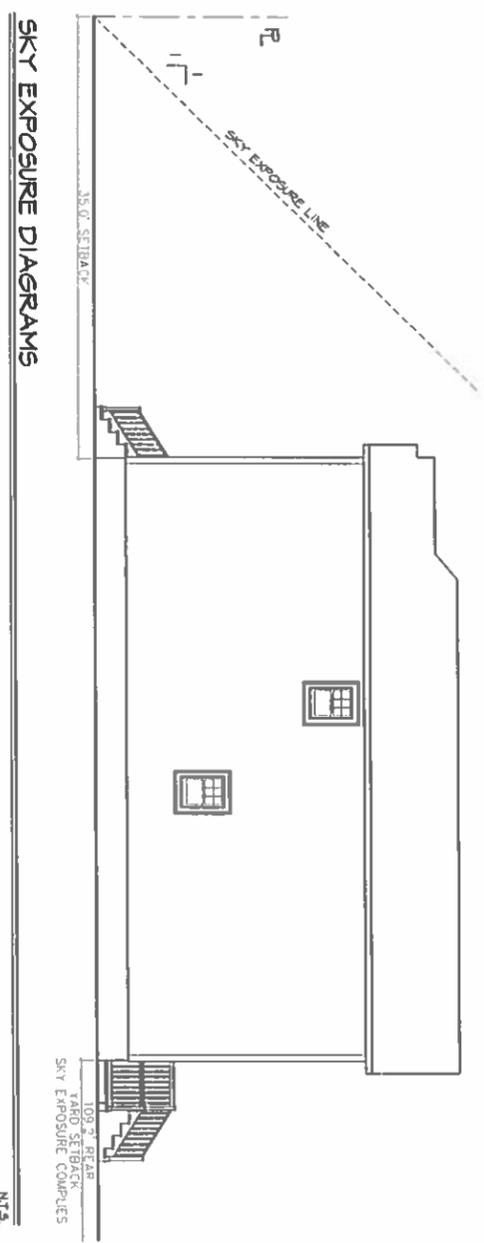
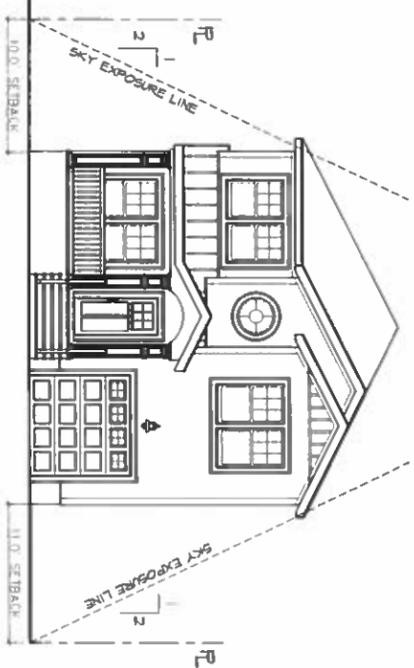
DRAWING SHEET LIST

- A.1: COVER SHEET
- A.2: FOUNDATION FIRST FLOOR PLAN
- A.3: SECOND FLOOR, ROOF PLAN
- A.4: MECHANICAL PLANS
- A.5: ELEVATIONS
- A.6: ELEVATIONS
- A.7: SECTION PLUM, RISER,
- A.8: STRAPPING DETAILS
- A.9: CONSTRUCTION SCHEDULES
- A.10: SEALING DETAILS
- A.11: SEALING DETAILS

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT THESE PLANS AND/OR SPECIFICATIONS ARE IN COMPLIANCE WITH

- THE 2020 RESIDENTIAL CODE OF NYS
- THE MECHANICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTERS 5-25 OF THE 2020 RESIDENTIAL CODE OF NYS
- THE PLUMBING SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTERS 25-59 OF THE 2020 RESIDENTIAL CODE OF NYS
- THE ELECTRICAL SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTERS 54-42 OF THE 2020 RESIDENTIAL CODE OF NYS
- IN ACCORDANCE WITH 2020 EEC RESIDENTIAL ENERGY EFFICIENCY CODE
- THE PROJECT COMPLIANCE METHOD CHOSEN IS TOTAL UN-ALTERNATIVE AND A RESCHECK HAS BEEN SUBMITTED WITH THESE DRAWINGS.
- FOUNDATIONS CHAPTER 4: DESIGN BASED UPON PRESUMPTIVE LOAD BEARING VALUES OF SANDY GRAVEL AND/OR GRAVEL AT 2000 LBS PER SQUARE FOOT. CONTRACTOR TO CONSULT ENGINEER IF DIFFERENT SOIL MATERIALS ARE FOUND UPON EXCAVATION OR TEST HOLE FOR ALTERNATIVE FOOTING AND FOUNDATION WALL DESIGN

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA TABLE R301.2(1) 2020 RESIDENTIAL CODE OF NYS	WIND DESIGN			SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			FLOOD HAZARD	AIR POLLUTING INDEX	MEAN ANNUAL TEMP °F
	GROUND SPEED (MPH)	TOPIC RAINIC WIND EFFECTS REGION	SPECIAL WIND BORN DESIGN ZONE		WEATHERING	FROST LINE DEPTH	TEMPERATURE			
23	100	100	100	R	SEVERE	30.0	HO 20	NO	15	31

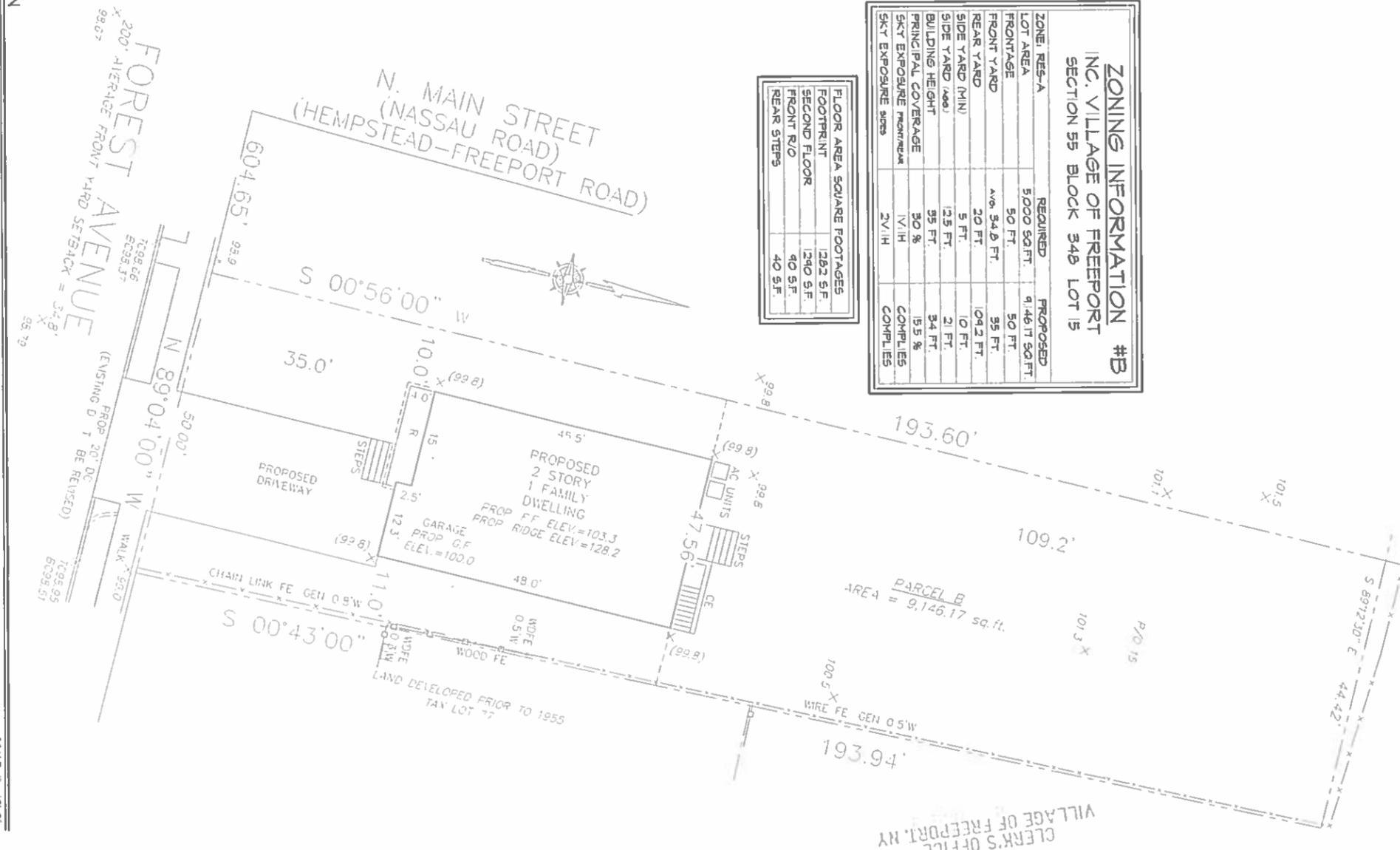


SKY EXPOSURE DIAGRAMS

ZONING INFORMATION #B INC. VILLAGE OF FREEPORT SECTION 55 BLOCK 34B LOT 15

ZONE, RES-A	REQUIRED	PROPOSED
LOT AREA	5,000 SQ. FT.	9,146.17 SQ. FT.
FRONTAGE	50 FT.	50 FT.
FRONT YARD	AVG. 54.8 FT.	55 FT.
REAR YARD	20 FT.	104.2 FT.
SIDE YARD (MIN)	5 FT.	10 FT.
SIDE YARD (MAX)	12.5 FT.	21 FT.
BUILDING HEIGHT	35 FT.	34 FT.
PRINCIPAL COVERAGE	30 %	15.5 %
SKY EXPOSURE	2 1/4 H	COMPLIES
SKY EXPOSURE SLOPE		COMPLIES

FLOOR AREA SQUARE FOOTAGES	
FOOTPRINT	282 S.F.
SECOND FLOOR	1240 S.F.
FRONT R/O	40 S.F.
REAR STEPS	40 S.F.



PLOT PLAN



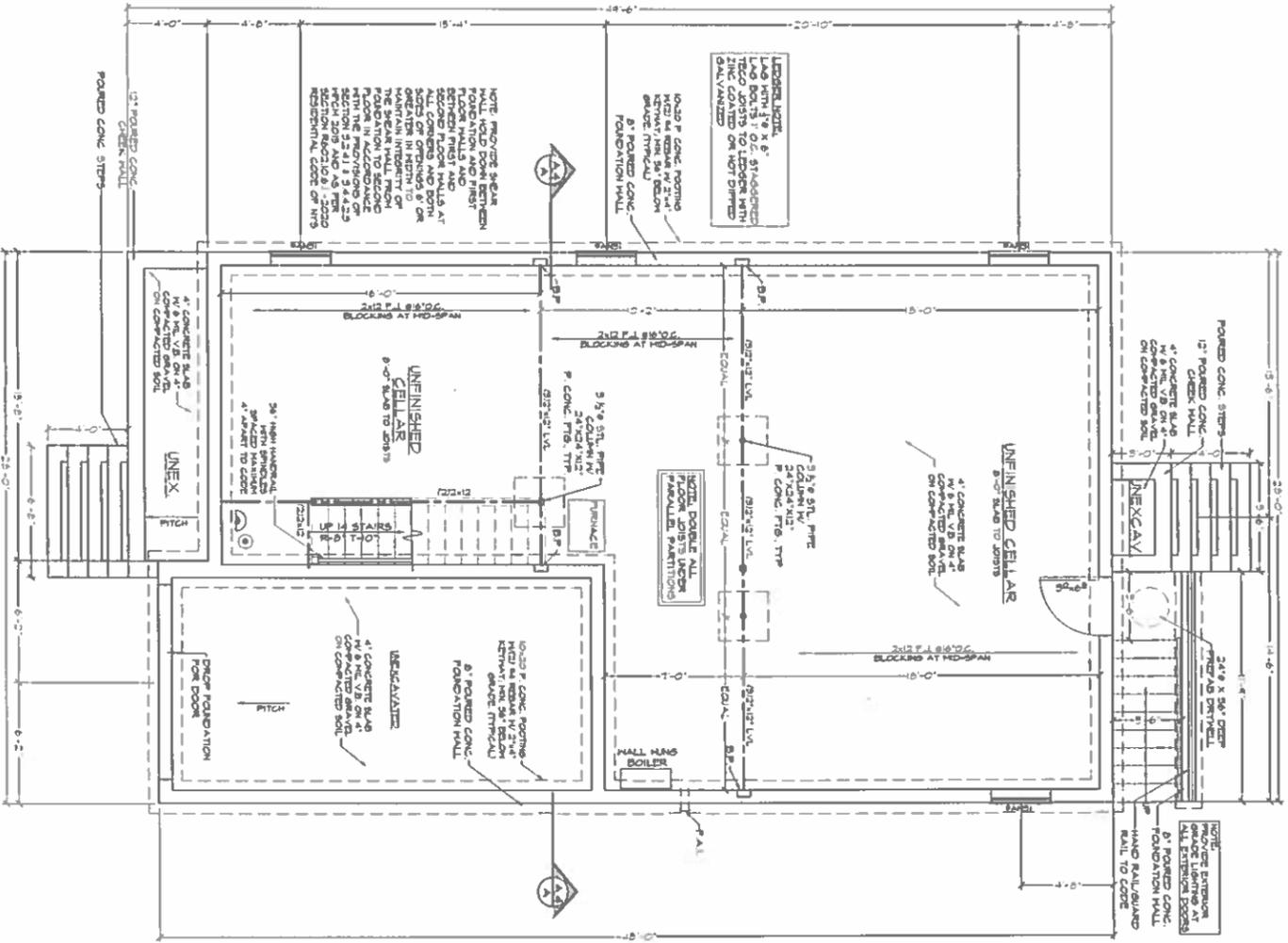
ARCHITECT SEAL

SCALE: AS NOTED
DATE: 11-28-25

PROPOSED TWO STORY, ONE FAMILY DWELLING
- PARCEL B - @ 51 FOREST AVENUE, FREEPORT, NY, 11520

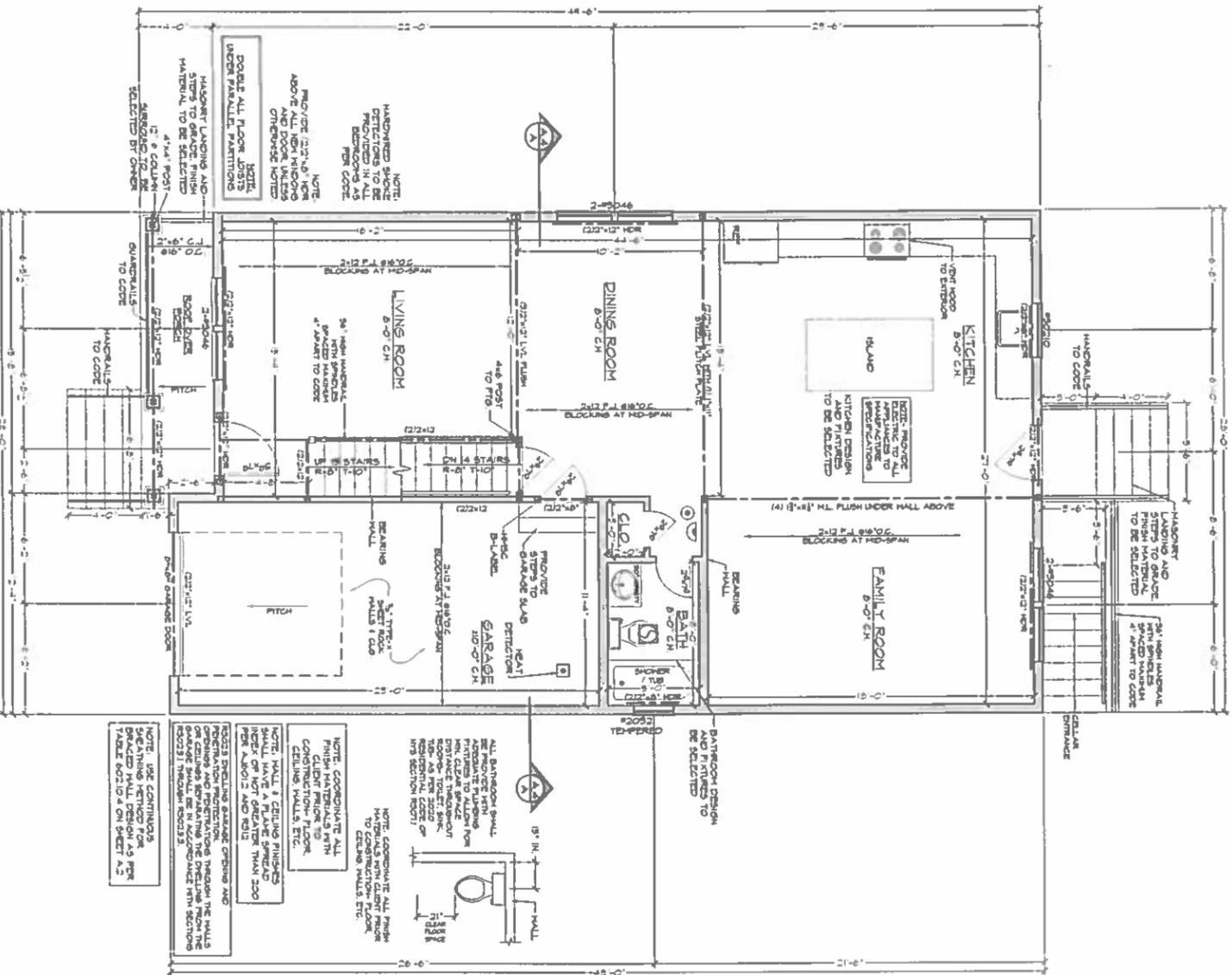


- HALL EIT**
- ① HALL TO BE REMOVED
 - ② FINISH TO REMAIN
 - ③ NON-POLISHED FLOOR FINISH
 - ④ NON-POLISHED CONCRETE
 - ⑤ 4"x4" POST (ALSO OVERHEAD)
 - ⑥ 4"x4" POST (ALSO OVERHEAD)
 - ⑦ HOLD DOWN AS NOTED
 - ⑧ 80 CPM FIN TO EXTERIOR
 - ⑨ FINISHES EXTERIOR WINDOW



PROPOSED FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

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VILLAGE OF FREEPORT, NY

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PROPOSED TWO STORY, ONE FAMILY DWELLING
- PARCEL B - @ 51 FOREST AVENUE, FREEPORT, NY, 11520

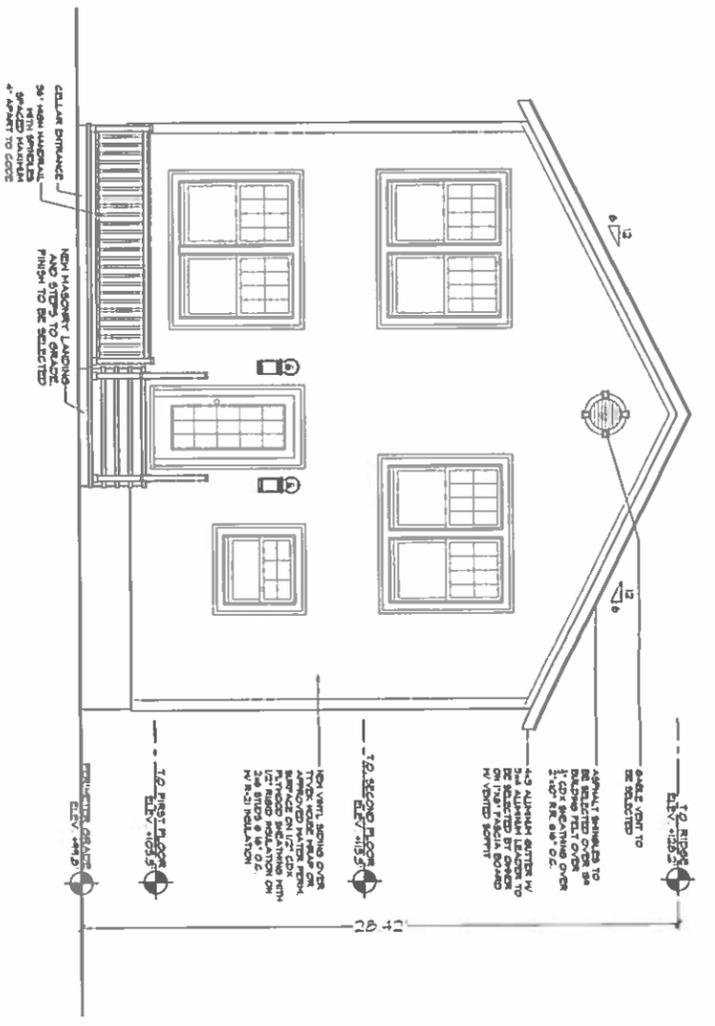


ARCHITECT SEAL

SCALEAS NOTED

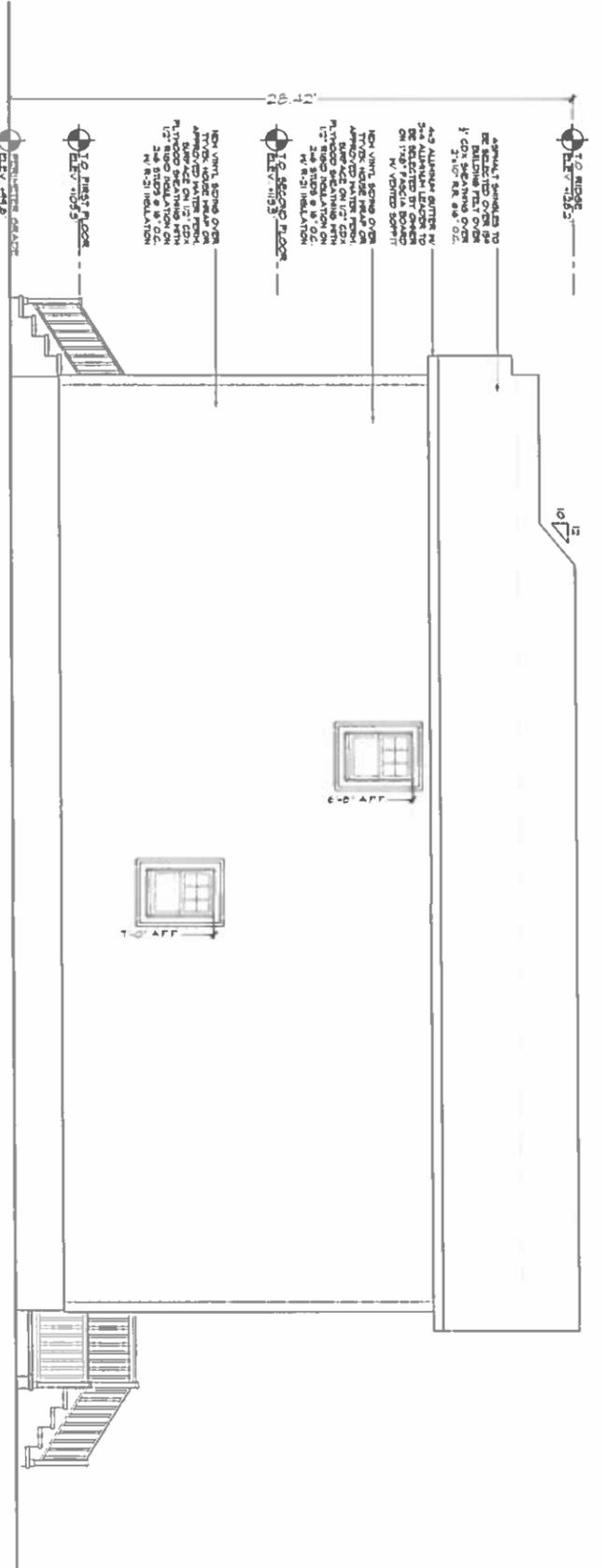
DATE: 11-28-25

A.2



PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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 VILLAGE OF FREEPORT, NY

PROPOSED TWO STORY ONE FAMILY DWELLING
 - PARCEL B - @ 51 FOREST AVENUE, FREEPORT, NY, 11520



ARCHITECT SEAL

SCALEAS NOTED

DATE: 11-28-23

A.6

Application Date: 6/21/2024
Fees Paid: \$325.00

SP# 3749

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 226 Atlantic Ave Freeport NY 11520 ZONING DISTRICT R-1A
SECTION 62 BLOCK 119 LOT 270 LOT SIZE: _____

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Azin Tarifard</u>	Name: _____
Address: <u>226 Atlantic Ave</u> <u>Freeport NY 11520</u>	Address: <u>Same</u>
Telephone #: <u>209-482-2143</u>	Telephone #: _____

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: Dental office Proposed Land Use: Dental office

Description of Proposed Work: Maintain existing New garage (2) Extend driveway 1,197sqft (Concrete)
(432.6459ft)

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
_____ YES NO

[Signature]
APPLICANT'S SIGNATURE
Sworn to before me this 12
day of March, 2024
Peggy M. Lester
Notary Public

PEGGY M. LESTER 3/12/2024 DATE
Notary Public, State of New York
No. 01LE6293122
Qualified in Nassau County
Commission Expires Nov. 25, 2025

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VILLAGE CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Property Owner's Consent:
I, Azin Tarifard am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 12
day of March, 2024.
Peggy M. Lester 3/12/2024
Notary Public

PEGGY M. LESTER 3/12/2024 DATE
Notary Public, State of New York
No. 01LE6293122
Qualified in Nassau County
Commission Expires Nov. 25, 2025

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

AMENDED SITE PLAN LETTER May 8, 2024

Azin Tari
226 Atlantic Ave,
Freeport, NY 11520

RE: 226 Atlantic Ave , Freeport, NY

Zoning District: Res AA Sec 62 Blk 119 Lot 220

Building Permit Application #20233281

Description: Maintain existing new garage (432.64) sq/ft and extend driveway 1,197 sq.ft.

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

c: Village Clerk
ZBA Approval Needed: Yes No

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VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20233281

Location: 226 Atlantic Ave

Applicant: Azin Tari

Description : Maintain existing new garage (432.64) sq/ft and extend driveway 1,197 sq.ft.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: May 8, 2024

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

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VILLAGE OF FREEPORT, N.Y.

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: <i>Building New Garage</i>							
Project Location (describe, and attach a location map): <i>226 Atlantic Ave, Freeport NY 11520</i>							
Brief Description of Proposed Action: <i>The old Garage not restorable, has to be rebuilt to prevent future damages. Extend driveway 1197 sq. ft</i>							
Name of Applicant or Sponsor: <i>Azin Tarifard</i>		Telephone: <i>209482-2143</i>					
Address: <i>226 Atlantic Ave, Freeport NY 11520</i>		E-Mail: <i>azintari-dcb@jmsd.c</i>					
City/PO: <i>Freeport</i>		State: <i>NY</i>	Zip Code: <i>11520</i>				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="height: 20px;"> </td> <td style="height: 20px;"> </td> </tr> </table>	NO	YES		
NO	YES						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; text-align: center;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="height: 20px;"> </td> <td style="height: 20px;"> </td> </tr> </table>	NO	YES		
NO	YES						
3. a. Total acreage of the site of the proposed action? _____ acres			<div style="text-align: center;"> <p>CLERK'S OFFICE VILLAGE OF FREEPORT, NY</p> <p>2021 JUN 21 P 3:24</p> </div>				
b. Total acreage to be physically disturbed? _____ acres							
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres							
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____							
<input type="checkbox"/> Parkland							

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5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
b. Consistent with the adopted comprehensive plan?			<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
7. Is the site of the proposed action located in, or does it rejoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>		
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>		
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: <u>Garage - Not Needed</u>	NO	YES	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: <u>Garage - Not Needed</u>	NO	YES	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
16. Is the project site located in the 100 year flood plain?	NO	YES	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? <input type="checkbox"/> NO <input type="checkbox"/> YES If Yes, briefly describe: _____	NO	YES	

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and site. _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Shaharz Torabi</u>	Date: <u>5/11/2023</u>	
Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 VILLAGE OF FREEPORT, NY

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**INCORPORATED VILLAGE OF FREEPORT
ZONING BOARD OF APPEALS DECISION**

DATE: October 19, 2023

APPROVAL

Building Department Permit Application #20233281

Chairman, regarding Application #2023-14 for the premises located at 226 Atlantic Avenue, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-35C(2) and (3) seeking approval to maintain an existing new garage (432.64 sq ft).

I, Charles Hawkins, move that this Board make the following findings of fact:

A public hearing was held on September 21, 2023 wherein applicant and her sister spoke on their own behalf. The owner of the property is a pediatric dentist and the property was purchased 2 years ago. They applied for permits for the house. Their contractor told them that the wood on the garage is rotten and should be replaced. The cost was relatively low. The owner agreed and the contractor repaired the garage. The next time the Village did an inspection, the owner showed the Village what was done, and the Village apparently said that once changes were made, a permit was needed because the garage did not meet the required setbacks.

The applicant explained that the foundation has not been moved. The garage is in the exact same place. The size is the same. The garage abuts the parking lot for Atlantic Nursery

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
 - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance. This is an existing non-conforming garage that was in need of repairs. It abuts a parking lot.
 - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance;
 - c. that the requested area variance is insubstantial;
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
 - e. that the alleged difficulty was not self-created.

2. The Board, as lead agency has determined that this action is a Type II action and under SEQRA and no further review is required.

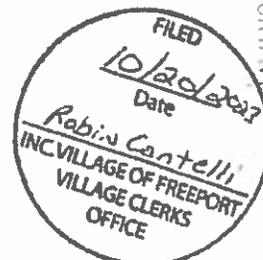
I further move that this application be granted subject to the following conditions:

1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department.

Second by: Ben Jackson

The Clerk polled the Board:

Member Mineo	In Favor
Member Jackson	In Favor
Member Hawkins	In Favor
Chairperson Rhoden	In Favor

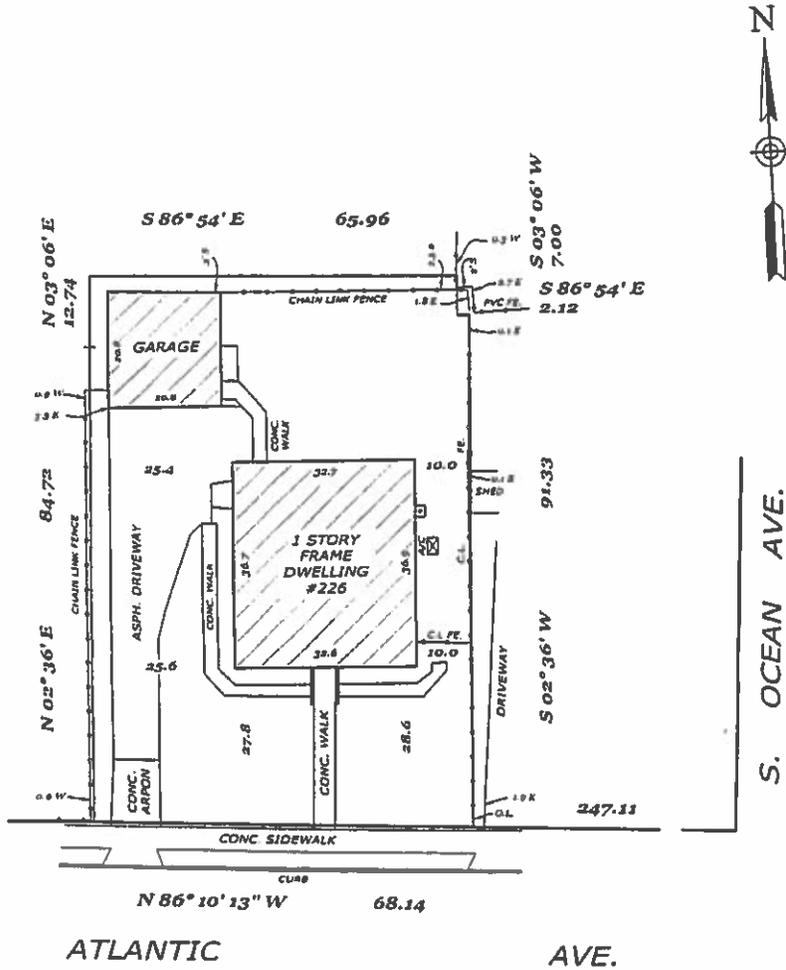


TITLE No: RT-46450

SURVEY No: 2507-B-119

LEGEND
 ○—○ FENCE
 --- SHRUBS/HEDGES
 --- D.H.S.W. OVER HEAD SERVICE WIRES
 --- D.L. ON-LINE

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S. OCEAN AVE.

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 VILLAGE OF FREEPORT, NY

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Peter J. Brabazon PLS, P.C.
 Professional Land Surveyor
 430 West Old Country Rd, Hicksville NY 11801
 Phone: (516) 822-3111, Fax: (516) 822-4395
 Website: www.brabazonSurveying.com
 Email: PJB@brabazonSurveying.com

PJB

Successor to:
 KENNETH S. O'BRIEN - BALDWIN & CORNELIUS - PETER & WALTER KENPA - FREDERICK W. KAHLER - GEORGE H. WALBRIDGE CO. (W. SUFFOLK) - PETER L. PFLIEDERER JR. - ARTHUR W. LEACH - H.F. BISHOP - ROBERT D. JONES (NASSAU) - SHAN ASSOCIATES - JULIUS JARGENTONFF - MURRETT H. DELOREN - WILLIAM H. SEAMAN - JEFFREY J. ROBERTSON - M.A. SCHMELAU - IVAN S. CZIPOTT - C.A. MONROE - KAHLER & PYNCHON - SMITH & MALCOLMSON - ALBERT L. LOEFFLER - WILLIAM S. ALCH - BIRDSALL JACKSON

SURVEY OF PROPERTY AT: **FREEPORT**

MAP: TAX MAP

SECTION: 62 BLOCK: 119 LOT(S): 220

FILED: CASE No.:

MAP No.: COUNTY OF: NASSAU, N.Y.

GUARANTEED TO:
 - WESTCOR LAND TITLE INSURANCE COMPANY
 - TARRIFARD REALTY LLC
 - REGAL TITLE AGENCY

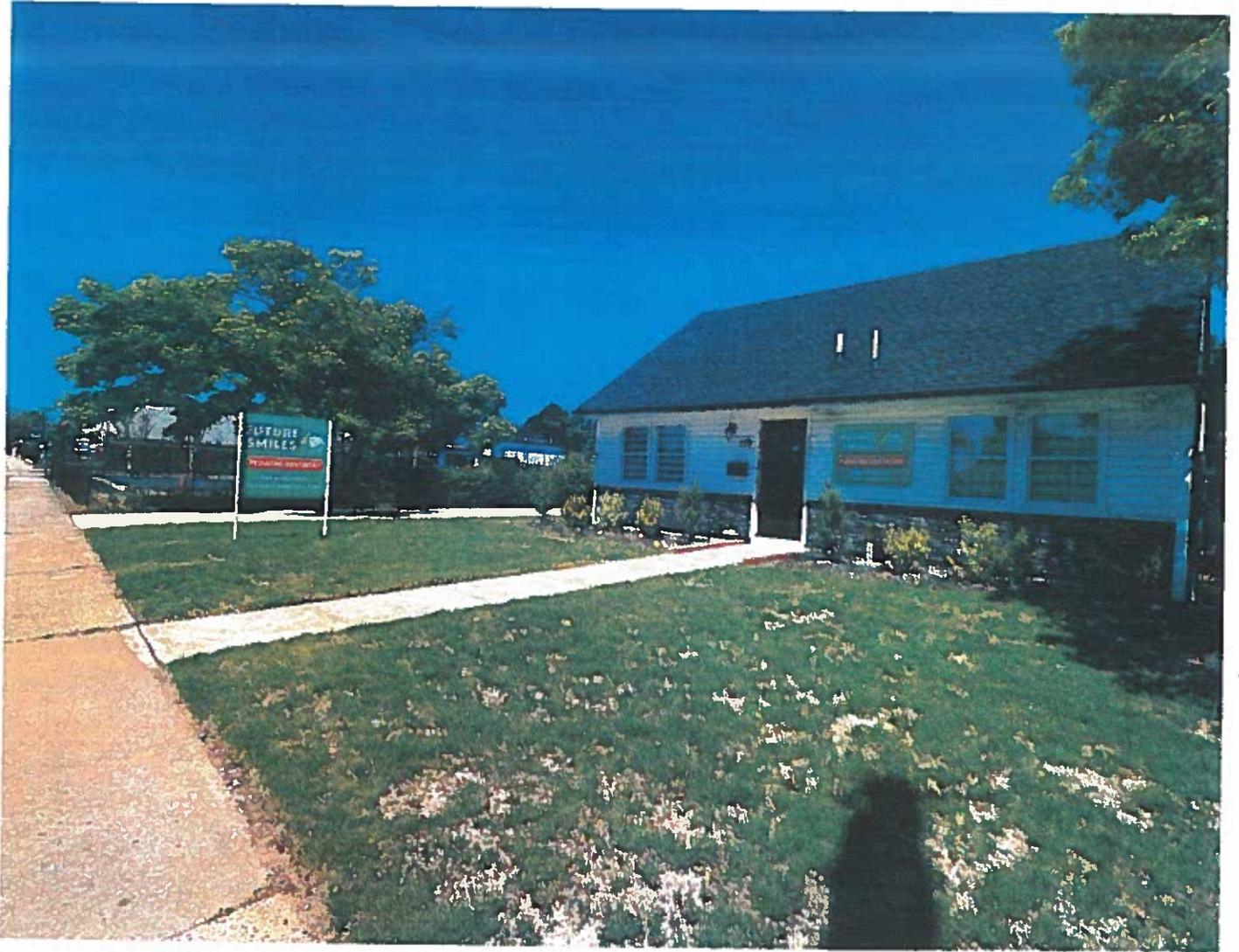
SURVEY DATE: 08/21/2021



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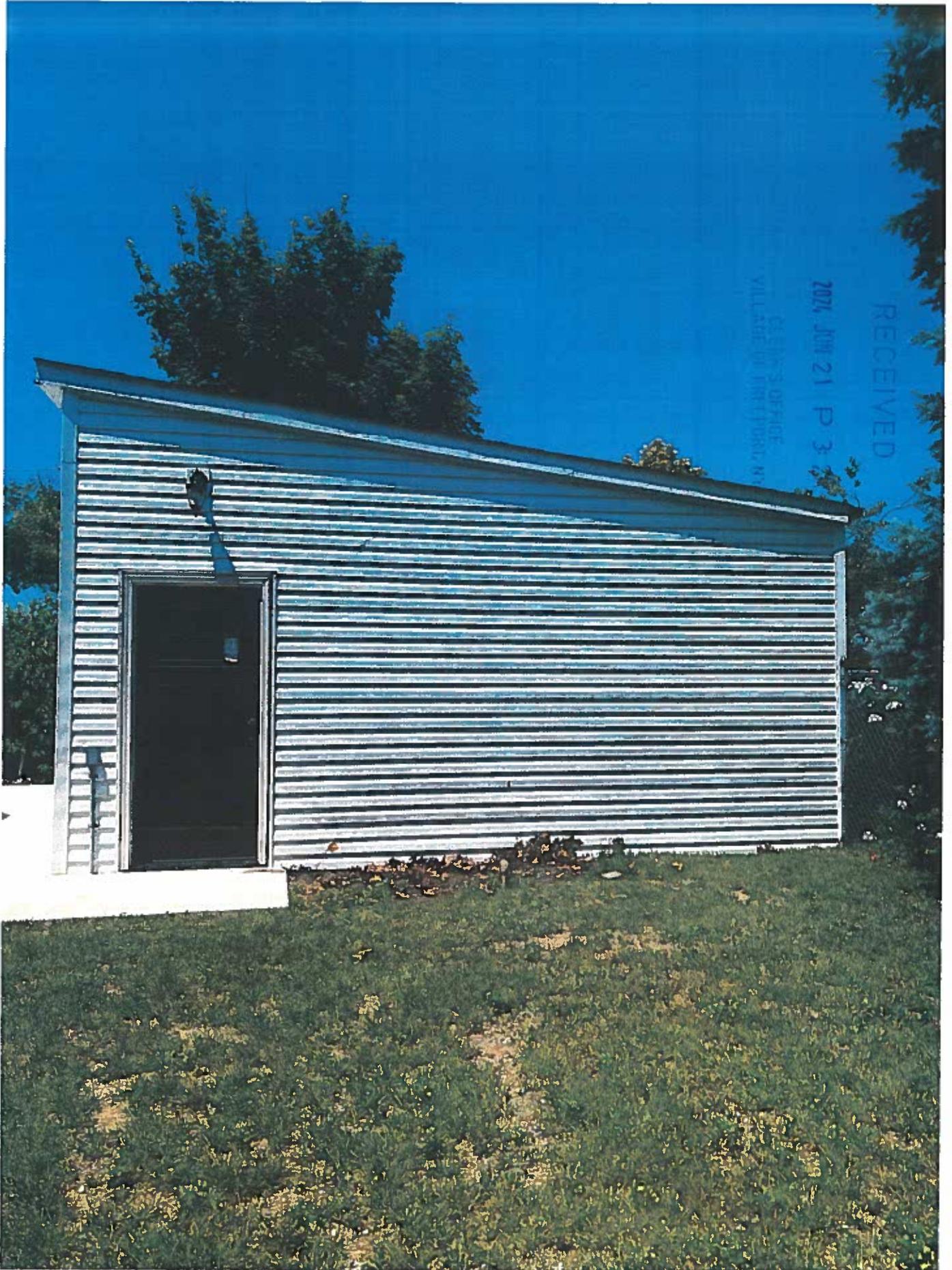


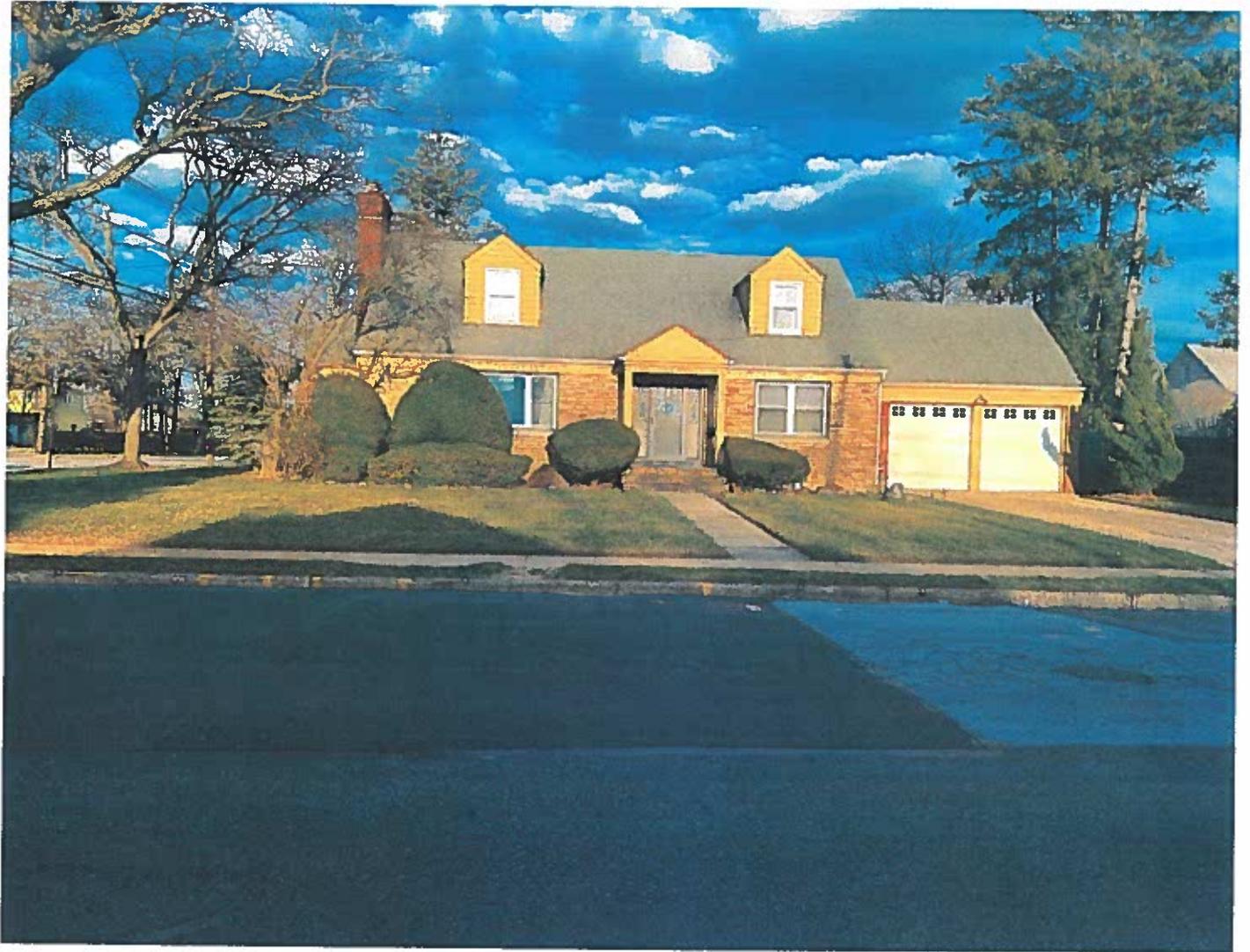
Garage

- Roof color: Dark gray
- Siding: Vinyl white, & Dark gray stacked stone in front
- main Door color: white
- Side door: Very Dark Brown w/ small window (close to Black color)
- Color of foundation: white

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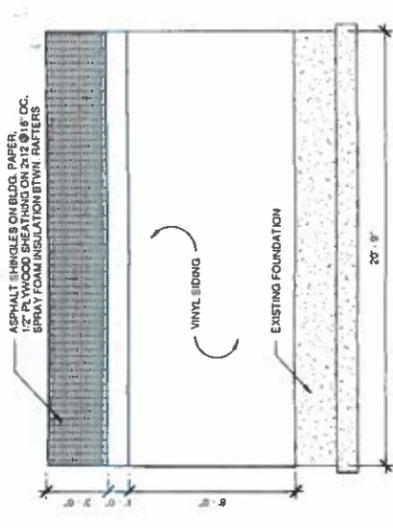
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RICHARD B. KORNBLOU, AIA
 ARCHITECT
 7 HARBOUR LN #5B
 OYSTER BAY, NY
 11771
 PH: 516-732-1650

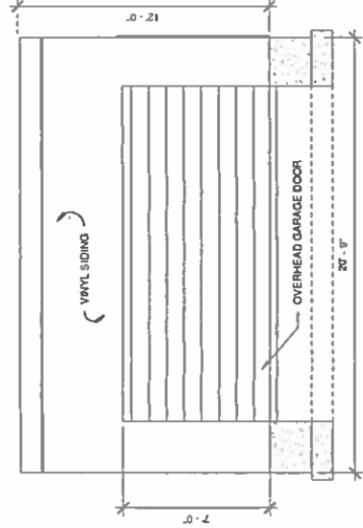
PROJECT LOCATION
 GARAGE
 226 ATLANTIC AVE.
 FREEPORT, NY

DWG. #	AT-23-01	SCALE	AS NOTED
DR. BY	RBK	DATE	5/8/23
SHEET 1	OF 1		
Revision Schedule			
Revision Number	Date	Revision Description	

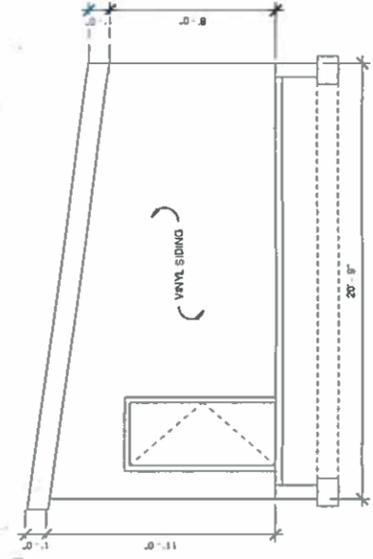
GARAGE
A101



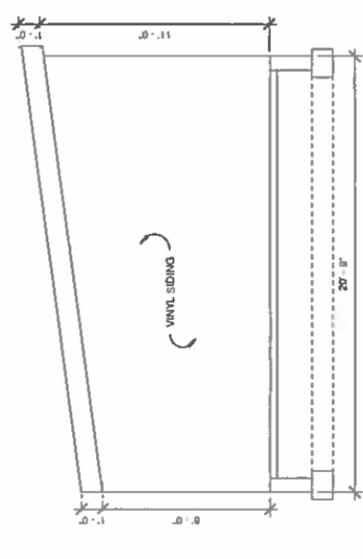
4 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



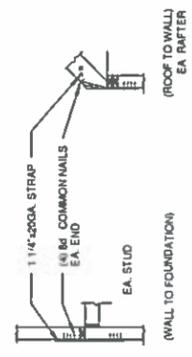
6 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



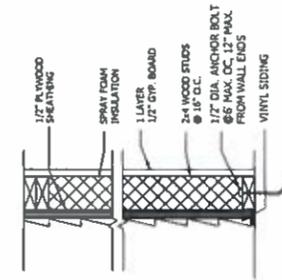
3 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



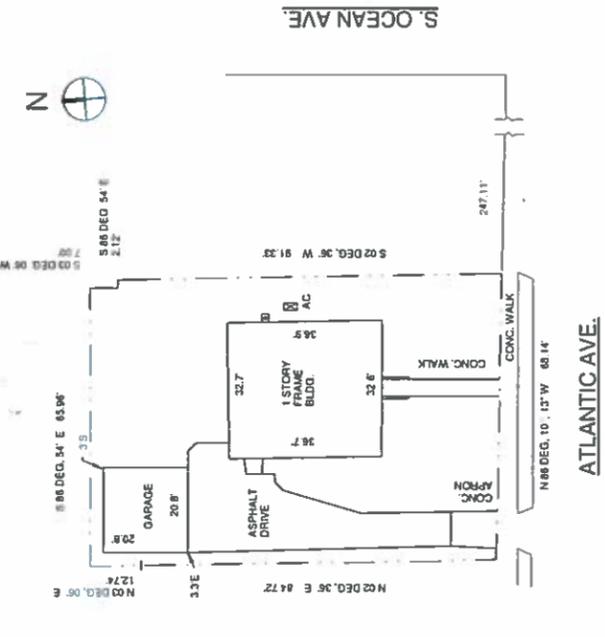
5 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



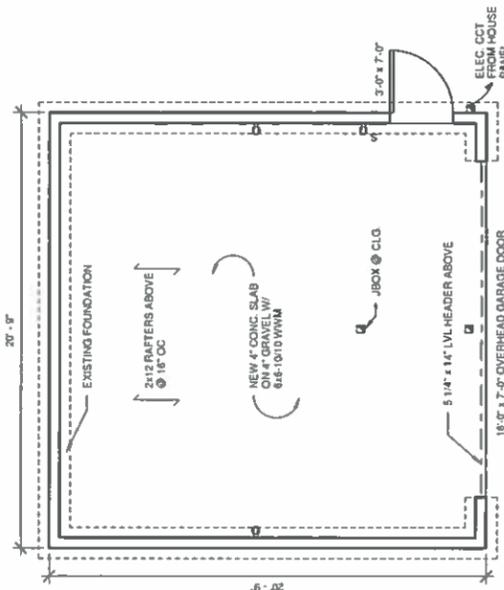
7 STRAPPING DETAIL
 SCALE: NONE



8 WALL DETAIL
 SCALE: NONE



1 KEY PLAN
 SCALE: 1/20



2 GARAGE PLAN
 SCALE: 1/4" = 1'-0"

Application Date: 6/21/2024
Fees Paid: 7776.00

SP# 3750

**INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD**

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 226 Atlantic Ave Freeport NY ZONING DISTRICT Res AA
SECTION 62 BLOCK 119 LOT 220 ¹¹⁵²⁰ LOT SIZE: _____

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Azin Tariford</u>			Name: <u>Same</u>
Address: <u>226 Atlantic Ave</u> <u>Freeport NY 11520</u>			Address: _____
Telephone #: <u>209-482-2143</u>			Telephone #: _____

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: Dental offices Proposed Land Use: Dental offices

Description of Proposed Work: Sign Permit

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
✓ YES _____ NO

[Signature]
APPLICANT'S SIGNATURE
Sworn to before me this 12th
day of March, 2024
Peggy M. Lester 3/12/2024
Notary Public

3/12/24
PEGGY M. LESTER
Notary Public, State of New York
No. 01LE6293122
Qualified in Nassau County
Commission Expires Nov. 25, 2025
VILLAGE OF FREEPORT NY
2024 JUN 21 P 3 26
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Property Owner's Consent:
I, Azin Tariford am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 12th
day of March, 2024
Peggy M. Lester 3/12/2024
Notary Public

3/12/24
DATE
PEGGY M. LESTER
Notary Public, State of New York
No. 01LE6293122
Qualified in Nassau County
Commission Expires Nov. 25, 2025

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <u>YES</u> <u>NO</u>	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE

FREEPORT, NEW YORK 11520

TEL (516) 377-2242 FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

June 15, 2024
SITE PLAN LETTER

Azin Tarifard
226 Atlantic Avenue
Freeport, NY 11520

RE: 226 Atlantic Ave, Freeport, NY
Zoning District: Residence AA Sec 62 Blk 119 Lot 220
Building Permit Application #20231239
Description: Sign permit

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-212. Ground Signs.

As per section 210-212 ground signs: Ground signs shall be limited as follow to a maximum 6' in height and maximum size of 4sf. According to what you have submitted the proposed sign is 7'1" and has a square footage of 18.75.

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only ONE complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. Only after this initial appointment should the additional copies be made.

In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Application only, please call the Village Clerk's Office at 516-377-3632.

Very truly yours,

Sergio A. Mauras

Sergio A. Mauras, Superintendent of Buildings

Daniela Hernandez

cc: Village Clerk

ZBA APPROVAL NEEDED: No **X**

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VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

 The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20231239

Location: 226 Atlantic Ave

Applicant: Azin Tarifard

Description: Sign permit

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: May 8, 2024

Sergio A. Mauras

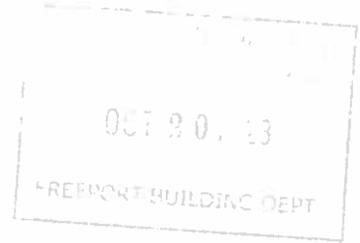
Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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**DEPARTMENT OF BUILDING
OF THE VILLAGE OF FREEPORT
APPLICATION FOR ERECTION OF SIGN**



APPLICATION#: _____

PERMIT#: _____

NEW APPLICATION

APPROVED

RENEWAL

DENIED

APPLICATION IS HEREBY MADE PURSUANT TO VILLAGE OF FREEPORT ORDINANCES FOR APPROVAL OF PLANS AND SPECIFICATIONS OF THE SIGN STRUCTURE HEREIN DESCRIBED, TO BE ERECTED, HUNG AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AFORESAID ORDINANCE, THE BUILDING CODE, AND ANY OTHER ORDINANCE OR LAW APPLICABLE THERETO. SIGN PERMIT NUMBER WILL BE PLACED IN THE LOWER RIGHT CORNER OF SIGN.

DATE: 10/16/23

ADDRESS OF PREMISES: 226 Atlantic Ave, Freeport NY 11520

WALL SIGN GROUND SIGN CANOPY RENEWAL PERIOD: _____

NAME OF PROPERTY OWNER: Azin Tarifard/Tarifard Realty LLC PHONE#: 209-482-2143

NAME OF APPLICANT: Azin Tarifard PHONE#: 209-482-2143

EMAIL ADDRESS: Azintari.dds@gmail.com

WIDTH OF BUILDING (FRONTAGE): 31' LENGTH OF BUILDING (DEPTH): 36.7'

HEIGHT OF BUILDING: 7', 2" SETBACK OF NEAREST BUILDING: _____

EXACT LOCATION OF SIGN: Front Yard, 5', 0" from side walk

STREET SIGN FRONTS ON: Atlantic Ave

WIDTH OF SIGN: 5', 0" HEIGHT OF SIGN: 3', 9" DEPTH OF SIGN: 8"

PROJECTION FROM BUILDING: N/A SETBACK OF SIGN: 5', 0"

IS SIGN TO BE ILLUMINATED? YES NO (IF YES, GIVE NAME, ADDRESS, AND PHONE NUMBER OF THE FREEPORT LICENSED ELECTRICIAN PERFORMING THE WORK)

NAME OF ELECTRICIAN: Great Contracting & Home Improvement Corp ADDRESS: 51 Redmond Ave, Bay Shore NY 11706

SIGN HANGER'S NAME: Valle Signs ADDRESS: 55 Decker St. Copiague NY

SIGN HANGER'S PHONE#: 516-408-3440 EMAIL: marie@vallesigns.com

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APPROVAL IS HEREBY GIVEN TO THE FOREGOING APPLICATION AND PERMISSION IS GRANTED FOR THE HANGING OF THE SIGN DESCRIBED HEREIN. THIS PERMIT IS REVOCABLE IN CASE OF ANY NON-COMPLIANCE WITH PROVISIONS OF AFORESAID ORDINANCES. PERMIT EXPIRES THREE (3) YEARS, PROVIDED THAT SUCH A SIGN CONTINUES TO BE MAINTAINED IN COMPLIANCE WITH THE ORDINANCES OF THE INCORPORATED VILLAGE OF FREEPORT IN FORCE AT THE TIME OF RENEWAL.

DATED: FREEPORT, NY _____, 20____

SUPERINTENDENT OF BUILDINGS

Double Sided Illuminated Pylon Sign



before

after

2-Review for illustration only

2024 JUN 21

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Print Name

Signature

Date



I have reviewed the above specifications & hereby fully understand the content of work to be performed
 PLEASE CHECK PROOF FOR CORRECT COLORS, SPELLING, SIZE, CORRECT LOGO AND PLACEMENT FOR ART.
 BY REAL VIND APPROVED - YOU AGREE THAT THE ART IS READY TO PRODUCE AS SHOWN.
 VALLESIGS WILL NOT ASSUME RESPONSIBILITY FOR ANY MISMATCHES THAT ARE NOT CAUGHT ON THIS APPROVAL.

** Renderings are © copyright protected and are bound by The U.S. Copyright Act, 17 U.S.C. chapter 13 § 101 - 810"

Set back
 From sidewalk 5'
 From walkway 14'

DATE 10-13-2023

REVISION G

PROJECT NAME
Future Smiles Pediatric Dentistry

ADDRESS
 228 Atlantic Ave.
 Freeport NY

SIGN TYPE
 Pylon Sign

FIN
 Metal

DESIGNER
 Orlando

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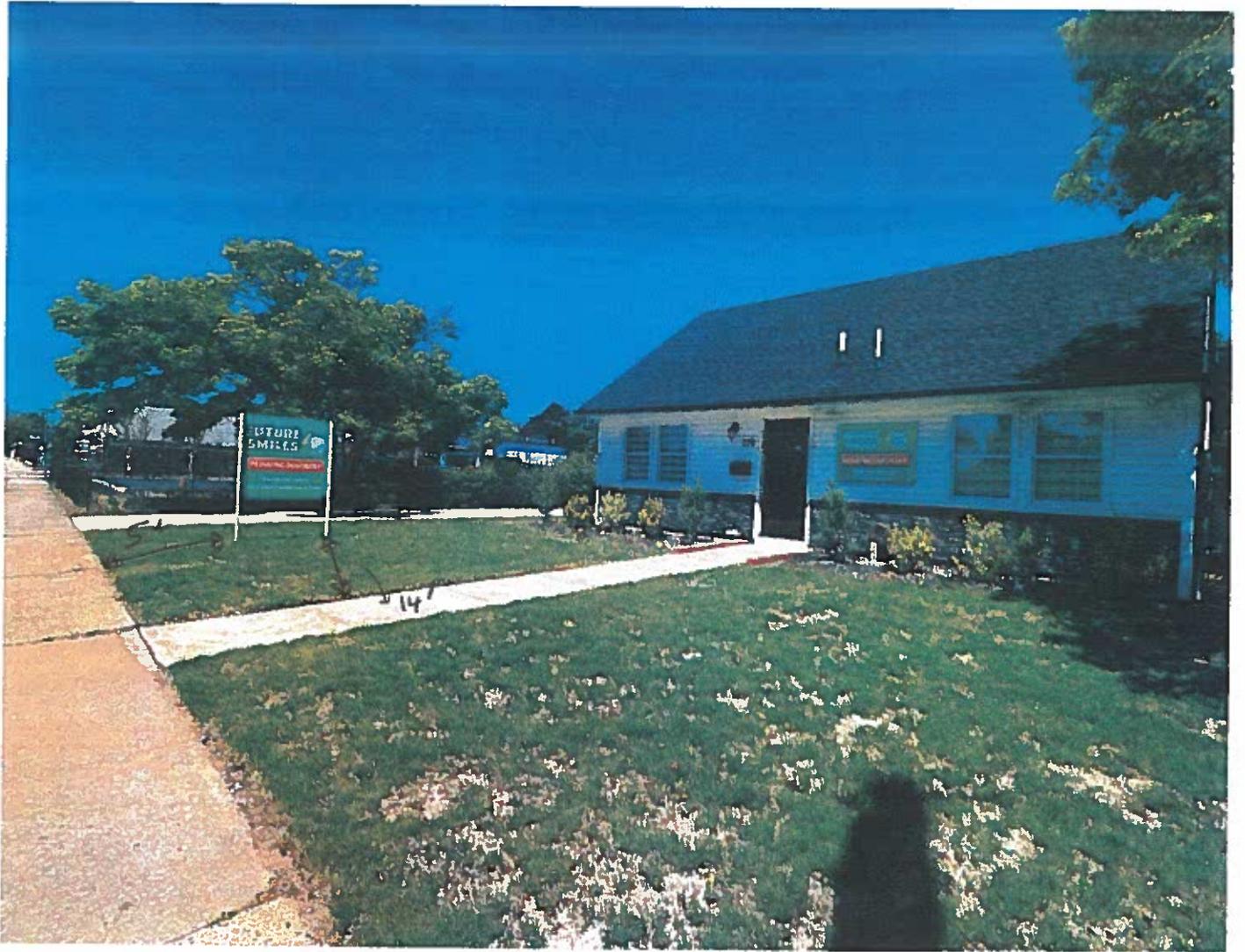
COLORS ON PROOF MAY VARY FROM ACTUAL PRODUCT USED



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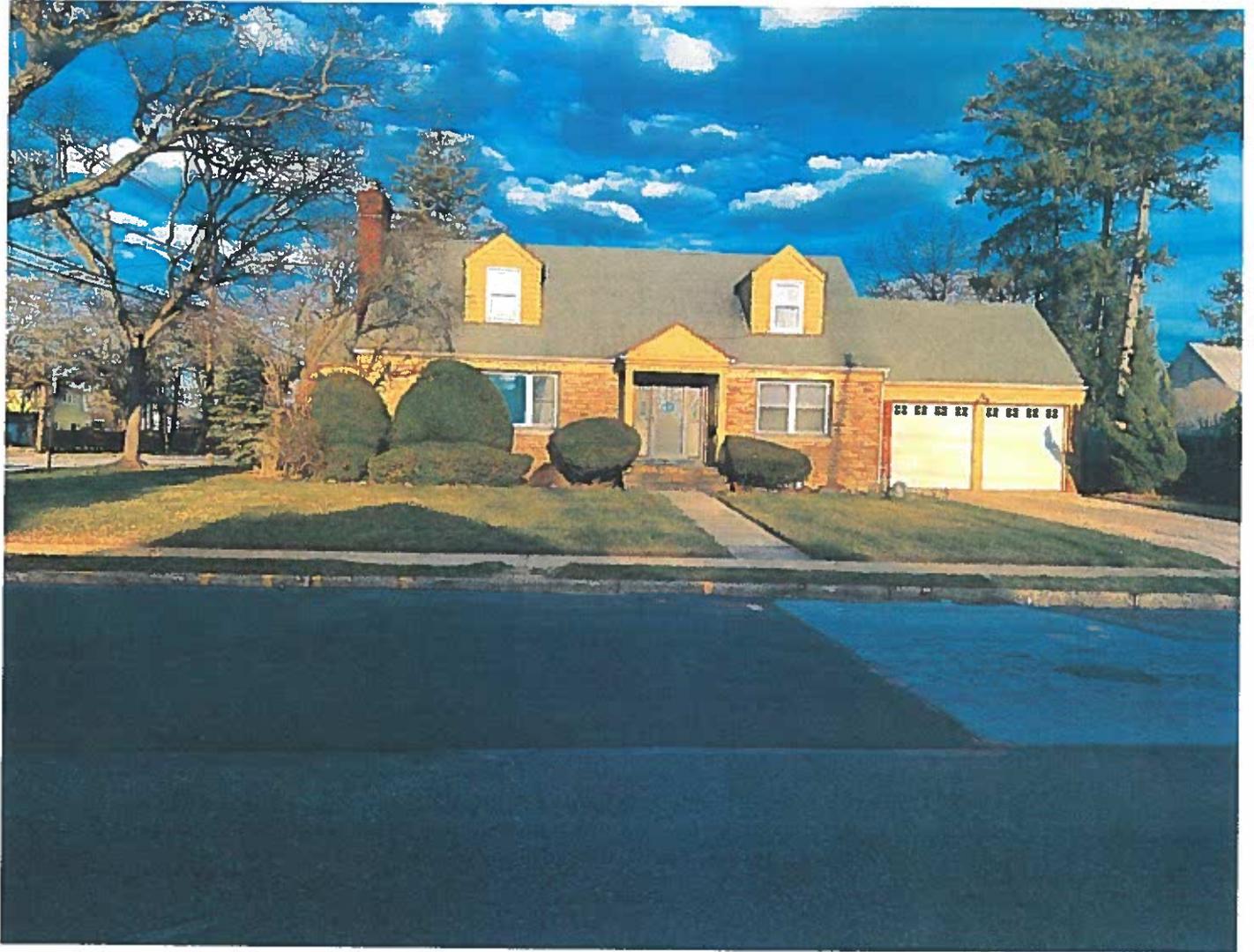
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VILLAGE OF FREEBORO, NJ



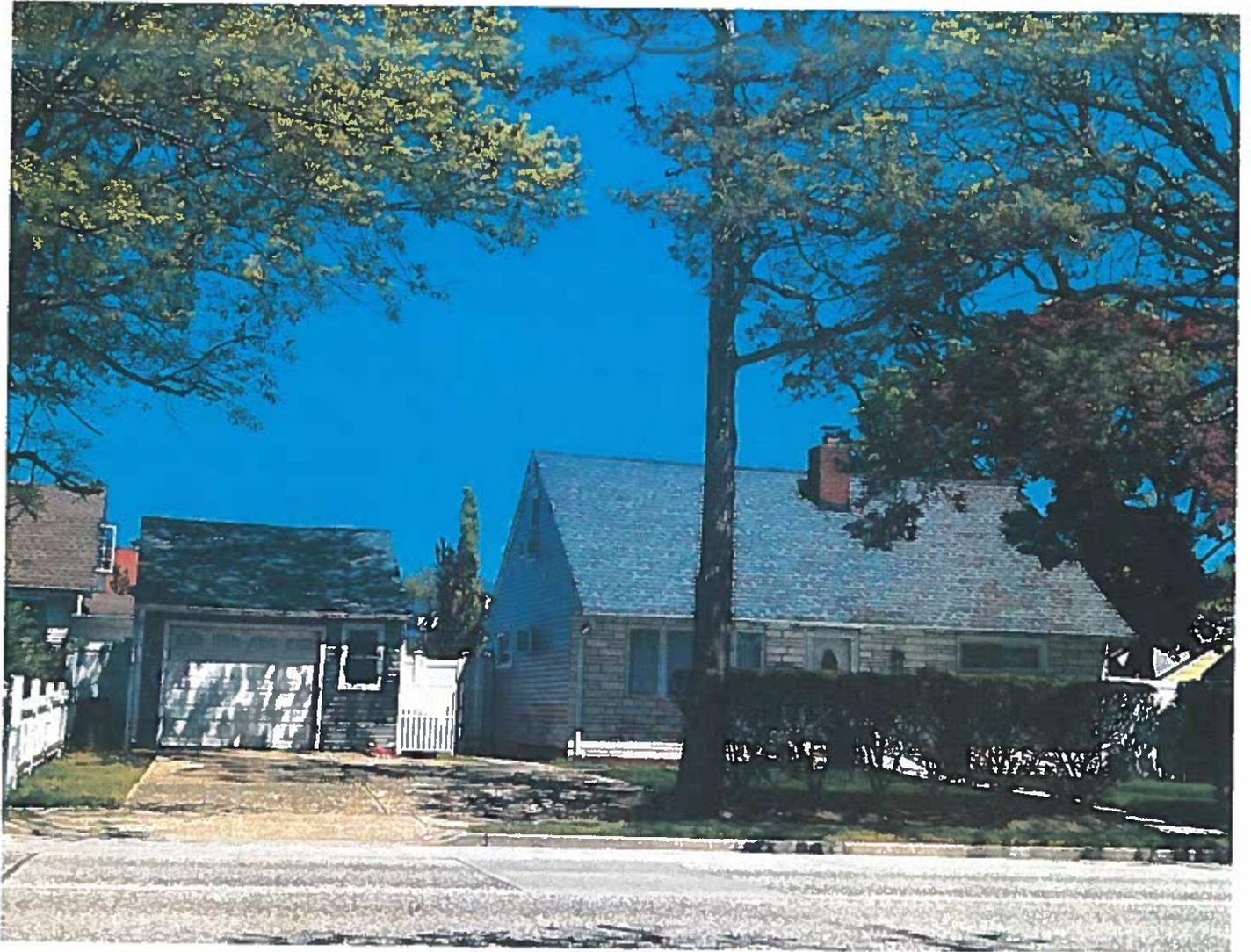
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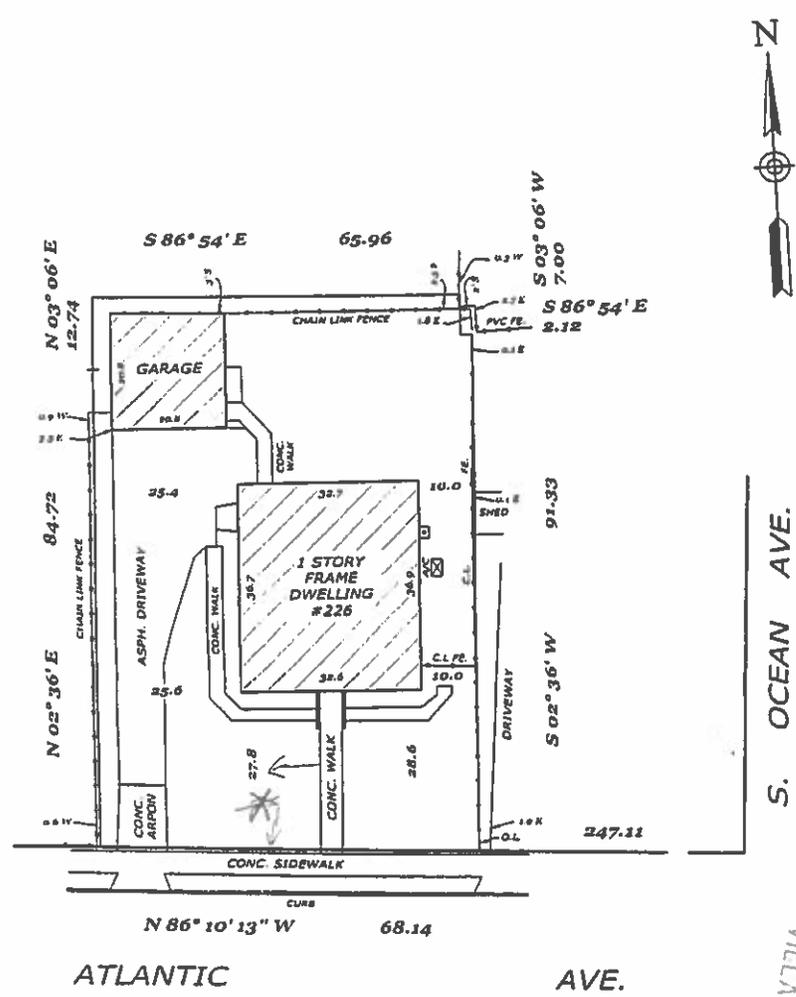


TITLE No: RT-46450

SURVEY No: 2507-B-119

LEGEND
 --- FENCE
 --- SHRUBS/HEDGES
 --- O.H.S.W. OVER HEAD SERVICE WIRES
 --- O.L. ON-LINE

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Peter J. Brabazon PLS, P.C.
 Professional Land Surveyor
 430 West Old Country Rd, Hicksville NY 11802
 Phone: (516) 822-3211 Fax: (516) 822-4395
 Website: www.brabazonSurveying.com
 Email: PJB@Surveying@Optonline.net

P. Brabazon
 Successor to:
 KENNETH S. O'BRIEN - GALDWIN & CORNELIUS - PETER & WALTER KEMPA - FREDERICK W. KANLER - GEORGE H. WALBRIDGE CO. (W. SUFOLK) - PETER L. PFLIEDERER JR. - ARTHUR W. LEACH - H.F. BISHOP - ROBERT D. JONES (NASSAU) - SHAN ASSOCIATES - JULIUS JARGSTORFF - MURRETT M. BELCHER - WILLIAM H. SEAMAN - JEFFREY J. ROBERTSON - K.A. SCHMIDAU - IVAN E. CZIPOTT - C.A. KONRDE - KANLER & PYNCHON - SMITH & MALCOLMSON - ALBERT L. IODEFFLER - WILLIAM S. AICH - BIRDELL JACKSON

SURVEY OF PROPERTY AT: **FREEPORT**

MAP: **TAX MAP**

SECTION: **62** BLOCK: **11B** LOT(S): **220**

FILED: _____ CASE No. _____

MAP No.: _____ COUNTY OF: **NASSAU**, N.Y.

GUARANTEED TO:
 - WESTCOR LAND TITLE INSURANCE COMPANY
 - TARRIFARD REALTY LLC
 - REGAL TITLE AGENCY

SURVEY DATE: 08/21/2021

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RECEIVED

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Application Date: 6/25/24
 Fees Paid: \$175.00

SP# 3757

**INCORPORATED VILLAGE OF FREEPORT
 SITE PLAN REVIEW APPLICATION
 PLANNING BOARD**

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 46 s main st, Freeport NY 11520 ZONING DISTRICT Business B
 SECTION 62 BLOCK 059 LOT 94 LOT SIZE: _____

<input checked="" type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Dennis Cortez</u>	Name: <u>Igor Rick</u>
Address: <u>614 Jerusalem ave Unvondale NY 11553</u>	Address: <u>1312 Averbach Avenue Hewlett NY 11557</u>
Telephone #: <u>516 582-8139</u>	Telephone #: _____

Attorney Name: _____ Address: _____
 (optional) Phone #: _____

Present Land Use: Business Proposed Land Use: Business

Description of Proposed Work: maintain store front sign

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 2024 JUN 25 P 2:32
 CLERK'S OFFICE
 VILLAGE OF FREEPORT, NY

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
 A. The subject property is zoned Residence A or Residence AA.
 B. The proposed construction is not a new building or dwelling.
 C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
 _____ YES NO

 APPLICANT'S SIGNATURE DATE 06/19/2024

Sworn to before me this 19th day of June, 2024.

LUCIA RETANA
 NOTARY PUBLIC, STATE OF NEW YORK
 No. 01RE6436606
 Qualified in Nassau County
 My Commission Expires 07/18/2026

Lucia Retana
 Notary Public

Property Owner's Consent:
 I, Igor Rick am (are) the owner(s) of the subject property and consent to the filing of this application.

 PROPERTY OWNER'S SIGNATURE DATE 06/27/24

Sworn to before me this 17th day of June, 2024

GORAWDAVI ALISHA RAMGOPAUL
 Notary Public - State of New York
 NO. 01RA6366080
 Qualified in Queens County
 My Commission Expires Oct 23, 2025

Alisha Ramgopaul
 Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A MAURAS
SUPERINTENDENT OF BUILDINGS

June 20, 2024
UPDATED SITE PLAN LETTER

Mr. Dennis Cortez
46 South Main Street
Freeport, NY 11520

RE: 46 South Main Street, Freeport, New York
Zoning District – Business B Sec. 62 Blk. 059 Lot. 94
Sign Permit Application #20243628
Description – Sign Permit.

Dear Mr. Cortez:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the Site Plan Review Board Application together with the instruction sheet and other relevant documents. Please call the **Village Clerk's office at 516-377-3632** to make an appointment to review the completed Site Plan Review Board application. Changes or additional information may be required for the application; therefore, only one complete packet of the 12 sets should be brought in for the initial appointment with the Village Clerk's office. **Only after this appointment should the additional copies be made.**

Please be further advised that your Site Plan Review Board application must be submitted within sixty (60) days of the date of this letter. In the event that you do not file said application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Sign Permit Application and filing fees will be required.

If you have any questions or require additional information with reference to the **Site Plan Review Board Application**, please call the **VILLAGE CLERK'S OFFICE** at 377-3632.

Sincerely


Sergio A Mauras
Superintendent of Buildings
/Daniela Hernandez

cc: Village Clerk
ZBA Approval Needed: Yes No
Enc.

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20243628

Location: 46 S Main St, Freeport, NY 11520

Applicant: Dennis Cortez

Description: Sign permit

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: June 20, 2024

Updated

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

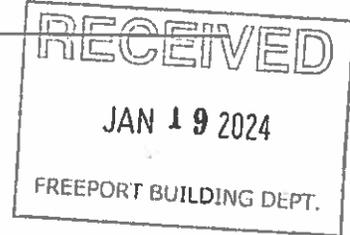
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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



**DEPARTMENT OF BUILDING
OF THE VILLAGE OF FREEPORT
APPLICATION FOR ERECTION OF SIGN**

APPLICATION#: 2024 3628

PERMIT#: _____



NEW APPLICATION

APPROVED

RENEWAL

DENIED

APPLICATION IS HEREBY MADE PURSUANT TO VILLAGE OF FREEPORT ORDINANCES FOR APPROVAL OF PLANS AND SPECIFICATIONS OF THE SIGN STRUCTURE HEREIN DESCRIBED, TO BE ERECTED, HUNG AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AFORESAID ORDINANCE, THE BUILDING CODE, AND ANY OTHER ORDINANCE OR LAW APPLICABLE THERETO. SIGN PERMIT NUMBER WILL BE PLACED IN THE LOWER RIGHT CORNER OF SIGN.

DATE: 1/17/24

ADDRESS OF PREMISES: 46 S main st Freeport NY 11520

WALL SIGN GROUND SIGN CANOPY RENEWAL PERIOD: _____

NAME OF PROPERTY OWNER: IAR zone LLC PHONE#: 917-923-4444

NAME OF APPLICANT: Dennis Cortez PHONE#: 516-582-8139

EMAIL ADDRESS: Dcortez@gmail.com

WIDTH OF BUILDING (FRONTAGE): 42.82 ft LENGTH OF BUILDING (DEPTH): 79 ft

HEIGHT OF BUILDING: 85.42 ft SETBACK OF NEAREST BUILDING: _____

EXACT LOCATION OF SIGN: Front Right Building entrance.

STREET SIGN FRONTS ON: South main st

WIDTH OF SIGN: 120 inches HEIGHT OF SIGN: 40 inches DEPTH OF SIGN: 4.0 inches

PROJECTION FROM BUILDING: 0.4 ft (4.8 inches) SETBACK OF SIGN: _____

IS SIGN TO BE ILLUMINATED? YES NO (IF YES, GIVE NAME, ADDRESS, AND PHONE NUMBER OF THE FREEPORT LICENSED ELECTRICIAN PERFORMING THE WORK) NO electrical work done, existing sign was illuminated. we just changed name on sign.

NAME OF ELECTRICIAN: _____ ADDRESS: _____

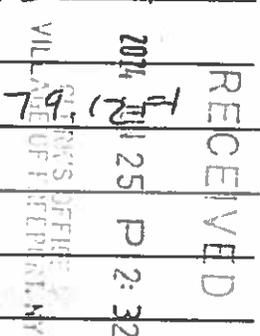
SIGN HANGER'S NAME: Chemo signs. ADDRESS: 64B carleton Ave, Islip terrace NY 11752

SIGN HANGER'S PHONE#: 516-909-2276 EMAIL: Chemo signs@gmail.com

APPROVAL IS HEREBY GIVEN TO THE FOREGOING APPLICATION AND PERMISSION IS GRANTED FOR THE HANGING OF THE SIGN DESCRIBED HEREIN. THIS PERMIT IS REVOCABLE IN CASE OF ANY NON-COMPLIANCE WITH PROVISIONS OF AFORESAID ORDINANCES. PERMIT EXPIRES THREE (3) YEARS, PROVIDED THAT SUCH A SIGN CONTINUES TO BE MAINTAINED IN COMPLIANCE WITH THE ORDINANCES OF THE INCORPORATED VILLAGE OF FREEPORT IN FORCE AT THE TIME OF RENEWAL.

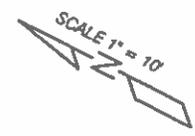
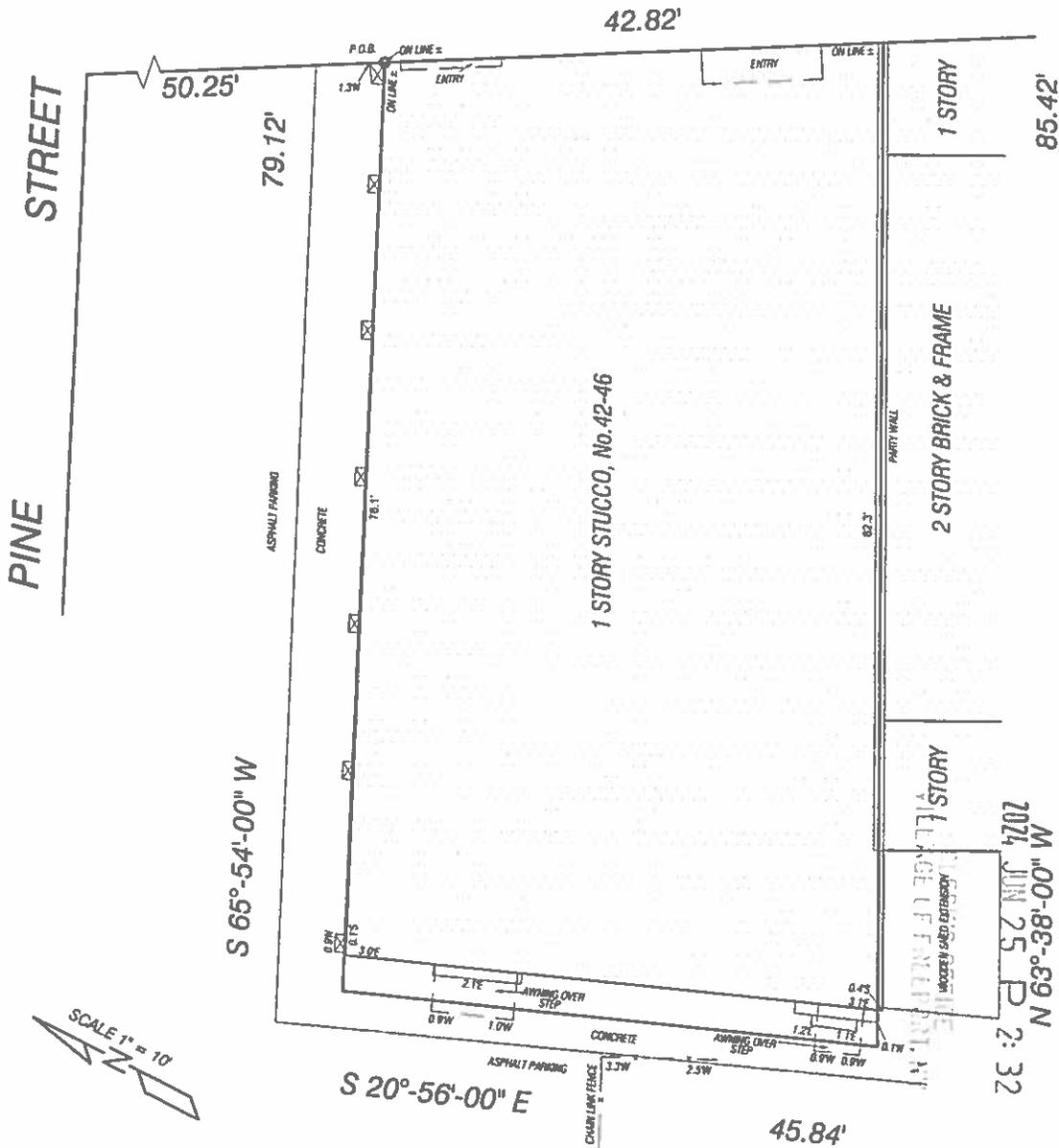
DATED: FREEPORT, NY _____, 20____

SUPERINTENDENT OF BUILDINGS



SOUTH MAIN STREET (MADISON AVENUE)

PROJECTIONS ON TO STREET:
PILLARS 0.2 ±
SIGN 0.6 ±
AWNING 3.0 ±



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M 00-86-69 N
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VILLAGE OF FREEPORT
UNOFFICIALLY SUBMITTED

1. GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON OR PERSONS FOR WHOM THE SURVEY IS PREPARED AND CERTIFIED TO AND ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
2. EASEMENTS OF RECORD ARE ONLY GUARANTEED IF A DESCRIPTIVE ABSTRACT OF TITLE IS FURNISHED TO THE SURVEYOR.
3. THIS MAP WAS MADE AT A SCALE OF 1"=10' WHEN ORIGINALLY DRAWN.
4. PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.
5. IT IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY.
6. ARCHITECTS MUST ORDER A TOPOGRAPHICAL MAP SPECIFYING THEIR EXACT NEEDS.
7. ALL ELEVATIONS SHOWN IF ANY REFER TO THE NAVD1988.
8. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED OR EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
9. CONSULT WITH THE HIGHWAY DEPARTMENT BEFORE DESIGNING, INSTALLING, OR MODIFYING ANY NEW OR EXISTING CURBS, WALKS, OR ROADWAYS IN THE STREETS SHOWN HEREON.
10. SUBSURFACE INFORMATION SHOWN WERE OBTAINED FROM VARIOUS CITY DEPARTMENTS AND/OR PRIVATE UTILITY COMPANIES. THE SURVEYOR ACCEPTS NO RESPONSIBILITY FOR ANY OF THIS DATA.
11. SURVEYED AS IN POSSESSION.

ANASTASIA I. PARSATOON
LAND SURVEYING, P.C.

1300 JERICHO TURNPIKE, STE. 207
NEW HYDE PARK, NY 11040
OFFICE (516) 352-0386
EMAIL: INFO@AIPLS.COM
SURVEY No. PN006674
TOWN OF HEMPSTEAD
COUNTY OF NASSAU
STATE OF NEW YORK
TAX MAP
DISTRICT
SECTION 55
BLOCK 481
LOT 2

DATE: JANUARY 20th, 2022

CERTIFIED TO:
IAR ZONE LLC
VICTORY LAND & ABSTRACT LLC

TITLE No.
VLA-1378-21

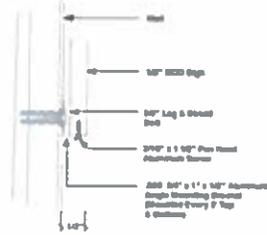
ANASTASIA I. PARSATOON, L.S.
NEW YORK LICENSE 051088

SIDE VIEW

120"



40"



CHANNEL LETTERS

Order Information
Client: El Rinconcito
Project: Sign
Our Order#:
Our Item#:

Graphic Details
Background Color: Fluor Glass
Copy Color: n/a
Typestyle: n/a
Graphic Type: n/a

Sign Quantity: 1

Drawing Details
Scale: n/a
Drawn By: Chamo Sign
Date: 01/10/2024
Revised: n/a



File Name: MDO Sign (Layout).ai

Version: 1

This first time drawing is complimentary
No charges will be made without a commitment

SIDE VIEW

20'



16'

2024 JUN 25 P 2: 32
CLERK'S OFFICE
VILLAGE OF FREDONIA, NY

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CHANNEL LETTERS

Order Information
Client: El Rinconcito
Project: Sign
Our Order#:
Our Item#:

Graphic Details
Background Color: Fluor Glass
Copy Color: n/a
Typestyle: n/a
Graphic Type: n/a

Sign Quantity: 1

Drawing Details
Scale: n/a
Drawn By: Chamo Sign
Date: 01/10/2024
Revised: n/a



File Name: MDO Sign (Layout).ai

Version: 1

This first time drawing is complimentary
No charges will be made without a commitment

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Café RESTAURANT



EL RINCONCITO
TIENDA TIPICA
SALVADOREÑO
46 S MAIN ST
(516) 208-6056

ROPA Y ACCESORIOS - CONSERVAS TIPICAS - VITAMINAS - COSMETICOS

EL RINCONCITO
SALVADOREÑO



OFFICE OF FIELDPORT, NY

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EL RINCONCITO
TIENDA TIPICA 46 S MAIN ST
(516) 208-6056

ARTESANIAS - LACTEOS - ROPA Y ACCESORIOS - CONSERVAS TIPICAS

EL RINCONCITO
- SALVADORENO -

BIENVENIDOS



PAQUETERIA Y RESTAURANTE
LACALIDAD
Bakery and Restaurant
Tel: (514) 544-0017
46 Main St

NO TRUCKS
3000 LBS
WEIGHT
EVERY ONLY



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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



PL\$

FREE MONEY ORDERS

PAY BILLS HERE

FREE ADDRESS CORRECT

WU

CHECKS CASHING

RICARDO SERRA COSTA

CHARLES BIRNBAUM

ONE WAY

EL RINCONCITO SALVADOREÑO

TIENDA & CAFETERIA

230 FRONT STREET

(516) 416-4858



LA CASA DE LAS TORTAS HULA-HULA



EL SALVADOREÑO

WELCOME
516-416-4858

OPEN



DELI

EL RINCONCITO

Antojitos

DELI & RESTAURANT SALVADOREÑO

El Salvador 629 Jerusalem ave Uniondale NY 11558 TELEFONO 6278-4344

LA CASA DE LAS TORTAS HUIA-HUIA

Antojitos El Rinconcito

- 1. Tostitos
- 2. Pasa Pasa
- 3. Pasa Pasa con queso
- 4. Pasa Pasa con queso y carne
- 5. Pasa Pasa con queso y pollo
- 6. Pasa Pasa con queso y jamon
- 7. Pasa Pasa con queso y salami
- 8. Pasa Pasa con queso y pepperoni
- 9. Pasa Pasa con queso y mushrooms
- 10. Pasa Pasa con queso y olives
- 11. Pasa Pasa con queso y jalapenos
- 12. Pasa Pasa con queso y tomates
- 13. Pasa Pasa con queso y cebollitas
- 14. Pasa Pasa con queso y papas
- 15. Pasa Pasa con queso y frijoles
- 16. Pasa Pasa con queso y lentejas
- 17. Pasa Pasa con queso y garbanos
- 18. Pasa Pasa con queso y lentejas y garbanos
- 19. Pasa Pasa con queso y lentejas y frijoles
- 20. Pasa Pasa con queso y lentejas y garbanos y frijoles
- 21. Pasa Pasa con queso y lentejas y garbanos y frijoles y tomates
- 22. Pasa Pasa con queso y lentejas y garbanos y frijoles y tomates y cebollitas
- 23. Pasa Pasa con queso y lentejas y garbanos y frijoles y tomates y cebollitas y papas
- 24. Pasa Pasa con queso y lentejas y garbanos y frijoles y tomates y cebollitas y papas y frijoles
- 25. Pasa Pasa con queso y lentejas y garbanos y frijoles y tomates y cebollitas y papas y frijoles y lentejas
- 26. Pasa Pasa con queso y lentejas y garbanos y frijoles y tomates y cebollitas y papas y frijoles y lentejas y garbanos
- 27. Pasa Pasa con queso y lentejas y garbanos y frijoles y tomates y cebollitas y papas y frijoles y lentejas y garbanos y frijoles
- 28. Pasa Pasa con queso y lentejas y garbanos y frijoles y tomates y cebollitas y papas y frijoles y lentejas y garbanos y frijoles y lentejas
- 29. Pasa Pasa con queso y lentejas y garbanos y frijoles y tomates y cebollitas y papas y frijoles y lentejas y garbanos y frijoles y lentejas y garbanos
- 30. Pasa Pasa con queso y lentejas y garbanos y frijoles y tomates y cebollitas y papas y frijoles y lentejas y garbanos y frijoles y lentejas y garbanos y frijoles y lentejas y garbanos

TORTAS

OPEN

Antojitos El Rinconcito

REAL GARDEN

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CLERK'S OFFICE
VILLAGE OF FREETPORT, NY

EL RINCONCITO
 TIENDA TIPICA **SALVADOREÑO**
 606 JERUSALEM AVE (516) 414-2231

ENVIOS DE ENCOMIENDA A TODO EL SALVADOR

WILLIAM'S
 PUPUSAS • DESSERTS
 FREE DELIVERY

El RINCONCITO

Lácteos • Frutas frescas • Dulces • Comidas

606

Ricos Minutos

WILLIAM'S

Now Open!

TEL: (516) 414-2231
 606 JERUSALEM AVE
 FREETPORT, NY 11731

←

Application Date: 6/27/24
Fees Paid: \$325.00

SP# 3752

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 189 Merrick Rd. ZONING DISTRICT Business B
SECTION 62 BLOCK 114 LOT 130 LOT SIZE: 18768 sf.

<input checked="" type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Bank of America, N.A.</u>	Name: <u>Elks Plaza LLC</u> ^{George Tsilogiannis}
Address: <u>189 W. Merrick Rd</u> <u>Freeport, NY 11520</u>	Address: <u>28 Campbell Ave.</u> <u>Dix Hills, NY 11746</u>
Telephone #: <u>404-796-3053</u>	Telephone #: <u>631-559-9037</u>

Attorney Name: Denise Koster Address: 28 Station Road
(optional) Phone #: 732-851-8328 Manalapan NJ 07724

Present Land Use: Commercial Proposed Land Use: No-Change
Commercial

Description of Proposed Work: Proposed ADA upgrades for Bank of America - Night Deposit Box

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:

- A. The subject property is zoned Residence A or Residence AA.
- B. The proposed construction is not a new building or dwelling.
- C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

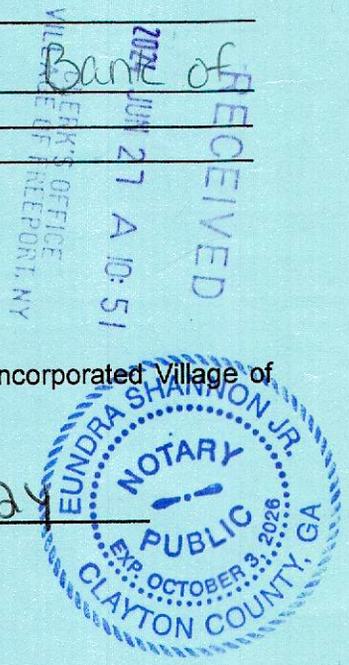
YES NO

Betty Marie Morris
APPLICANT'S SIGNATURE

4-30-2024
DATE

Sworn to before me this 30
day of April, 2024.

[Signature]
Notary Public



Property Owner's Consent: I, George Tsilogiannis am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature] 5/3/24
PROPERTY OWNER'S SIGNATURE DATE

Sworn to before me this 3rd
day of May, 2024.

[Signature]
Notary Public

GEORGIO KOLITSOPOULOS
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01K06395422
Qualified in Nassau County
My Commission Expires 7/29/2027

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <u>YES</u> <input type="checkbox"/> <u>NO</u> <input type="checkbox"/>	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<u>Approved</u> <input type="checkbox"/> <u>Denied</u> <input type="checkbox"/> Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER

June 6, 2024

Elks Plaza LLC
28 Campbell Avenue
Freeport, NY 11520

RE: **189 W. Merrick Rd, Freeport, NY**

Zoning District: Business B Sec. 62 Blk. 114 Lot 130

Building Permit Application #20243658

Description: ADA upgrades to night deposit box for Bank of America.

Dear Ms.

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-3632.

Very truly yours,


Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez
cc: Village Clerk

RECEIVED
2024 JUN 27 A 10:51
VILLAGE CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

ZBA Approval Needed: NO

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

 The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

Building Permit App. 20243658

Location: 189 W. Merrick Rd

Applicant: Elks Plaza LLC

Description: ADA upgrades to night deposit box for Bank of America. Replacement of windows.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: June 6, 2024

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

RECEIVED
2024 JUN 27 A 10:51
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Bank of America ADA Upgrades Night Deposit Box			
Project Location (describe, and attach a location map): 189 Merrick Rd Freeport, NY			
Brief Description of Proposed Action: ADA Upgrades for Night Deposit Box for Bank of America			
Name of Applicant or Sponsor: Project Expeditors		Telephone: 732-786-2484	
Address: 28 Station St		E-Mail: dkoster@peconsultingcorp.com	
City/PO: Manalapan		State: NJ	Zip Code: 07726
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Incorporated Village of Freeport			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ .4309 acres			<div style="text-align: center;"> <p>CLERK'S OFFICE VILLAGE OF FREEPORT, NJ</p> <p>JUN 27 10:51</p> <p>RECEIVED</p> </div>
b. Total acreage to be physically disturbed? _____ 0 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,		NO	YES	N/A
a.	A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b.	Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: NA		NO	YES	
		<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? US Post Office - Freeport		NO	YES	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____				

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 NY
 10-51

2024
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14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe:		

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Remediation at the site is complete. Prior to remediation, the primary contaminants of concern were tetrachloroethene and its breakdown products in groundwater. Remedial actions have successfully achieved Soil Cleanup Objectives for residential use. Residu		
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Coral Silsbe</u> Date: <u>3/20/24</u>		
Signature: <u><i>Coral Silsbe</i></u> Title: <u>President</u>		

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 VILLAGE OF FREEPORT, NY
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VILLAGE OF FREEPORT, NY
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(Front)



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(Right Side)



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VILLAGE OF FREEPORT, NY



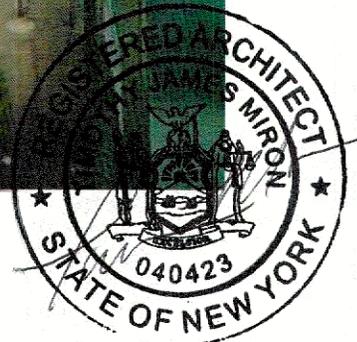
(Rear)



VILLAGE OF FALLENBURG, NY
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(Left Side)



OFFICE
ICE
REPORT, NY

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(McDonald's - front of bank)



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(Office Bldg - Rear of Bank)



VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

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(ELKS PLAZA - left side of bank)



VILLAGE OF FREDONA, NY
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Citibank (across street)



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Convenience and Security Consumers Deserve

The advanced design of the Securomatic AHD offers numerous conveniences to consumers while adding value to your brand. Based on branch configuration and user interaction preferences, the simple, one-hand operation makes it ideal for drive-up use, or you can configure it for through-the-wall or freestanding walk-up installations. The Securomatic AHD is available with either manual or electric operation and various solutions are available to comply with Americans with Disabilities Act (ADA) guidelines for height and reach accessibility.

Contemporary Design

User-friendly features include one-hand operation, built-in illumination, convenient writing surface and either manual or electric operation.

Flexible Functionality

The new uniform design of the Securomatic AHD gives you the flexibility to offer consumers either a drive-up or a walk-up depository. Flexible configuration options also include bag only or bag and envelope deposits.

Enhance Security

The Securomatic After-Hour Depository (AHD) exceeds UL Standard 771 anti-fish and anti-trap specifications for outstanding security. It also protects against unauthorized removal and is more resistant to attacks by physically attaching the AHD to the receiving chest.

Added Convenience

The Securomatic AHD complies with Americans with Disabilities Act (ADA) guidelines for height and reach accessibility and meets the 5 pound opening requirement.



Securomatic® After-Hour Depository

ENHANCING THE CONSUMER EXPERIENCE

Every Securomatic AHD gives the customer an option of a bag drop or a bag and envelope drop. The bag and envelope drop configuration requires an authorized key to open the door wide enough to accept the bag while the letter drop does not require a key to open the door to allow an envelope deposit. Special hardware can eliminate the letter drop feature to allow only bag deposits.

Additional usability enhancements include a protected forms compartment and a sloping door that creates a convenient writing surface. Long-lasting, energy-efficient LED lights provide built-in illumination contributing to user convenience and security.

The curtain will operate without the need for external power. Additional optional security features include a high security key lock with tamper switch and a covert camera.

SECURING VALUABLE ASSETS

The Securomatic AHD meets anti-fish and anti-trap specifications established by Underwriters Laboratories (UL). The depository design receives various chest sizes and configurations to meet your specific requirements. When combined with a UL-listed receiving chest, the Securomatic AHD also meets the International Organization for Standardization (ISO) C rating for depositories.

The installation configuration of the Securomatic AHD provides added protection against unauthorized removal. Physically attaching the unit to the receiving chest during installation mitigates this risk. Removal for servicing the depository requires its release from inside the chest and the elimination of protruding parts that are accessible during operation provide additional security enhancements.

An optional electric security curtain seals off the opening of the receiving safe in the event of an attack on the depository. An alarm notifies you that the curtain is in the closed position while monitoring services enable manual engagement of the device.

Specifications

OUTSIDE DIMENSIONS

- Height: 27.625" (70.2 cm)
- Width: 26" (66.0 cm)
- Depth: 24.857" (63.1 cm)
- Weight: 400 lb (181.4 kg) approximate, varies based on model

REQUIRED WALL OPENING

- Height: 24" (61.0 cm)
- Width: 23" (58.4 cm)

POWER REQUIREMENTS

- 1.5" (3.8 cm) Sealtite Conduit
- 115 V, 60 Hz electrical supply
- 2 Amp load
- Flex-style conduits recommended for some installations

STANDARD SECURITY FEATURES:

- Contact alarm switch
- Key switch and door open alarm circuit
- Monitored door open alarm circuit
- Front and rear drum rake alarm assemblies
- Side frame tabs
- Unauthorized drum rotation out-of-position sensor

AVAILABLE MODELS:

- Manual Operation (recommended for walk-up applications)
- Electric Operation (recommended for drive-up applications)

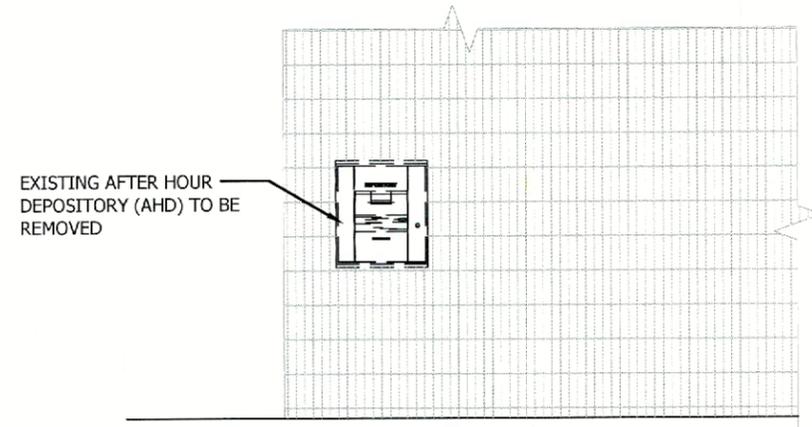


To learn more, visit DieboldNixdorf.com.

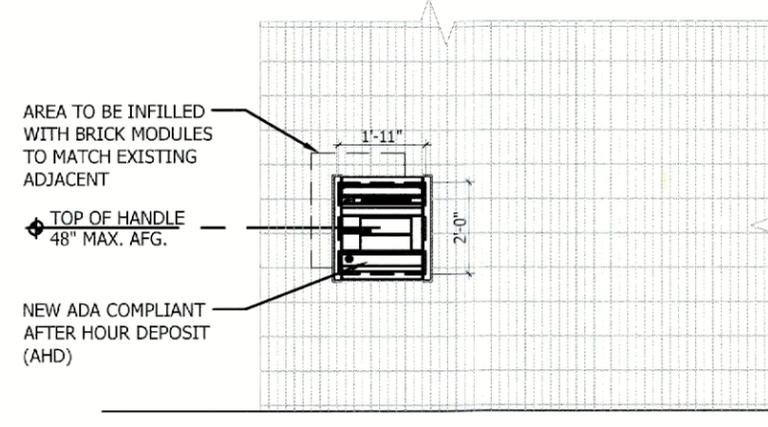
Bank of America

189 W. Merrick Rd., Freeport, NY 11520

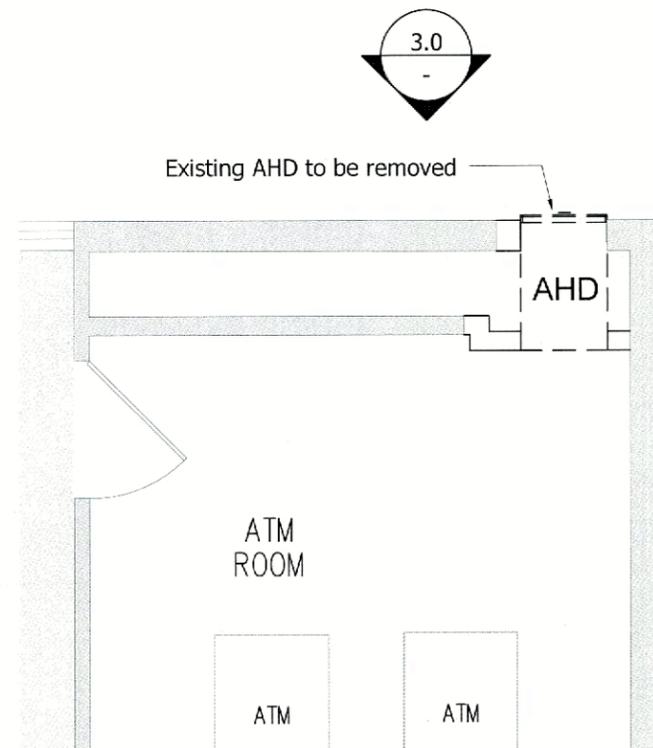
06/04/2024



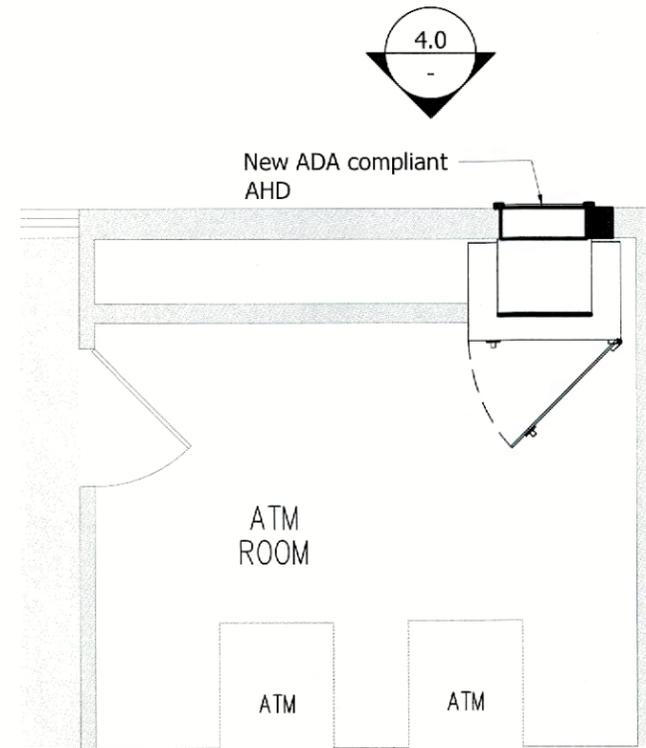
3.0 View to existing AHD



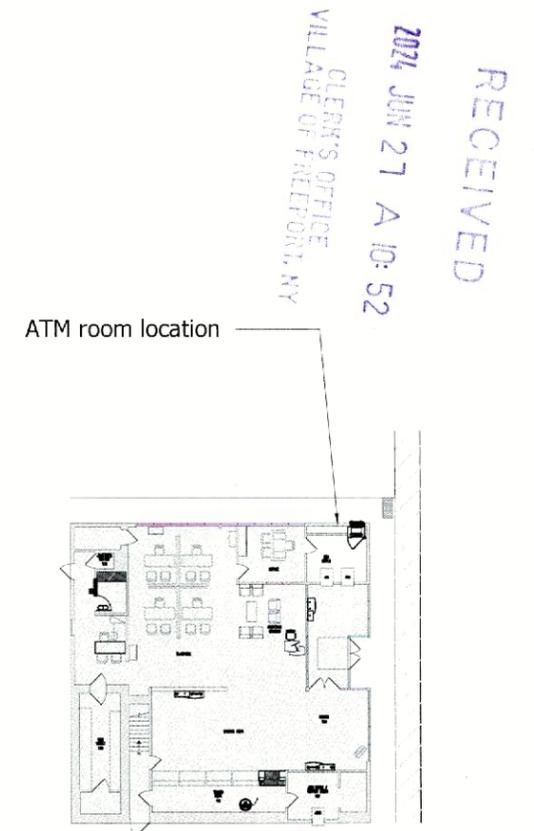
4.0 View to new AHD



1.0 ATM Room Plan
Existing AHD to be removed



2.0 ATM Room Plan
New AHD in same location



Building Plan
ATM Room location

After Hours Depository (AHD) Replacement

Scale: 1/4" = 1'-0"



NELSON

DEMOLITION PLAN NOTES:

- DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
- PRIOR TO DEMOLITION WORK, REVIEW ALL DRAWINGS WITH OWNER'S REPRESENTATIVE REGARDING DEMOLITION OR PRESERVATION OF ANY CRITICAL SYSTEMS AND HOW TO HANDLE THESE DURING THE DEMOLITION PERIOD.
- PRIOR TO DEMOLITION WORK CONSULT WITH DATA AND TELEPHONE COORDINATOR TO IDENTIFY SPECIFIC ITEMS TO BE LEFT IN PLACE.
- GENERAL CONTRACTOR SHALL PROTECT AND MAINTAIN OPERATION OF ALL FIRE PROTECTION SYSTEMS AND DEVICES, INCLUDING BUT NOT LIMITED TO SMOKE DETECTION DEVICES, SPEAKERS AND FIRE ALARM BOXES. ALL DEVICES DAMAGED DURING DEMOLITION SHALL BE IMMEDIATELY REPAIRED TO OPERATIONAL STATUS. ALL REPAIRS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES.
- PATCH AND REPAIR EXISTING CONSTRUCTION WHERE AFFECTED BY DEMOLITION WORK SHALL BE PROPERLY RESTORED, ALIGNED AND REPAIRED SO AS TO LEAVE NO EVIDENCE OF DEMOLITION OR REMODELING WORK. AREAS OUTSIDE OF THE CONTRACT LIMITS AFFECTED BY DEMOLITION AND NEW CONSTRUCTION TO BE REPAIRED SO AS TO LEAVE NO EVIDENCE OF THE WORK. REFINISH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.
- COORDINATE ALL DEMOLITION WORK WITH THE BUILDING MANAGEMENT OFFICE. PROLONGED NOISY WORK SHALL BE DONE AFTER NORMAL WORKING HOURS.
- GENERAL CONTRACTOR SHALL ENSURE THAT DEMOLITION IS COORDINATED WITH NEW WORK, ALL DOCUMENTATION AND TRACES.
- GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS/ EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED WITHIN THESE NELSON DRAWINGS, OR AS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. ONLY WORKMEN SKILLED AND KNOWLEDGEABLE IN THEIR RESPECTIVE TRADES SHALL BE EMPLOYED IN THE DEMOLITION OF ANY WORK.
- SEAL FLOOR PENETRATIONS TO LIKE NEW SLAB CONDITION.
- DEMOLITION & WASTE DISPOSAL SHALL BE IN ACCORDANCE WITH LOCAL CITY ORDINANCES.
- THE GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF RUBBISH DURING DEMOLITION. COORDINATE RUBBISH AND DEBRIS REMOVAL WITH THE BUILDING MANAGEMENT.
- EXISTING SECURITY/ACCESS CONTROL SYSTEM DEVICES (CARD READERS AND SENSORS) ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- PATCH FLOOR & LEVEL AS REQD. CONTRACTOR TO VERIFY QUANTITIES, SIZES AND CONDITIONS OF ALL CORES, TRENCHES, SHAFTS, ETC.
- GENERAL CONTRACTOR SHALL PERFORM ALL CUTTING, FITTINGS AND PATCHING REQUIRED TO RECEIVE THE WORK OF ALL TRADES AS INDICATED OR IMPLIED ON THE DRAWINGS OR NOTES. WORK SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND SHALL BE DONE NEATLY AND WITHOUT DISTURBANCE TO ADJACENT WORK TO REMAIN.

DEMOLITION PLAN LEGEND:

AREA NOT IN CONTRACT

DEMOLITION PLAN KEYNOTES: DX

- CREATE NEW OPENING IN PERIMETER WALLS, SIZE TO FIT NEW ADA COMPLIANT AFTER HOUR DEPOSITORY (AHD), SEE SHEET A01.01 FOR MORE INFO.
- NIGHT DROP DEPOSIT AND CONCRETE ENGAGEMENT TO BE REMOVED IN ITS ENTIRETY. REMOVE ELECTRICAL CONNECTIONS. COORD REUSE AS IS POSSIBLE. SCRAPE FLOOR AND WALLS FLUSH AND PREPARE WALL FOR INFILL. COORD. DISPOSAL WITH P&C.
- PROTECT EXISTING ATMS AND EQUIPMENT TO REMAIN - TYP.
- EXISTING VEHICULAR WAY.
- EXISTING STRIPED PEDESTRIAN PATH OF TRAVEL.

CONSTRUCTION PLAN NOTES:

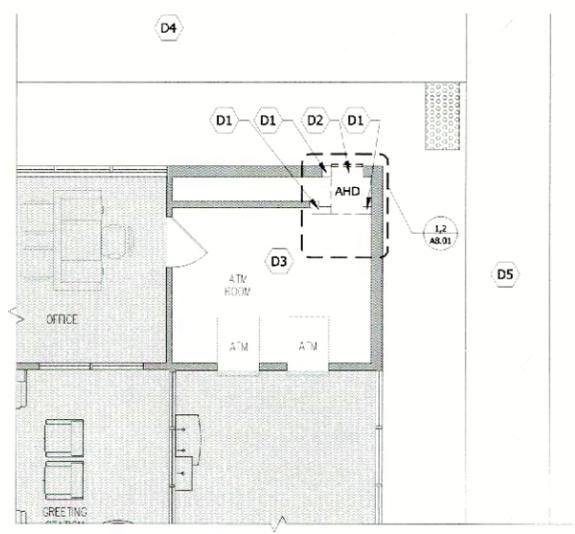
- REVIEW GENERAL NOTES BEFORE COMMENCING WORK.
- IN ALL AREAS WHERE DEMOLITION (REMOVAL OF TILE, CERAMIC TILE, CARPETING, TACKLESS, PARTITIONS, ETC.) CAUSES UNEVENNESS OF SLAB, PATCH TO LEVEL THE SLAB TO RECEIVE NEW FINISHED FLOORING.
- PATCH AND REPAIR FIREPROOFING MATERIAL WHERE NECESSARY TO MAINTAIN REQUIRED FIRE RATING.
- ALL DIMENSIONS ARE TO FINISH FACE OF WALL UNLESS NOTED OTHERWISE.
- DIMENSIONS SHOWN AS V.I.F. SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK IN THAT AREA.
- NEW GYPSUM BOARD CONSTRUCTION ADJOINING EXISTING CONSTRUCTION IN THE SAME PLANE SHALL BE FLUSH WITH NO VISIBLE JOINTS, UNLESS OTHERWISE NOTED.
- DRAWALL FINISHING: COMPLY WITH MANUFACTURER'S PRINTED INSTRUCTIONS AND SPECIFICATIONS, EXCEPT: COMPLY WITH MORE STRINGENT REQUIREMENTS OF GYPSUM ASSOCIATION GA-215 RECOMMENDED SPECIFICATION FOR THE APPLICATION AND FINISHING OF GYPSUM BOARD.
- CONTRACTOR SHALL COORDINATE PLACEMENT OF BLOCKING FOR MILLWORK, AND LIGHTS, PRIOR TO CLOSING WALLS.
- PENETRATIONS IN GYPSUM BOARD CONSTRUCTION ABOVE FINISHED CEILING SHALL BE EFFECTIVELY SEALED TO PREVENT SOUND LEAKAGE AT ACoustICAL PARTITIONS AND AT DEMISING PARTITIONS, UNLESS OTHERWISE NOTED.
- WHERE A CHANGE OF FLOOR PLANE OF 1/4-INCH OR MORE OCCURS, SUBMIT NOTIFICATION OF THE INSTANCE AND RECOMMENDATION FOR PROVIDING A CORRECTION AND SMOOTH TRANSITION, TO THE A/E FOR REVIEW.

CONSTRUCTION PLAN LEGEND:

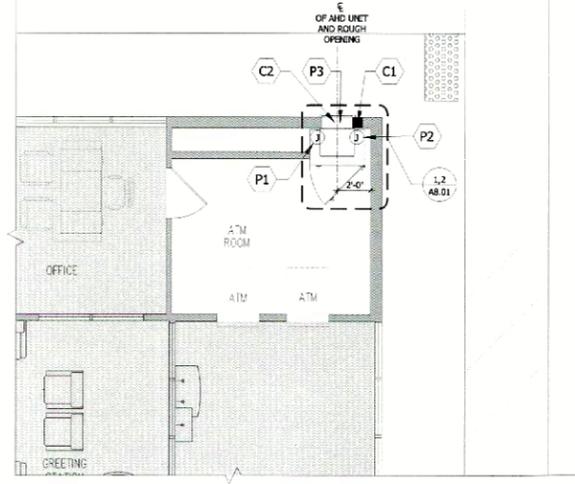
AREA NOT IN CONTRACT

CONSTRUCTION KEY NOTES: CX

- INFILL OPENING TO MATCH ADJACENT EXISTING MATERIAL.
- NEW ADA COMPLIANT AND UNIT TO BE INSTALLED BY VENDOR. PROVIDE NEW LINTEL AND FRAMING AS REQUIRED. COORDINATE EXACT LOCATION OF UNIT TO PROVIDE REQUIRED SERVICE CLEARANCES. SEE SPECIFICATIONS ON SHEET A01.01.



DEMOLITION PLAN
A01.01 1/4" = 1'-0"
SCALE IN FEET



CONSTRUCTION / POWER & COMM PLAN
A01.01 1/4" = 1'-0"
SCALE IN FEET

POWER & COMM. PLAN NOTES:

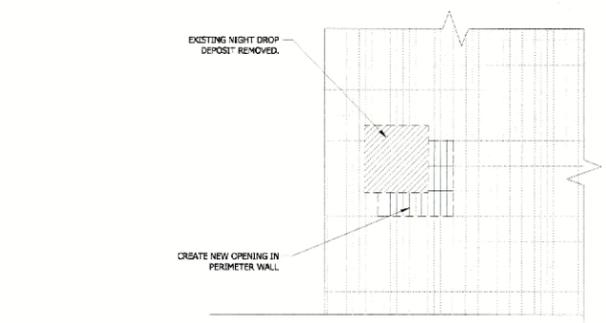
- COORDINATE INSTALLATION OF SECURITY SYSTEMS WITH VENDOR DRAWINGS.
- VERIFY EQUIPMENT SPECIFICATIONS POWER AND INSTALLATION REQUIREMENTS WITH MANUFACTURER TO ENSURE PROPER FIT AND FUNCTION.
- VERIFY MOUNTING REQUIREMENTS OF EQUIPMENT.
- IDENTIFY DEDICATED OR ISOLATED GROUND ELECTRICAL OUTLETS WITH A RED DOT.
- FACILITY PARTNER PROJECT MANAGER IS RESPONSIBLE FOR DOWNLOADING A COPY OF THE VENDOR SPECIFIC AT/ATM INSTALLATION CUT SHEETS AND PROVIDING COPIES OF THESE CUT SHEETS TO THE GC. GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THEIR ELECTRICAL SUBCONTRACTOR IS PROVIDED A COPY OF THESE SAME INSTALLATION CUT SHEETS.
- PROVIDE ONE-PIECE TYPE GANG BOX INCLUDING COVER PLATE, UNLESS NOTED OTHERWISE.
- INDICATED DIMENSIONS ARE TO THE CENTER LINE OF OUTLET OR SWITCH, OR CLUSTER OF OUTLETS, OR SWITCHES, UNLESS NOTED OTHERWISE.

POWER & COMM. PLAN LEGEND:

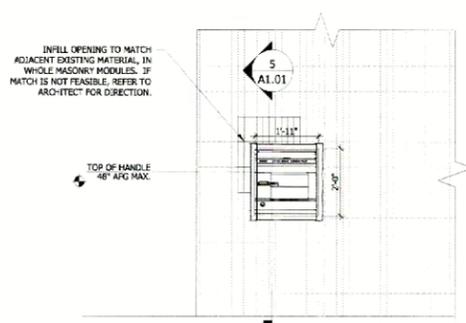
AREA NOT IN CONTRACT

POWER & COMM. KEY NOTES: PX

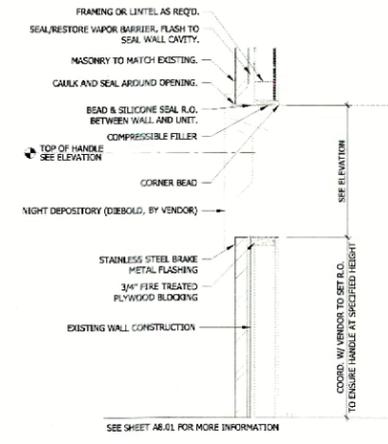
- ELECTRICAL CONTRACTOR TO FINISH AND INSTALL 1/2" DIA. CONDUIT FROM ALARM CONTROL CABINET TO ALARM JUNCTION BOX ON TOP OF STEEL SHROUD. RE-USE EXISTING CONDUIT AND BOX AS IS FEASIBLE.
- FINISH AND INSTALL 1/2" DIA. CONDUIT WITH 120 V. 60HZ. SINGLE-PHASE, 20 AMP (4 AMP LOAD) UNSWITCHED DEDICATED BRANCH CIRCUIT FROM BUILDING ELECTRICAL PANEL TO JUNCTION BOX ON TOP OF STEEL SHROUD. SEE SHEET 8.01 FOR FURTHER SPECIFICATION. RE-USE EXISTING CONDUIT, BOX, WIRING AND CIRCUIT AS IS FEASIBLE.
- VERIFY FUNCTION OF EXISTING SMOKE DETECTORS. REMOVE AND CLEAN, REPAIR AS REQUIRED TO RESTORE TO FULL FUNCTION.



DEMOLITION - PARTIAL ELEVATION
A01.01 1/2" = 1'-0"



CONSTRUCTION - PARTIAL ELEVATION
A01.01 1/2" = 1'-0"



SECTION - DEPOSITORY DETAIL
A01.01 1" = 1'-0"

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 PLANNING OFFICE
 VILLAGE OF FREEPORT, NY

Issue: No: Date:
Issue for Review / Pricing: 1 05.24.2023
Issue for Permit: 10.12.2023

BANK OF AMERICA
Freeport
AHD - ADA REMEDIATION
189 W. Merrick Rd.
Freeport, NY 11520

PROPERTY ID: NYS-202
BULLETIN: 3-2023



DEMOLITION AND CONSTRUCTION PLAN, ELEVATIONS AND SECTION DETAILS

Plot Date: 10/10/2023 10:57:57 PM File Name: U:\Proj\Bank of America\NY22\003835.000\BANK OF AMERICA ADA AHD 11 Freeport NY22\DRAWINGS\A-10_CD\A01.01 - Demolition and Construction Plan.dwg User: Joseph Ormole Device: DWG TO PDF and Plot\Taber_NELSON REB.ctb

SURVEY NOTES

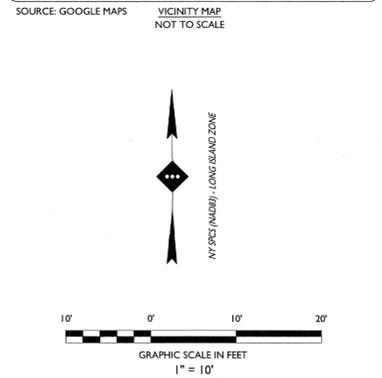
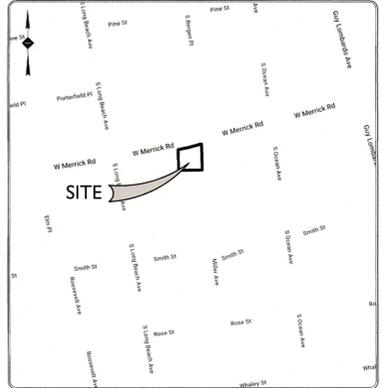
- THIS SURVEY AND THE BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED DURING DECEMBER OF 2022, BASED ON AVAILABLE MAPS AND DEEDS OF RECORD, AND PHYSICAL EVIDENCE. THIS SURVEY IS SUBJECT TO ALL EASEMENTS, RIGHTS OF WAYS AND AGREEMENTS OF RECORD THAT A TITLE SEARCH MAY DISCLOSE.
- THIS SURVEY IS VALID ONLY WHEN A DIGITAL OR BLUE SEAL IS AFFIXED HERETO.
- THE CERTIFICATION SHOWN HEREON IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.
- ANY SUBSURFACE UTILITIES SHOWN HAVE BEEN LOCATED FROM MARKOUTS OBSERVED ON SITE DURING THE FIELD SURVEY, AND SURFACE FEATURES SUCH AS VALVES, MANHOLES AND GRATES, STORM DRAINAGE AND OR SANITARY INVERTS ARE DEPICTED BASED ON OBSERVATIONS MADE IN THE FIELD. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION USED. THE SURVEY HAS NOT PHYSICALLY LOCATED THE UTILITIES BEFORE ANY EXCAVATIONS ARE BEGUN. THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- BEARINGS ARE REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD83) LONG ISLAND ZONE.
- BASEMENT OR BELOW GRADE STRUCTURES (IF ANY) UNKNOWN.

SURVEY REFERENCES

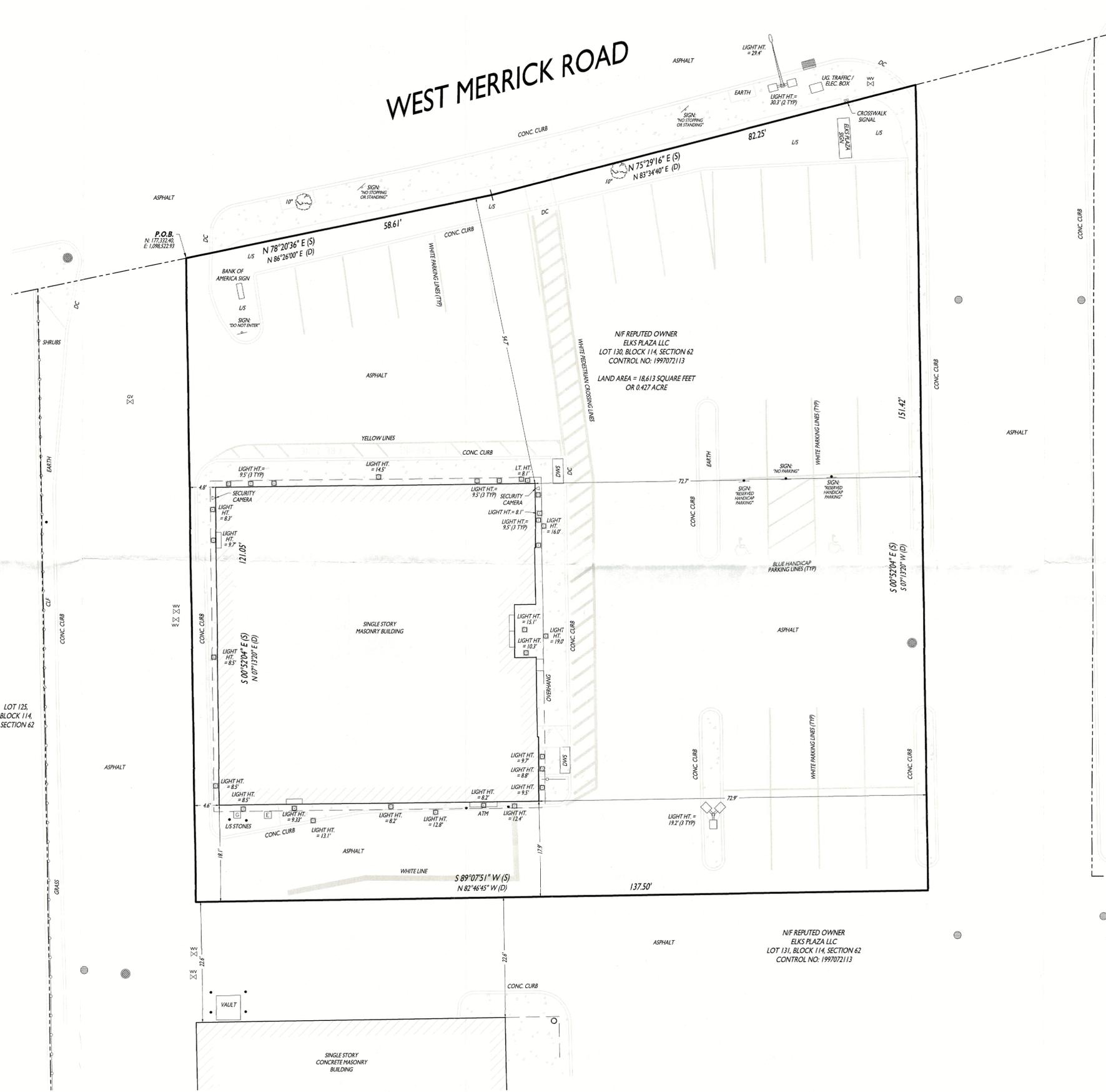
- DEED BETWEEN ELKS PLAZA CORPORATION (GRANTOR) AND ELKS PLAZA LLC (GRANTEE), DATED 07/07/1997 AND FILED IN THE NASSAU COUNTY CLERKS OFFICE AS LIBER 10794 PAGE 809. OR CONTROL No: 19970702113.
- TAX MAP TITLED "NASSAU COUNTY DEPARTMENT OF ASSESSMENT LAND & TAX MAP", SECTION 62, BLOCK 114, TOWN OF HEMPSTEAD, NEW YORK, DATED OCTOBER 19, 2002.

AREA NOTES

TOTAL LAND AREA = 18,613 SQUARE FEET OR 0.427 ACRE



SYMBOL	DESCRIPTION
[Symbol]	BUILDING
[Symbol]	CONCRETE SIDEWALK / MAT
[Symbol]	ASPHALT / CONCRETE CURB
[Symbol]	DEPRESSED CURB
[Symbol]	PROPERTY LINE
[Symbol]	ADJACENT PROPERTY LINE
[Symbol]	CHAIN LINK FENCE
[Symbol]	MAST ARM LIGHT POLE
[Symbol]	LIGHT POLE / LIGHT FIXTURE
[Symbol]	SIGNS
[Symbol]	WATER VALVE
[Symbol]	GAS VALVE
[Symbol]	DRAIN
[Symbol]	INLET
[Symbol]	MAN HOLE
[Symbol]	BOLLARDS
[Symbol]	HANDICAP PARKING
[Symbol]	LANDSCAPING
[Symbol]	ELEC METER
[Symbol]	GAS METER
[Symbol]	DECIDUOUS TREE - DIAMETER NOTED
[Symbol]	DETECTABLE WARNING STRIP



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Phone 201.340.4468 · Fax 201.340.4472

TITLE SURVEY

MAP OF SURVEY OF:

**LOT 130, BLOCK 114, SECTION 62
189 WEST MERRICK ROAD
VILLAGE OF FREEPORT, TOWN OF HEMPSTEAD
COUNTY OF NASSAU, STATE OF NEW YORK**

ISSUE	DATE	DRAFT BY	CHECK BY	FIELD DATE	FIELD CREW	DESCRIPTION
1	12/15/22	DJS	JD	12/08/22	CP	FOR ISSUE

SUBJECT TO RESTRICTIONS, EASEMENTS OF RECORD AND OTHER FACTS WHICH A CURRENT TITLE SEARCH MIGHT DISCLOSE.

Thomas F. Miller 4/29/2024
THOMAS F. MILLER
NEW YORK LAND SURVEYOR No. 050484
LICENSED PROFESSIONAL LAND SURVEYOR
NEW YORK CERTIFICATE OF AUTHORIZATION No. 15155

SCALE: 1"=10' PROJECT ID: NYC-220320 SHEET: 1 OF 1



Know what's below
Call before you dig.

Z:\11\Hempstead\114\WORKING\NYC220320\NYC220320_08E - 189 WEST MERRICK ROAD, FREEPORT, NY, SURVEYING\CD\NYC220320 WEST MERRICK RD_ELP_SURVEY.DWG

Application Date: 6/27/24
 Fees Paid: \$175.00

SP# 3753

**INCORPORATED VILLAGE OF FREEPORT
 SITE PLAN REVIEW APPLICATION
 PLANNING BOARD**

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 101 South Main St. Freeport NY ZONING DISTRICT Bus B
 SECTION 55 BLOCK 205 LOT 11 LOT SIZE: 116' x 35' x 175'

<input checked="" type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Mary Ann Ojeda</u>	Name: <u>John Martino</u>
Address: <u>2634 Hewlett Avenue Merrick, NY 11566</u>	Address: <u>101 South Main Street Freeport, NY 11520</u>
Telephone #: <u>516 444-2426</u>	Telephone #: <u>772 807-1545</u>

Attorney Name: _____ Address: _____
 (optional) Phone #: _____

Present Land Use: Business Proposed Land Use: Business

Description of Proposed Work: Replace the original sign that was taken down by the town. 13" x 3 FT. See green lettering white background

I request a preliminary meeting: YES NO WAS

I request a waiver of the public hearing and hereby certify the following:
 A. The subject property is zoned Residence A or Residence AA. _____ YES NO
 B. The proposed construction is not a new building or dwelling. _____
 C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied. _____

[Signature]
 APPLICANT'S SIGNATURE
 Sworn to before me this 27
 day of June 2024
[Signature]
 Notary Public

VALENTINA VARONA
 Notary Public - State of New York
 No. 01VA0017787
 Qualified in Nassau County
 My Commission Expires December 5, 2027

06/24/2024
 DATE

RECEIVED
 2024 JUN 21 PM 12:35
 CLERK'S OFFICE
 VILLAGE OF FREEPORT

Property Owner's Consent:
 I, John Martino am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
 PROPERTY OWNER'S SIGNATURE
 Sworn to before me this 20
 day of June 2024
[Signature]
 Notary Public

MARY ANN OJEDA
 NOTARY PUBLIC, STATE OF NEW YORK
 Registration No. 01OJ06307527
 Qualified in Nassau County
 Commission Expires July 7, 2026

June 20th 2024
 DATE

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE

FREEPORT, NEW YORK 11520

TEL (516) 377-2242 FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER

May 13, 2024

John Martino
101 South Main St
Freeport, NY 11520

RE: 101 South Main St, Freeport, NY
Zoning District: Business B Sec. 55 Blk. 205 Lot 11
Building Permit Application # 20243711
Description: Erect sign

Dear Ms.

The above captioned Sign Permit Application is denied.

As per 210-207 you have the right to appeal this decision.

Please be further advised that if you intend to appeal this decision you must file a Site Plan Review Board application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment to review the completed application. Changes or additional information may be required for the application; therefore, only ONE complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. Only after this initial appointment should the additional copies be made.

In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Application only, please call the Village Clerk's Office at 516-377-3632.

Very truly yours,
Sergio A. Mauras

Sergio A. Mauras, Superintendent of Buildings
Daniela Hernandez
cc: Village Clerk
ZBA APPROVAL NEEDED: Yes No

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2024 JUN 21 P 12: 36
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Ltr. from Village

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

_____ The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

Building Permit App. 20243711

Location: 101 South Main St

Applicant: John Martino

Description: Erect sign

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: May 13, 2024

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

2024 JUN 27 P 12: 36

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(18)

6mauras@freeportny.gov

RECEIVED
APR 4 - 2024
FREEPORT BUILDING DEPT.



DEPARTMENT OF BUILDING
OF THE VILLAGE OF FREEPORT
APPLICATION FOR ERECTION OF SIGN

CLEANS OFFICE
VILLAGE OF FREEPORT, NY

2024 JUN 27 P 12:36

RECEIVED

APPLICATION#: _____

PERMIT#: 20243711

NEW APPLICATION

APPROVED 55-205-11 Business B

RENEWAL

DENIED

APPLICATION IS HEREBY MADE PURSUANT TO VILLAGE OF FREEPORT ORDINANCES FOR APPROVAL OF PLANS AND SPECIFICATIONS OF THE SIGN STRUCTURE HEREIN DESCRIBED, TO BE ERECTED, HUNG AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AFORESAID ORDINANCE, THE BUILDING CODE, AND ANY OTHER ORDINANCE OR LAW APPLICABLE THERETO. SIGN PERMIT NUMBER WILL BE PLACED IN THE LOWER RIGHT CORNER OF SIGN.

DATE: March 12, 2024

ADDRESS OF PREMISES: 101 South Main Street, Freeport, NY 11

WALL SIGN GROUND SIGN CANOPY RENEWAL PERIOD: _____

NAME OF PROPERTY OWNER: John Martino PHONE#: 772 807-1545

NAME OF APPLICANT: Mary Ann Ojeda PHONE#: 516 444-2426

EMAIL ADDRESS: mary@insolidarityny.com

WIDTH OF BUILDING (FRONTAGE): 16 ft LENGTH OF BUILDING (DEPTH): 175 ft

HEIGHT OF BUILDING: 35 ft SETBACK OF NEAREST BUILDING: N/A

EXACT LOCATION OF SIGN: North West Corner of South Main Street

STREET SIGN FRONTS ON: South Main Street

WIDTH OF SIGN: 5'2" HEIGHT OF SIGN: 31 Inches DEPTH OF SIGN: 2.2 Inches

PROJECTION FROM BUILDING: 0.2 Inches SETBACK OF SIGN: N/A

IS SIGN TO BE ILLUMINATED? YES NO (IF YES, GIVE NAME, ADDRESS, AND PHONE NUMBER OF THE FREEPORT LICENSED ELECTRICIAN PERFORMING THE WORK)

NAME OF ELECTRICIAN: N/A ADDRESS: N/A

SIGN HANGER'S NAME: Hale Reichert ADDRESS: 26 West 4th St. Freeport, NY 11520

SIGN HANGER'S PHONE#: (516) 867-5851 EMAIL: FreeportSigns@yahoo.com

APPROVAL IS HEREBY GIVEN TO THE FOREGOING APPLICATION AND PERMISSION IS GRANTED FOR THE HANGING OF THE SIGN DESCRIBED HEREIN. THIS PERMIT IS REVOCABLE IN CASE OF ANY NON-COMPLIANCE WITH PROVISIONS OF AFORESAID ORDINANCES. PERMIT EXPIRES THREE (3) YEARS, PROVIDED THAT SUCH A SIGN CONTINUES TO BE MAINTAINED IN COMPLIANCE WITH THE ORDINANCES OF THE INCORPORATED VILLAGE OF FREEPORT IN FORCE AT THE TIME OF RENEWAL.

DATED: FREEPORT, NY _____, 20____

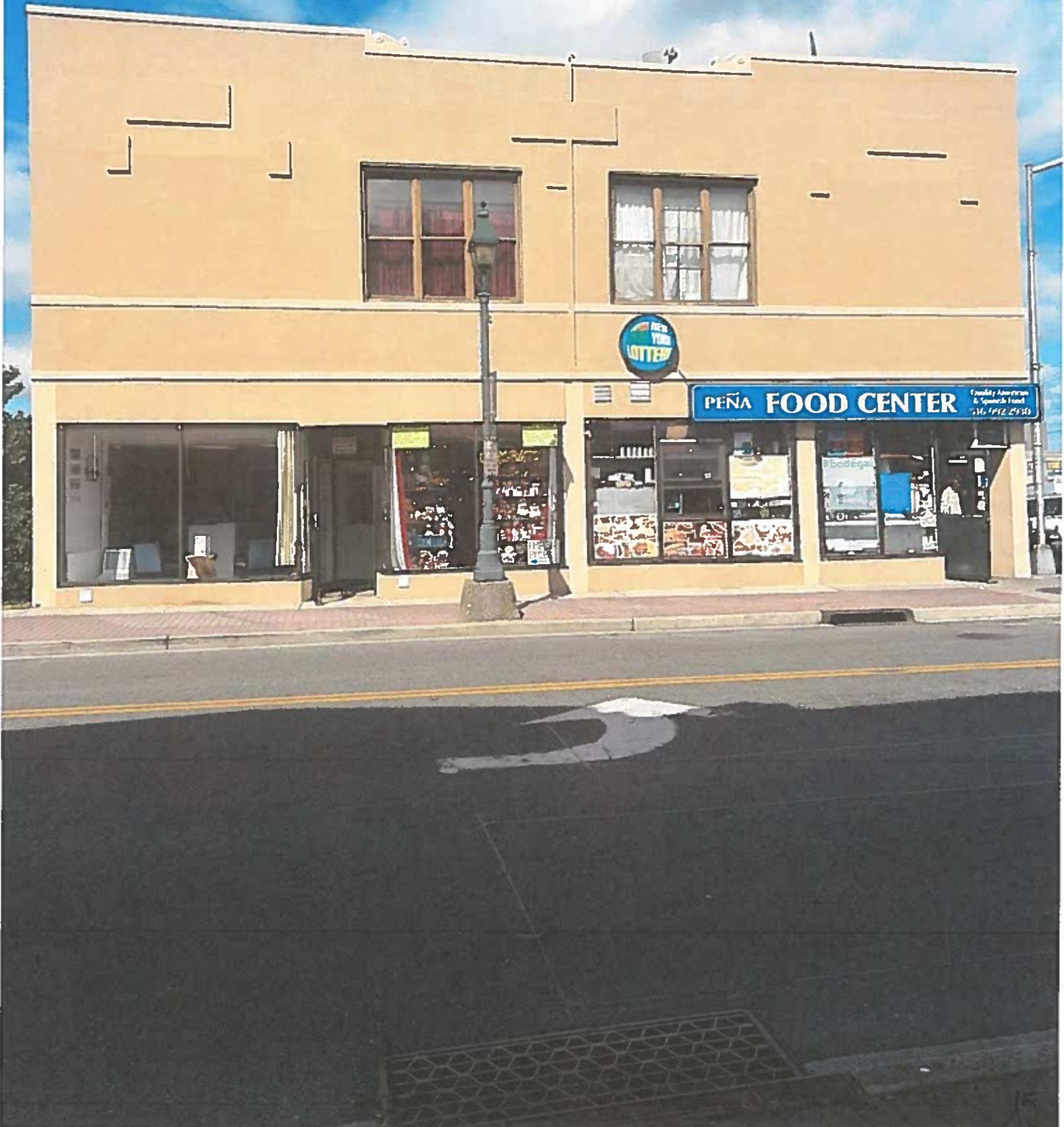
SUPERINTENDENT OF BUILDINGS

13

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2024 JUN 27 P 12: 36

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



RECEIVED

2024 JUN 27 P 12:36

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



Side of our building facing Mernick Road.
Facing (south)

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2024 JUN 27 P 12:36

CLERK'S OFFICE
VILLAGE OF FREEBORO, N.J.



Side of building facing the Burger King parking area.
North

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2024 JUN 27 P 12: 36

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



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2024 JUN 27 P 12:36

CLERK'S OFFICE
VILLAGE OF FRELPORT, NY



14 Photo illustrated Commercial building across the Street (on S. Main St.) from our location

RECEIVED

2021 JUN 27 P 12:36



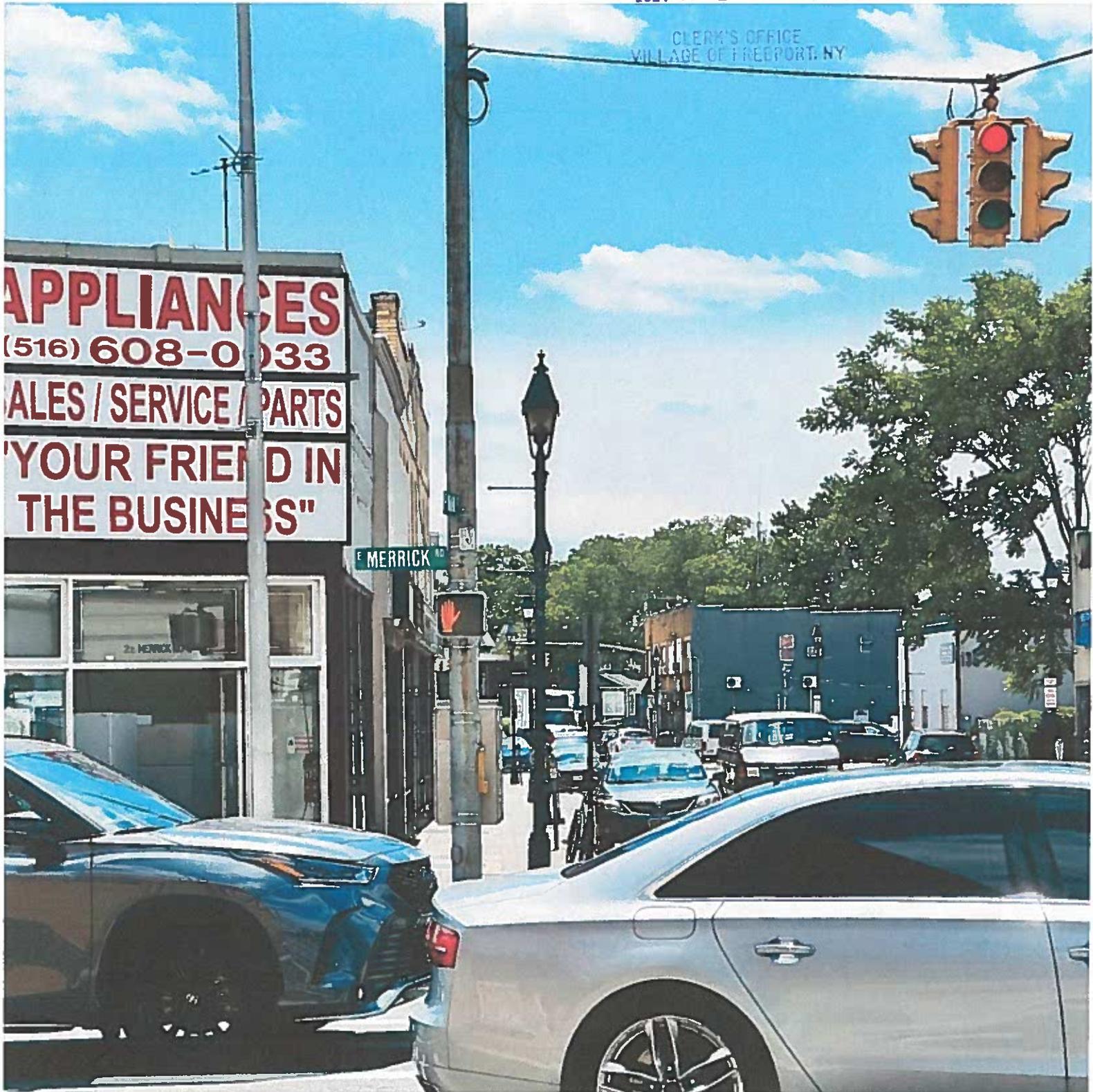
Picture depicts signage of a business neighboring our location.

⑦

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2024 JUN 27 P 12: 36

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



Picture Depicts signage of a Local business neighboring ours. The dimensions, font and type of sign mirrors the proposed sign in relation to this application.

(3)

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2024 JUN 27 P 12: 36

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

total by
verizon[✓]

75

OPEN

total by
verizon[✓]

Hello

WE REPAIR

SMARTPHONES

¡Es como si tu
iPhone 12 con 5G
fuera por
nuestra cuenta!

Samsung
Galaxy A15 5G por
nuestra cuenta

\$17.45

SAMSUNG
Galaxy A15 5G

New business sign, also of a business near our location.

(4)

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2024 JUN 27 P 12: 36

SLIGHT'S OFFICE
WILLIAMSBURG, VA

AVENUE
• MEN'S WEAR & SHOES •



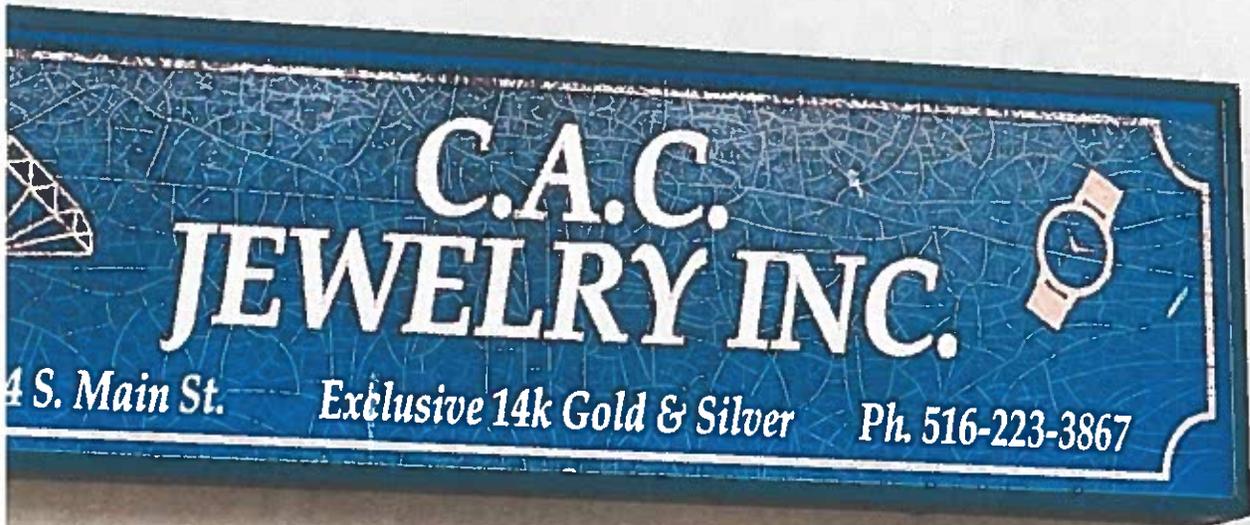
neighboring sign

5

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2024 JUN 27 P 12:37

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



Copycat sign.

6

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2024 JUN 27 P 12:37

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

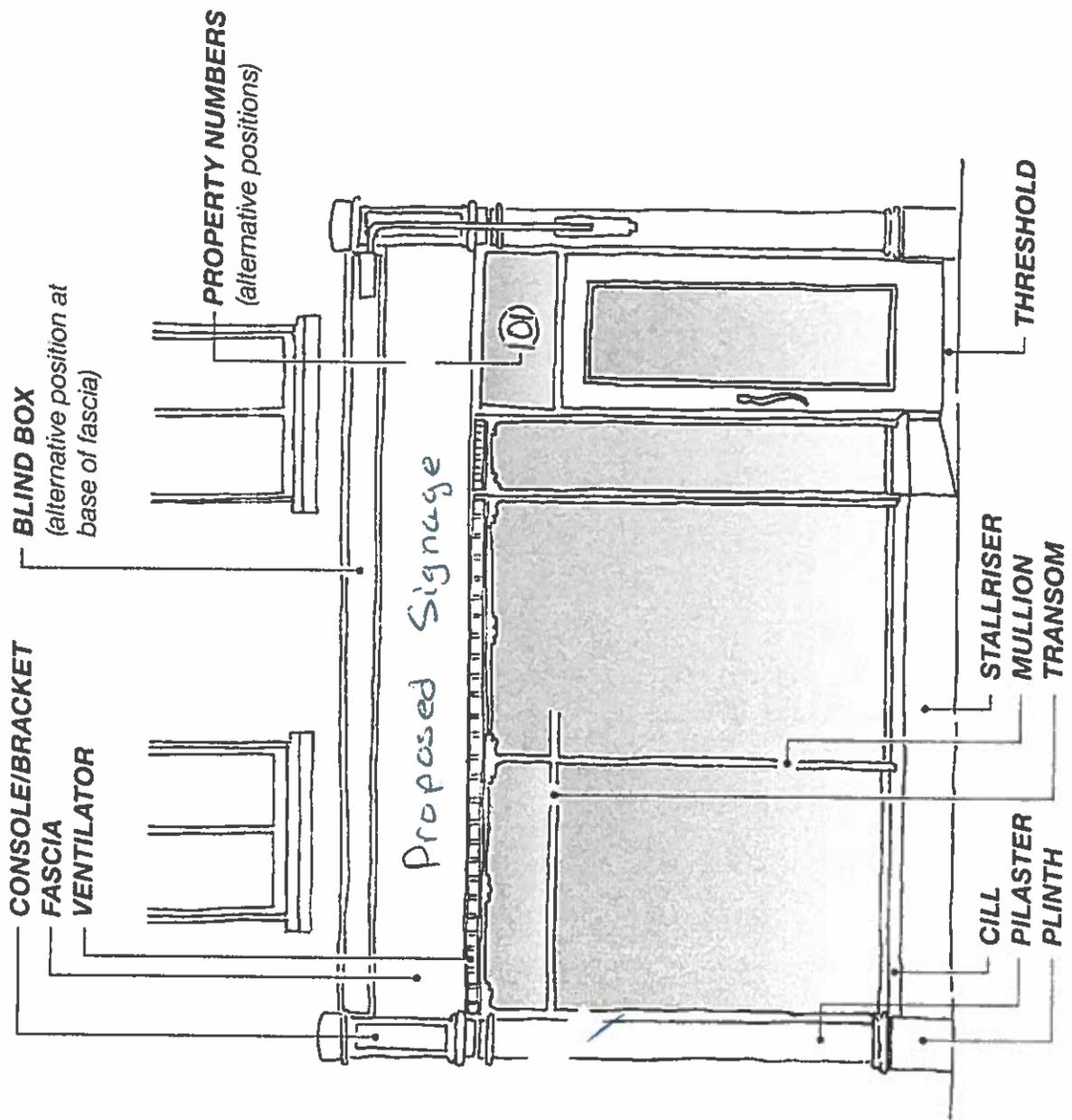
 Iglesia Pentecostal
Impacto de Dios
Rev: Abel Y Sonia Santiago / Pastore
516-543-165

Copyright Signage

①

2

rough 13" x 3 Ft.



- A swing sign: Teak Wood
- Measurement: ~~13" x 3 Ft.~~
- Attached to concrete wall
- using Simpson Strong-Tie
- THD50600HMG - Titen HD
- Concrete Screw Anchor (Galv)
- 1/2" x 6"
- Aluminum tubing frame 5'x5'
- The bottom of the Sign shall
- Be displayed 12' above the
- Above the sidewalk
- View from N. and S. Main St.
- Project: Breathe Free Group Inc.
- Signage address: 101 S. Main St.

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2024 JUN 21 P 12:37

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

9

RECEIVED

2024 JUN 27 P 12:37

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Phone 11:04

Photo

Done



Our
proposed
sign

9



Application Date: 6/28/2024
Fees Paid: \$225.00

SP# 3754

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 3 Summers Place ZONING DISTRICT Sec 55
SECTION 55 BLOCK 068 LOT 8 LOT SIZE: 8,367 sq ft
Residence Sec 55 BIK 068 Lot 8

<input checked="" type="checkbox"/> TENANT <u>APPLICANT</u>	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Theresa Wood-Addison / Curtis Addison</u>		Name: <u>Theresa Wood-Addison / Curtis Addison</u>
Address: <u>3 Summers Place</u> <u>Freeport NY 11520</u>		Address: <u>3 Summers Place</u> <u>Freeport, NY 11520</u>
Telephone #: <u>516-343-0500</u>		Telephone #: <u>516-343-0500</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: OWNER OCCUPANCY - RESIDENTIAL Proposed Land Use: RESIDENTIAL

Description of Proposed Work: 1st floor addition rear 989 Sq Ft
new 300 Sq ft deck

I request a preliminary meeting: ___ YES X NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

Curtis Addison X YES
Theresa Wood-Addison

NO
6/24/24
DATE

Sworn to before me this _____ day of _____, 20____.

Notary Public

Property Owner's Consent: I, CURTIS ADDISON am (are) the owner(s) of the subject property and consent to the filing of this application.

Curtis Addison
PROPERTY OWNER'S SIGNATURE

Sworn to before me this 6 day of 24, 2024.

Alicia E. Cooke
Notary Public

Alicia E. Cooke
Notary Public, State of New York
No. 04431497002 DATE 6/24/24
Qualified in Nassau County
Certificate on file in New York County
Commission Expires August 13th, 2024

RECEIVED
2024 JUN 28 9:43
VILLAGE OF FREEPORT
CLERK'S OFFICE

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: ___ YES ___ NO Date of Hearing: _____ Date of Decision: _____
Approved _____ Denied _____

SUBMISSION CHECKLIST

YES	NO	N/A	
_____	_____	✓	1. The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only).
_____	_____	_____	2. The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs. ?
_____	_____	_____	3. A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch: large scale ?
_____	_____	_____	a. Title of drawing, including name and address of applicant.
_____	_____	_____	b. North point, scale, and date.
_____	_____	_____	c. Boundaries of the project.
_____	_____	✓	d. Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted.
_____	_____	_____	e. Floodplain boundaries as determined by the Federal Emergency Management Agency.
_____	_____	_____	f. Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures. ?
_____	_____	_____	g. Location of outdoor storage and description of materials to be stored. ?
_____	_____	_____	h. Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private.
_____	_____	✓	i. Location and description of all proposed waterfront public access/recreation provisions.
_____	_____	_____	j. Description of sewage disposal and water supply systems and locations of such facilities.
_____	_____	✓	k. Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule.
_____	_____	✓	l. Location of all parking and loading area, internal circulation pattern, and ingress and egress drives.
_____	_____	✓	m. Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks.
_____	_____	✓	n. Location, design and size of all signs and lighting facilities.
_____	_____	✓	o. Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space.
_____	_____	_____	p. Building orientation and site design for energy efficiency and visual quality.
_____	_____	_____	q. Location and design of all energy distribution facilities, including electrical, gas, and solar energy.
_____	_____	✓	r. Description and location of erosion control measures including proposed location of sediment sink/setting pond and interceptor swales, etc..
_____	_____	✓	s. Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities.
_____	_____	✓	t. Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development. <small>for development, use of water</small>
_____	_____	_____	u. Estimated project construction schedule. <small>Estimated project construction schedule</small>
_____	_____	_____	v. Record of application for approval status of all necessary permits from federal, state and county officials. <small>Record of application for approval status of all necessary permits from federal, state and county officials</small>
_____	_____	_____	w. Identification of any federal, state or county permits required for project execution.
_____	_____	_____	x. The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter.



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER
June 12, 2024

Curtis Addison
3 Summers Place
Freeport, NY 11520

RE: 3 Summers Place, Freeport, NY 11520
Zoning District: Residence A Sec 55, Blk 068, Lot 8
Building Permit Application #20233595

Description: Proposed 1-story rear addition of 989 SqFt and new 300 SqFt deck.

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

cc: Village Clerk

ZBA Approval Needed: No

RECEIVED
2024 JUN 28 A 9:43
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20233595

Location: 3 Summers Place, Freeport, NY 11520

Applicant: Curtis Addison

Description : Proposed 1-story rear addition of 989 SqFt and new 300 SqFt deck.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: June 12, 2024

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

RECEIVED
2024 JUN 28 A 9:44
SERGIO'S OFFICE
VILLAGE OF FREEPORT, NY

DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 20233595

Filing Date September 24, 2023

Application for Erection of Buildings or Alterations

IMPORTANT -- Applicant to complete all items in sections I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) <u>3</u> (No.) <u>Summers Place</u> (Street) ZONING DISTRICT _____
	BETWEEN _____ (Cross Street) AND _____ (Cross Street)
	SECTION <u>55</u> BLOCK <u>068</u> LOT <u>0008</u> APPROX. LOT SIZE <u>155</u> X <u>60f</u> LOT AREA <u>8,360</u>

II. TYPE AND COST OF BUILDING -- All applicants complete Parts A - B.

A. TYPE OF IMPROVEMENT 1 <input type="checkbox"/> New building 2 <input checked="" type="checkbox"/> Addition-Alteration (If residential, enter number of new housing units added. If non-residential, enter <u>none</u>) 3 <input type="checkbox"/> Swimming Pool 4 <input type="checkbox"/> Repair (replacement) 5 <input type="checkbox"/> Bulkhead (New, Repair) 6 <input type="checkbox"/> Fence 7 <input type="checkbox"/> Moving (renovation)		B. PROPOSED OR EXISTING USE RESIDENTIAL 11 <input checked="" type="checkbox"/> One Family 12 <input type="checkbox"/> Two families 13 <input type="checkbox"/> Apartment - Enter No. of Units _____ 14 <input type="checkbox"/> Transient hotel, motel, or dormitory - Enter No. of Units _____ 15 <input type="checkbox"/> Garage or Accessory Structure 16 <input type="checkbox"/> Other - Specify _____ NON-RESIDENTIAL - Complete Part "E" 17 <input type="checkbox"/> Industrial 18 <input type="checkbox"/> Office, bank, professional 19 <input type="checkbox"/> Store, mercantile 20 <input type="checkbox"/> Church, other religious 21 <input type="checkbox"/> Hospital, institutional 22 <input type="checkbox"/> Other - Specify _____	
---	--	--	--

C. COST 10 TOTAL COST OF IMPROVEMENT \$ <u>292,000</u> \$ <u>292,000</u>	D. DESCRIPTION OF PROJECT first floor addition, with some modification to existing interior <u>first floor addition, with new flooring and paint in existing structure</u>
---	---

III. IDENTIFICATION -- To be completed by all applicants

NAME	MAILING ADDRESS -- Number, street, city and state, zip	TEL. NO.
1. Owner or Lessee Curtis Addison And Theresa Wood-Addison	3 Summers Place	516 548-4328
2. Contractor Great Ark Construction Co, LLC	9738 116th St 50 Richmond Hill, NY 11419	(917) 241-7627
3. Architect or Engineer Studio teka Design, LLC	68 Jay Street suite #112 Brooklyn, NY 11201	(718) 354-8602

IV. OWNER - CONTRACTOR STATEMENT Building permit is issued subject to the provisions of Section 67 of the Workmen's Compensation Law. Workmen's Compensation Certificate No. _____ Company _____ Contract or Order No. <u>Curtis Addison</u> Address <u>3 Summers Pl, Freeport NY</u> Phone <u>516-343-0508</u> State of New York County of Nassau I, <u>Theresa Wood-Addison</u> (Print) _____ (Signature) owner of the above mentioned building, that the facts of the above application and the estimated cost of said building or alteration, is correct to the best of _____ knowledge and belief and agree to conform to all applicable laws of this jurisdiction. Given to before me this <u>20</u> day of <u>September</u> , 20 <u>23</u> <u>Quinn Cook</u> (Signature) Notary Public, County of Nassau, N.Y.	V. FLOOD ZONE IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> IF YES, WHICH ZONE? _____ IS PROJECT TO REPAIR FLOOD DAMAGE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> PROJECT DESCRIPTION: Total/First Flr Square Feet <u>0</u> Upper Flr Square Feet _____ # of Fixtures _____ # of Floors _____ Occup. Type _____
--	--

VI. VALUATION (Should be filed)

Building Permit Number _____ Building Permit Issued _____ Building Permit Fee \$ _____	Approved by: _____ Superintendent of Buildings
--	---

Notary Public, State of New York
 No. 001037762
 Qualified in Nassau County
 Commission Expires August 15th, 2026

RECEIVED

617.20
Appendix B
Short Environmental Assessment Form

20233595

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Curtis and Theresa Wood-Addison			
Name of Action or Project:			
Project Location (describe, and attach a location map): <div style="text-align: center; font-size: 1.5em;">3 Summers Place</div>			
Brief Description of Proposed Action: first floor addition, with some modification to existing interior and 300 sq ft deck			
Name of Applicant or Sponsor: Curtis and Theresa Wood-Addison		Telephone: (516) 343-0500	
		E-Mail: twood1616@aol.com	
Address: <div style="text-align: center; font-size: 1.5em;">3 Summers Place</div>			
City/PO: <div style="text-align: center; font-size: 1.5em;">Freeport</div>		State: <div style="text-align: center; font-size: 1.5em;">NY</div>	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): <input type="checkbox"/> Parkland			

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	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Theresa Wosa - Addison</u>	Date: <u>12/21/20</u>	
Signature: <u>Theresa Wool-Addison</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

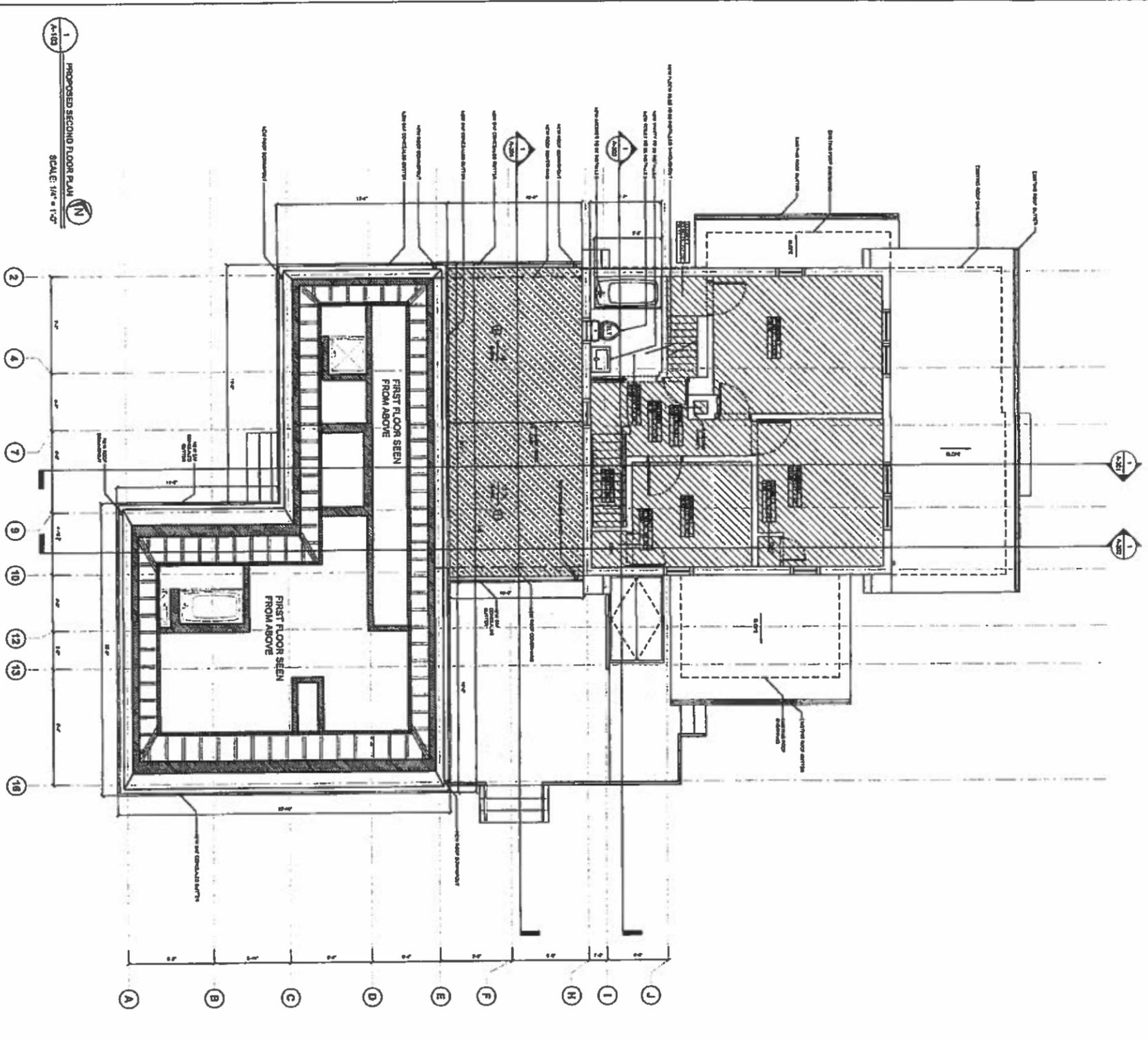
	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)



LEGEND	
	NIC
	EXISTING WALLS TO REMAIN
	EXISTING CHIMNEY TO REMAIN
	NEW WALLS TO BE BUILT
	ASP SPAN METAL ROOF
	NEW STRUCTURE ABOVE
	NEW SAFE CONCEALED ROOF CUTTER SYSTEM
	NEW ADDITION ROOF OVERHANG
	EXISTING STRUCTURE ABOVE
	EXISTING STRUCTURE BELOW
	STRUCTURAL GRID LINE
	EXISTING ROOF CUTTER SYSTEM
	EXISTING ROOF OVERHANG

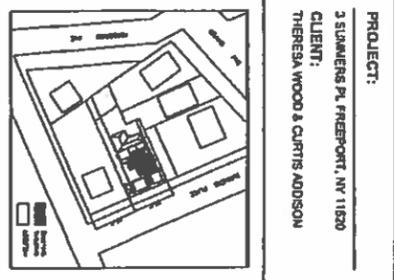
- SCOPE OF WORK**
- EXISTING WATER HEATER TO BE REPLACED BY NEW WATER HEATER.
 - NEW FLOOR JOIST TO BE INSTALLED.
 - NEW FLOOR JOIST TO BE INSTALLED.
 - PATCH OPENINGS IN FOUNDATION WALLS AS REQUIRED.
 - NEW EXTERIOR DOOR D118 TO BE INSTALLED.
 - NEW HATCHWAY TO BE INSTALLED.
 - CONNECT NEW FOOTING TO EXISTING FOUNDATION. TAKE APPROPRIATE MEASURES TO PREVENT DAMAGE TO EXISTING FOUNDATION. REFER TO STRUCTURAL DRAWING S-102.
 - NEW 2'-0" x 4'-0" POST FOOTINGS TO BE INSTALLED. REFER TO STRUCTURAL DRAWINGS S-101.
 - NEW 2'-0" x 4'-0" POST AT BASEMENT STAIR TO BE INSTALLED. REFER TO STRUCTURAL DRAWINGS S-102.
 - NEW 1'-0" x 1'-0" POST DOUBLED CML WALLS AT BASEMENT STAIR TO BE INSTALLED. REFER TO STRUCTURAL DRAWINGS S-102.
 - NEW 1'-0" x 1'-0" POST FOOTINGS TO BE INSTALLED. REFER TO STRUCTURAL DRAWINGS S-102.
 - NEW 8" CMU FOUNDATION WALL TO BE INSTALLED. REFER TO STRUCTURAL DRAWINGS S-102.
 - NEW 2'-0" WIDE CONTINUOUS FOOTING TO BE INSTALLED. REFER TO STRUCTURAL DRAWINGS S-102.

CONSTRUCTION NOTES

ADD NEW SHOWER, VANITY, TOILET, AND NEW FLOOR TILES THROUGHOUT BATHROOM 2.

EXISTING BEDROOMS ON SECOND FLOOR IN EXISTING HOUSE TO REMAIN.

EXISTING STAIRCASES TO ATTIC AND FIRST FLOOR TO REMAIN.



PROJECT:
 3 SUMMERS PL FREEPORT, NY 11520
CLIENT:
 THERESA WOOD & CURTIS ADDISON

ARCHITECT:
 STUDIOEKA DESIGN, LLC
 69 AVENUE STREET, SUITE 412
 FREEPORT, NY 11520
 TEL: 516-344-0000
 FAX: 516-344-0000

ENGINEER:
 LISA WIRPFLINGER
 17824 WHITMAN PI N
 SHORELINE, WA 98133
 TEL: 425-844-4444

REVISIONS:

NUMBER DATE DESCRIPTION

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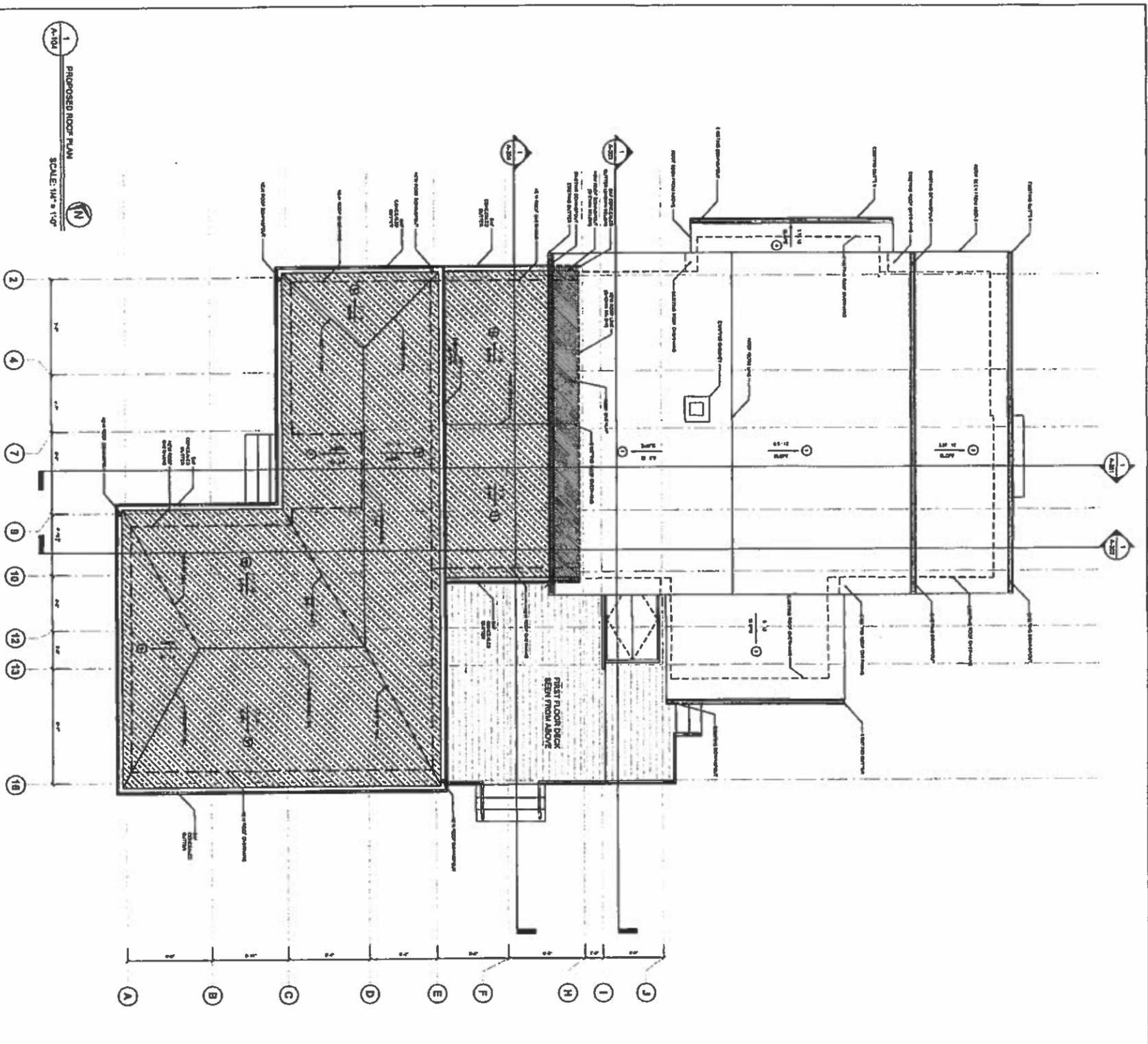


DRAWING NAME:
 PROPOSED SECOND FLOOR PLAN

JOB NUMBER: TBD
SCALE: 1/4" = 1'-0"
DATE: 06/18/2024
DRAWN BY: A.K.
CHECKED BY: V.K.

DRAWING NUMBER:
A-103.00
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1 PROPOSED ROOF PLAN
A-104 SCALE: 1/4" = 1'-0"

LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING FOUNDATION WALL TO REMAIN
	NEW WALL TO BE BUILT
	NEW FOUNDATION WALL TO BE BUILT
	FLOOR JOIST TO BE REPAIRED
	NIC
	ROOF OVERHANG AREA
	AEP SPAN METAL ROOF
	SECTION CUT LINE
	EXISTING WALL SIDING TO BE DEMOLISHED
	STRUCTURE ABOVE
	STRUCTURE BELOW
	STRUCTURAL GRID LINE
	SAP CONCEALED ROOF GUTTER SYSTEM
	EXISTING ROOF GUTTER SYSTEM
	EXISTING ROOF OVERHANG
	ADDITION ROOF OVERHANG

CONSTRUCTION NOTES

ADD NEW MASTER BEDROOM, ADD NEW SITTING SHOWER, DUAL SINK, TOILET, AND TUB IN NEW MASTER BATHROOM.

INSTALL NEW DOUBLE GLASS PANO DOOR TO SEPARATE FAMILY ROOM FROM NEW EXTENSION DECK.

ADD NEW FAMILY ROOM WITH PARTIALLY EXPOSED CEILING JOISTS.

ADD NEW LAUNDRY ROOM WITH STACKABLE WASHER/DRYER, ADD NEW POWDER ROOM WITH SHOWER, SINK AND TOILET.

ENLARGE EXISTING KITCHEN, REPLACE EXISTING KITCHEN FLOORING.

INSTALL NEW BAMBOO FLOORING THROUGHOUT ADDITION.

EXISTING FOUNDATION WALL LOCATED UNDER THE PORTION OF THE EXISTING SOUTH WALL BETWEEN GRID LINE C AND E, GRID LINE 2-7 THAT IS BEING DEMOLISHED, TO REMAIN.

STRUCTURE NOTES

NEW BEAM ACROSS ENLARGED OPENING BETWEEN EXISTING SOUTH WALL AND WEST WALL OF THE HOUSE AT GRID LINE 2-11 IS 1'-7" x 8'-1" 2X TIMBERSTRAND LVL.

FOUNDATION WALL IS TO BE LAID SO THAT EXTENSION SIDE OF THE WALL ON TOP OF FT LINES UP WITH THE EXTENSION FACE OF THE EXISTING WALL.

PROJECT:
3 QUINNERS PL FREEPORT, NY 11530

CLIENT:
THERESA WOOD & CURTIS ADDISON

ARCHITECT:
STUDIOATEKA DESIGN, LLC
66 JAY STREET, SUITE 412
FREEPORT, NY 11530
TEL: 516-354-4400
FAX: 516-354-4400

ENGINEER:
LSA WIPPLINGER
15824 WHITMAN PL N
SHORELINE, WA 98133
TEL: 425-744-4400

REVISIONS:

NUMBER: DATE: DESCRIPTION:

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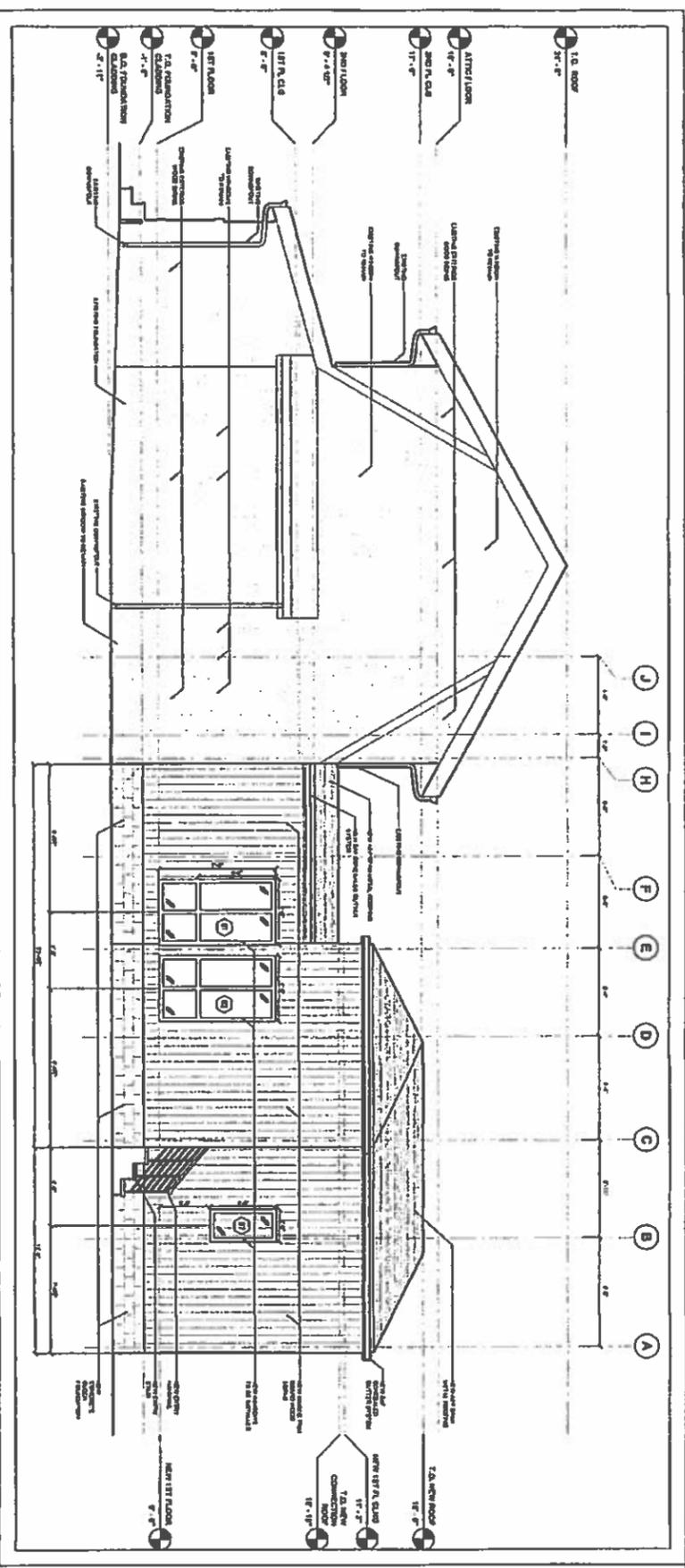
DRAWING NAME:
PROPOSED ROOF PLAN

JOB NUMBER: 190
SCALE: 1/4" = 1'-0"
DATE: 06/18/2024
DRAWN BY: A.H.
CHECKED BY: V.K.

DRAWING NUMBER:
A-104.00

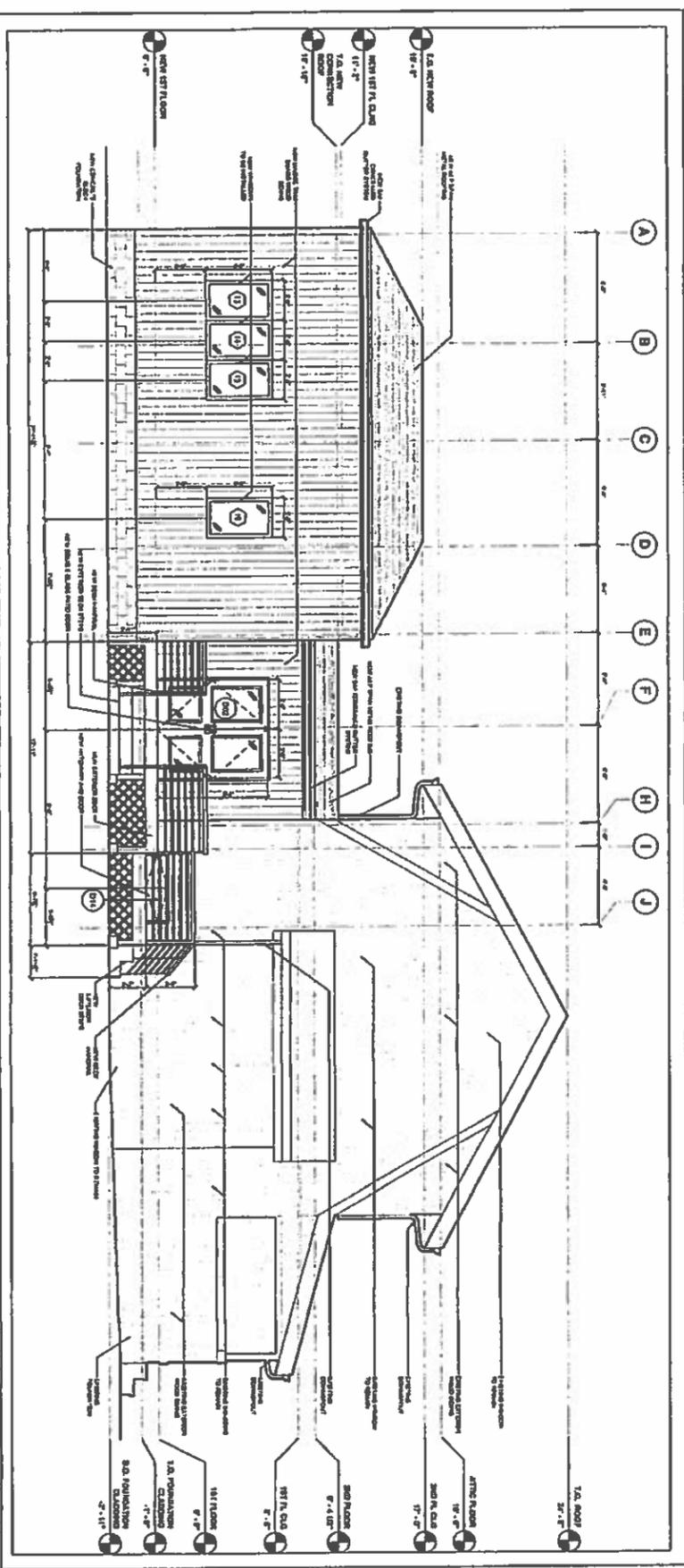
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1 PROPOSED NORTH ELEVATION
A-201

SCALE: 1/8" = 1'-0"



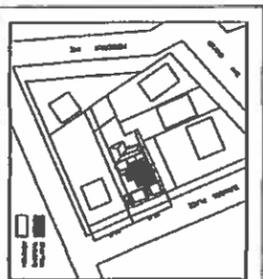
2 PROPOSED SOUTH ELEVATION
A-201

SCALE: 1/8" = 1'-0"

Rear
West side

Side
North side

PROJECT:
3 SUMMERS PL. FREEPORT, NY 11520
CLIENT:
THERESA WOOD & CURTIS ADDISON



ARCHITECT:
STUDIOYERKA DESIGN, LLC
69 JAY STREET, SUITE 412
ROCKY HILL, CT 06151
TEL: (860) 241-4000
FAX: (860) 241-4001

ENGINEER:
LISA WIRPFLINGER
17922 WIRTHMAN PL. N
SHORELINE, WA 98153
TEL: (206) 344-4000

REVISIONS:
NUMBER DATE DESCRIPTION:

NOTES:



DRAWING NAME:
PROPOSED NORTH AND
SOUTH ELEVATIONS

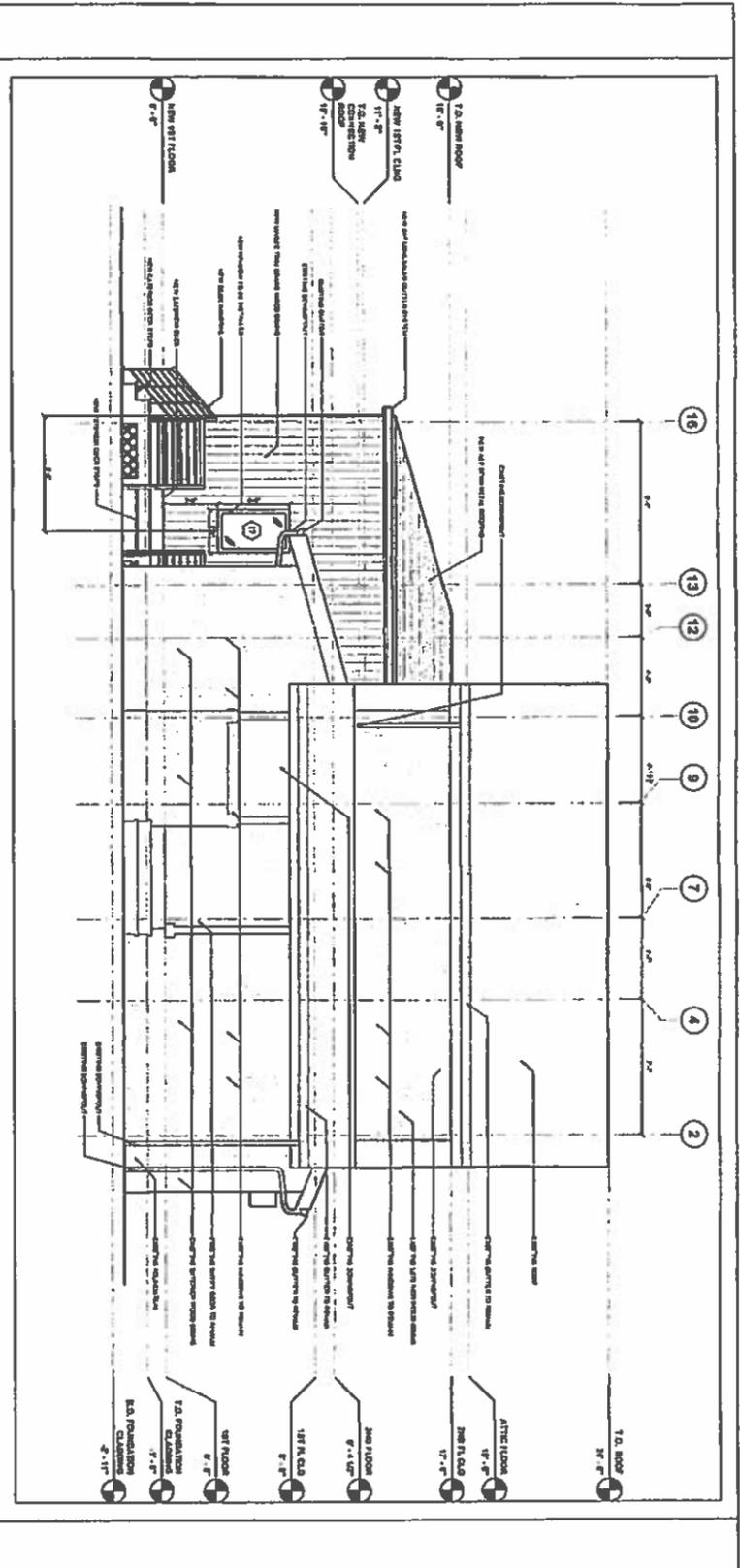
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SCALE: 1/8" = 1'-0"
DATE: 06/18/2024
DRAWN BY: AX
CHECKED BY: VK

DRAWING NUMBER:

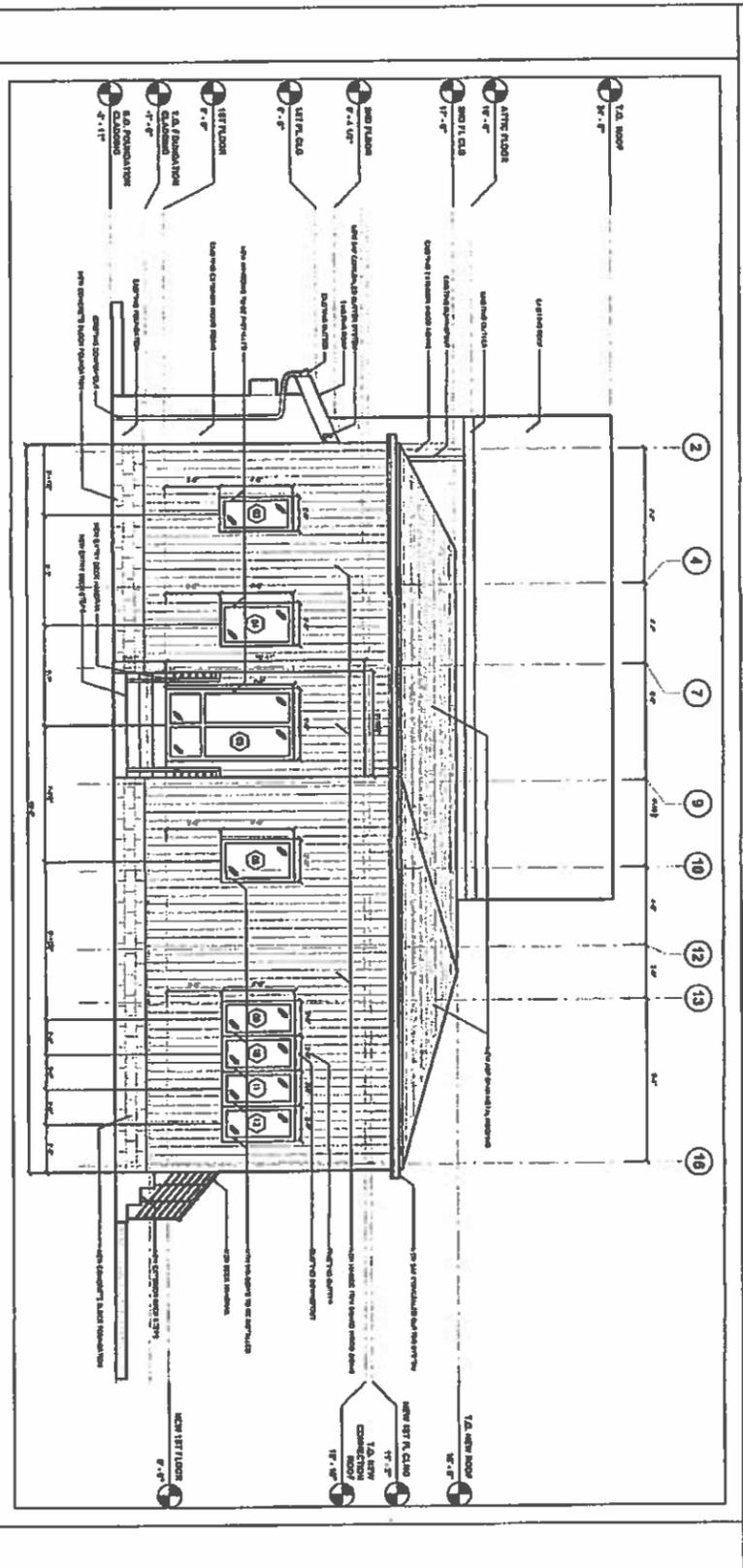
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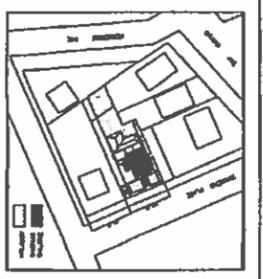


1 PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"

PROJECT:
3 SUMMERS PL FREEPORT, NY 11520
CLIENT:
THERESA WOOD & CURTIS ADDISON



ARCHITECT:
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88 JAY STREET, SUITE 412
BROOKLYN, NY 11218
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FAX: (718) 344-4423

ENGINEER:
LISA WHITPLINGER
19628 WHITMAN PL N
SHORELINE, WA 98133
TEL: (206) 344-4422

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NUMBER: DATE: DESCRIPTION:

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DRAWING NAME:
PROPOSED EAST AND
WEST ELEVATIONS

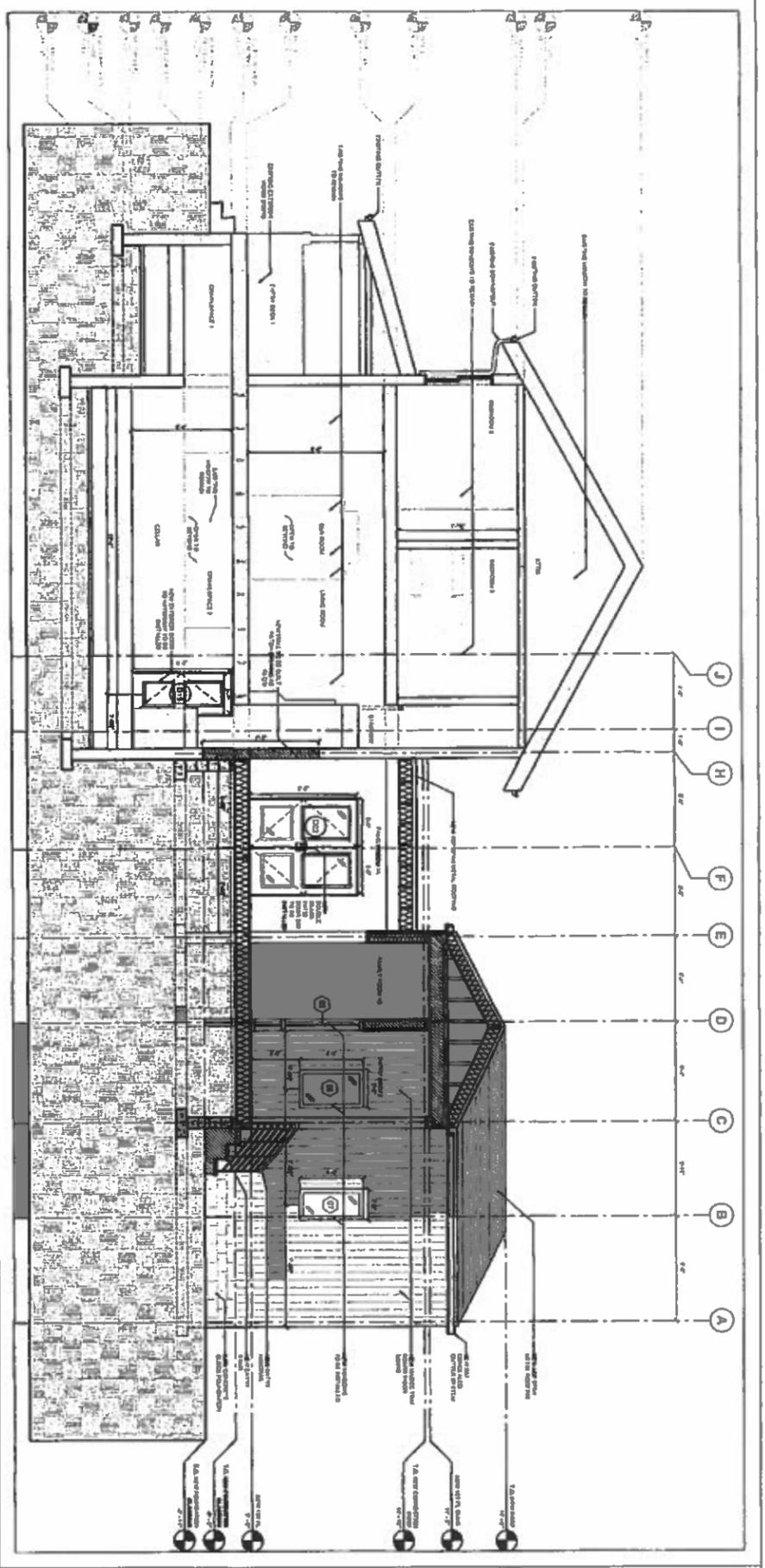
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SCALE: 1/8" = 1'-0"
DATE: 09/18/2024
DRAWN BY: AH
CHECKED BY: VK
DRAWING NUMBER:

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1 PROPOSED NORTH SECTION
A-301
SCALE: 1/4" = 1'-0"

LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING FOUNDATION WALL
	NEW WALL TO BE BUILT
	NEW FOUNDATION WALL TO BE BUILT
	NEW FOUNDATION WALL TO BE BUILT
	STRUCTURE BELOW TO BE DEMOLISHED

PROJECT:
3 SUMMERS PL. FREEPORT, NY 11520

CLIENT:
THERESA WOOD & CURTIS ADDISON

ARCHITECT:
STUDNOTEKA DESIGN, LLC
64 JAY STREET, SUITE 412
SHROOKTON, NY 11301
TEL: 716-344-4003
FAX: 716-344-4002

ENGINEER:
LISA WHITTINGER
19928 WHITMAN PL. N
SHORELINE, WA 98133
TEL: 877-544-8801

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NEW YORK

DRAWING NAME:
PROPOSED NORTH SECTION

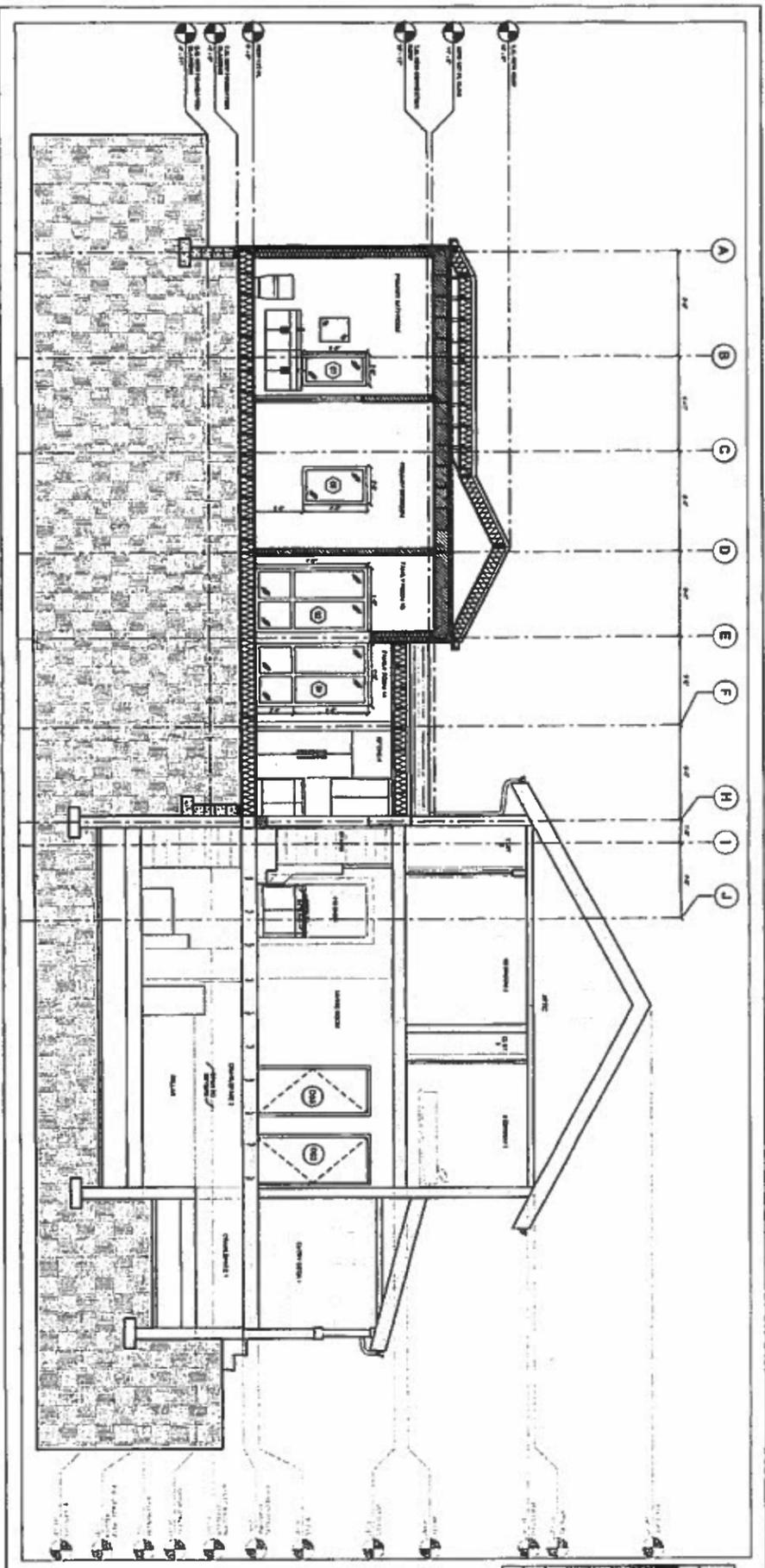
JOB NUMBER: TBD
SCALE: 1/4" = 1'-0"
DATE: 08/18/2024
DRAWN BY: AH
CHECKED BY: VK

DRAWING NUMBER:

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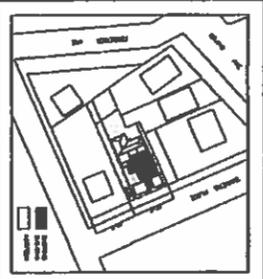


1 PROPOSED SOUTH SECTION
AS02

SCALE: 1/4" = 1'-0"

PROPOSED MATERIALS	
	EXISTING WALL TO REMAIN
	EXISTING FOUNDATION WALL
	EXISTING WALL TO BE DEMOLISHED
	NEW WALL TO BE BUILT
	NEW FOUNDATION WALL TO BE BUILT
	NEW FLOOR TO BE BUILT
	STRUCTURE ABOVE
	STRUCTURE BELOW
	STRUCTURE TO BE DEMOLISHED

PROJECT:
2 SQUARES PL. FREEPORT, NY 11520
CLIENT:
THERESA WOOD & CURTIS ADDRESS



ARCHITECT:
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BROOKLYN, NY 11201
TEL: 718-344-0000
FAX: 718-344-0000

ENGINEER:
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SHORELINE, WA 98133
TEL: 425-344-4400

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NUMBER DATE DESCRIPTION

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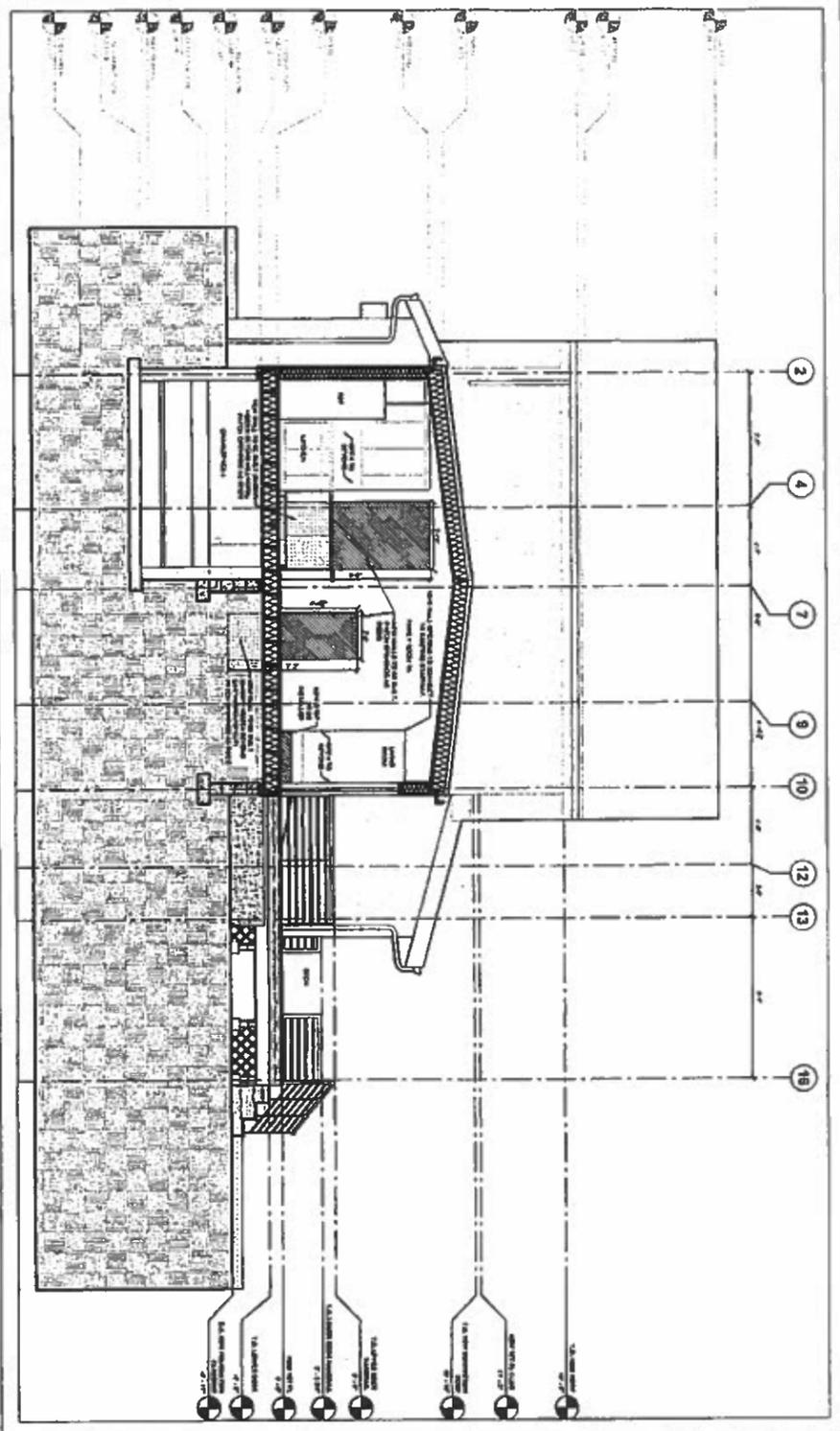


DRAWING NAME:
PROPOSED SOUTH SECTION

JOB NUMBER: TBD
SCALE: 1/4" = 1'-0"
DATE: 06/18/2024
DRAWN BY: AH
CHECKED BY: VK

DRAWING NUMBER:
A-302.00
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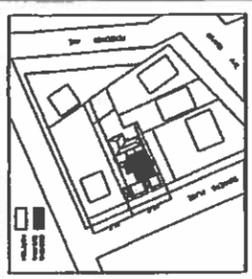
1 PROPOSED WEST SECTION
AS SHOWN



SCALE: 1/8" = 1'-0"

PROPOSED LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING FOUNDATION WALL
	EXISTING WALL TO BE DEMOLISHED
	NEW WALL TO BE BUILT
	NEW FOUNDATION WALL TO BE BUILT
	NEW FLOOR TO BE BUILT
	STRUCTURE BELOW
	STRUCTURE TO BE DEMOLISHED

PROJECT:
3 SUMMERS PL FREEPORT, NY 11520
CLIENT:
THERESA WOOD & CURTIS ADDISON



ARCHITECT:
STUDIO/TEKA DESIGN, LLC
88 JAY STREET, SUITE 412
BROOKLYN, NY 11201
TEL: (718) 242-4222
FAX: (718) 242-4222

ENGINEER:
LISA WIPPLINGER
17303 WHITMAN PL N
SHOENESIDE, VA 22133
TEL: (478) 242-4222

REVISIONS:
NUMBER DATE DESCRIPTION

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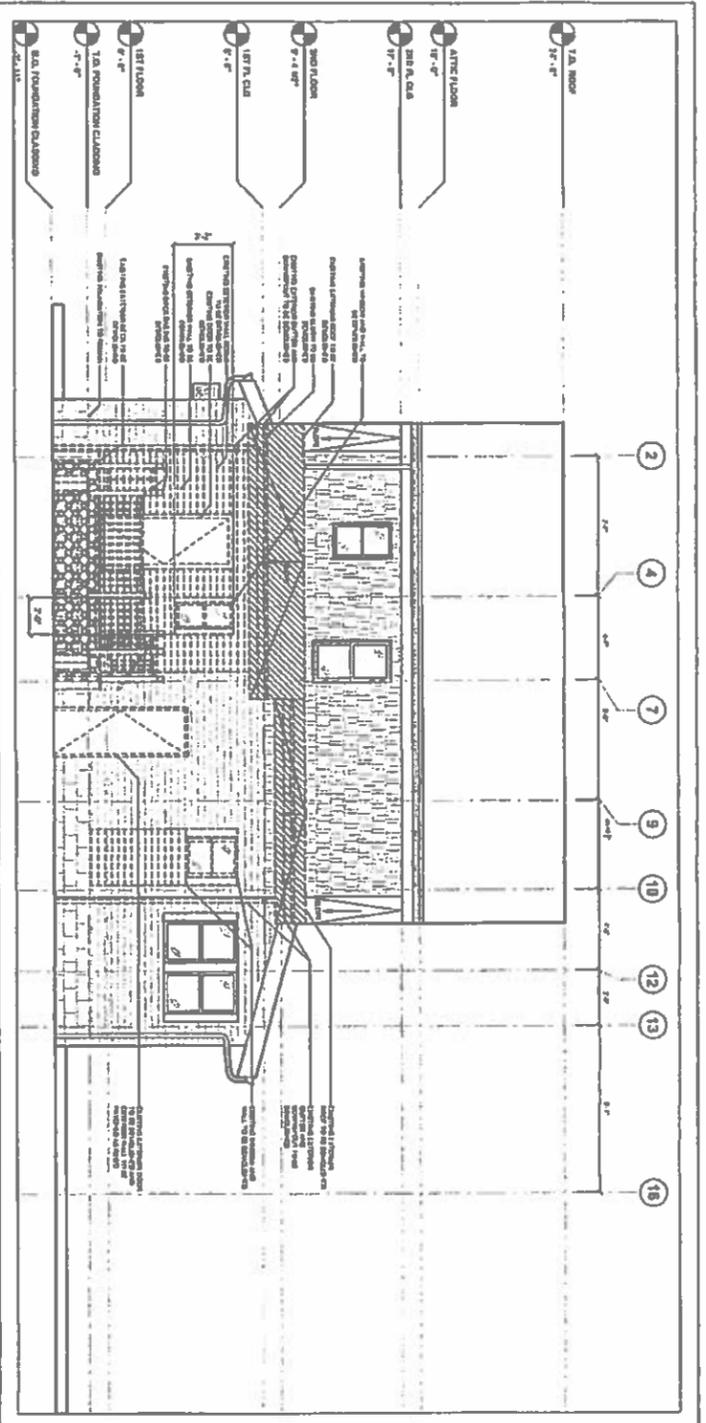


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PROPOSED WEST SECTION 02

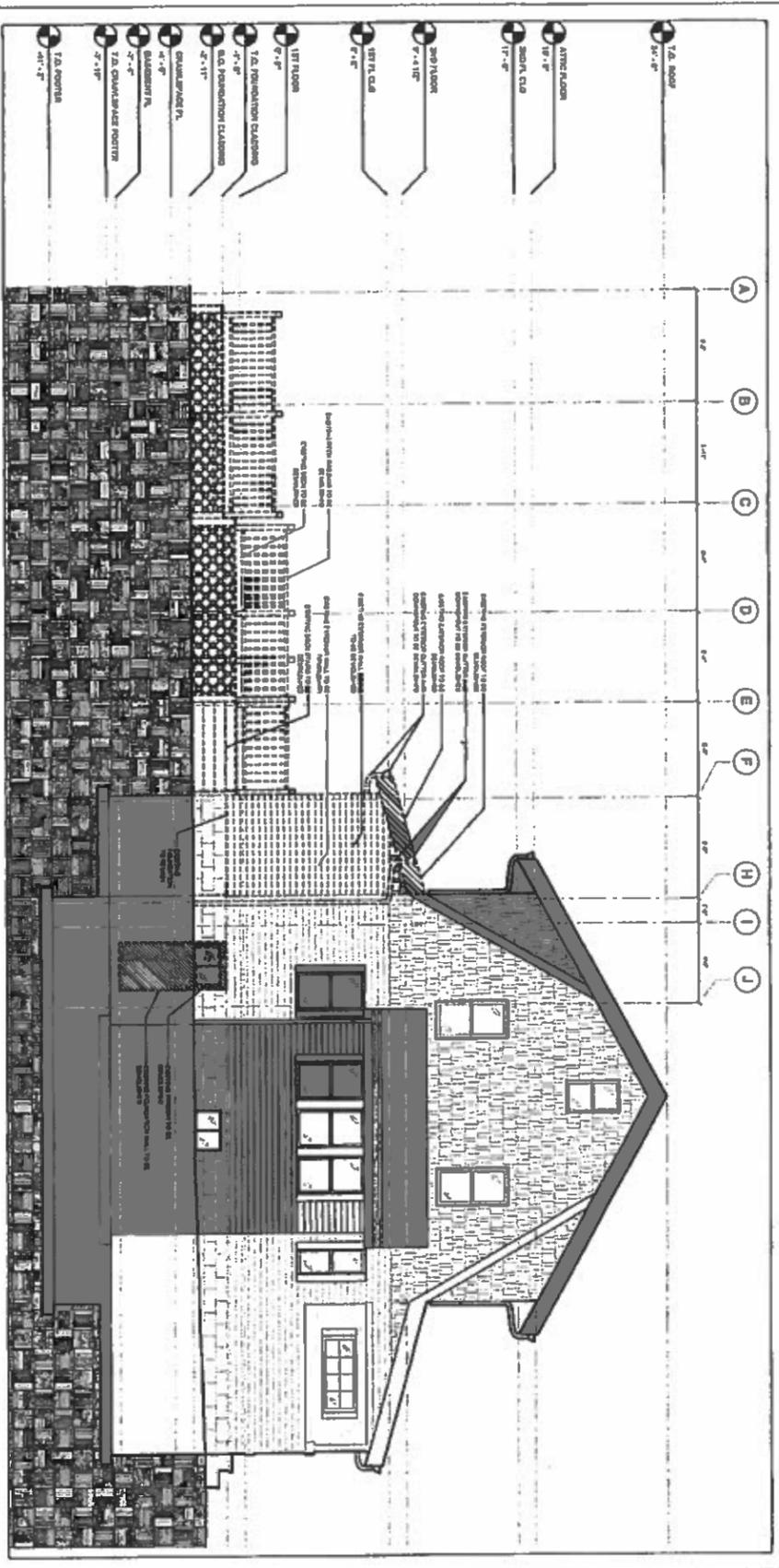
JOB NUMBER: 780
SCALE: 1/8" = 1'-0"
DATE: 06/16/2024
DRAWN BY: A.H.
CHECKED BY: V.K.

DRAWING NUMBER:
A-304.00
SHEET 20 OF 31

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1 WEST ELEVATION DEMOLITION
DM-201
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION DEMOLITION
DM-201
SCALE: 1/4" = 1'-0"

*Front
east side*

*Side
South side*

LEGEND	
	EXISTING WALL TO BE REMOVED
	EXISTING FOUNDATION WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	NEW WALL TO BE BUILT
	NEW FOUNDATION WALL TO BE BUILT
	FLOOR AREA TO BE REMOVED
	NEW FLOOR AREA TO BE ADDED
	EXISTING WALL TO BE DEMOLISHED
	STRUCTURAL MASONRY
	STRUCTURAL STEEL
	STRUCTURAL STEEL BEAM
	MASONRY OVER ADDITION TO BE DEMOLISHED

PROJECT:
3 SQUARES PL. FREEPORT, NY 11520

CLIENT:
THERESA WOOD & CURTIS ADDISON

ARCHITECT:
STUDIO/TEKA DESIGN, LLC
48 JAY STREET, SUITE 412
FREEPORT, NY 11520
TEL: (716) 244-0001
FAX: (716) 244-0003

ENGINEER:
LISA WHITPLINGER
1982A WHITMAN PL. N
SHORELINE, WA 98133
TEL: (206) 441-4200

REVISIONS:
NUMBER: DATE: DESCRIPTION:

NOTES:
2024 JUN 28 A 9:45
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

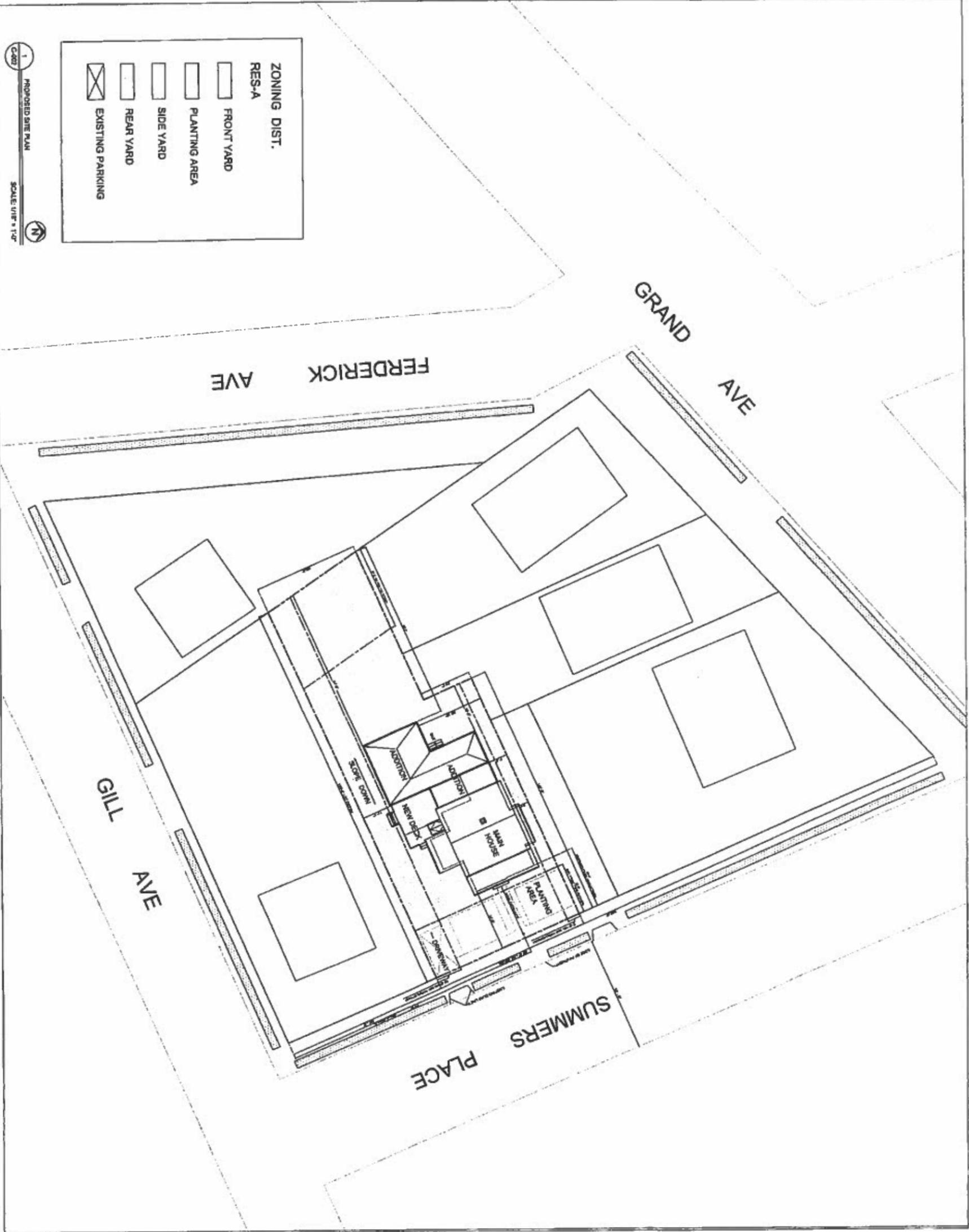
DRAWING NAME:
DEMOLITION WEST & SOUTH ELEVATIONS

JOB NUMBER: 780
SCALE: 1/4" = 1'-0"
DATE: 06/18/2024
DRAWN BY: AH
CHECKED BY: VK

DRAWING NUMBER:
DM-201.00

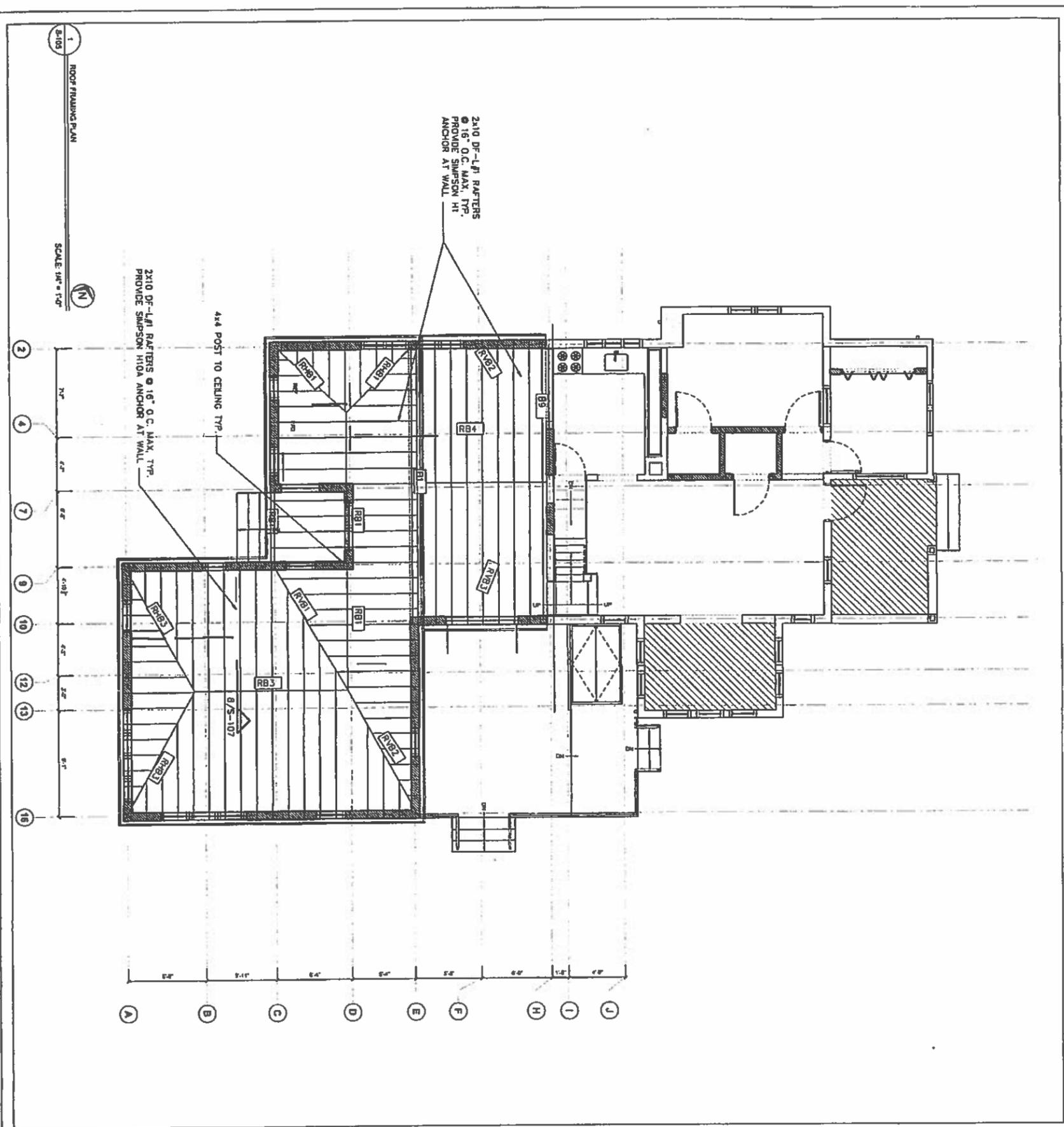
SHEET 10 OF 31

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PROJECT: 3 SUMMERS PL. FREEPORT, NY 11520 CLIENT: THERESA WOOD & CURTIS ANDERSON		
ARCHITECT: STUDIO/TEKA DESIGN, LLC 66 JAY STREET, SUITE 412 BROOKLYN, NY 11211 TEL: 718.348.8888 FAX: 718.348.8888		
ENGINEER: LISA WIPPLINGER 15808 WHITMAN PL. N SHORELINE, WA 98132 TEL: 206.295.4444		REVISIONS: NUMBER DATE DESCRIPTION
NOTES: 2024-JUN 28 - A CLERK'S OFFICE VILLAGE OF FREEPORT, NY		
DRAWING NAME: PROPOSED SITE PLAN		
JOB NUMBER: 180 SCALE: 1/8" = 1'-0" DATE: 06/27/24 DRAWN BY: A.K. CHECKED BY: V.K. DRAWING NUMBER:		
G-002.00 SHEET 02 OF 31		

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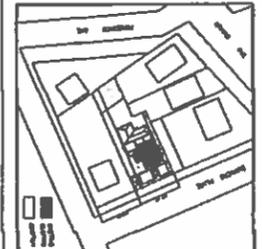
1
ROOF FRAMING PLAN
SCALE: 3/8" = 1'-0"

2x10 DF-LFI RAFTERS @ 16" O.C. MAX. TYP.
PROVIDE SIMPSON H104 ANCHOR AT WALL.

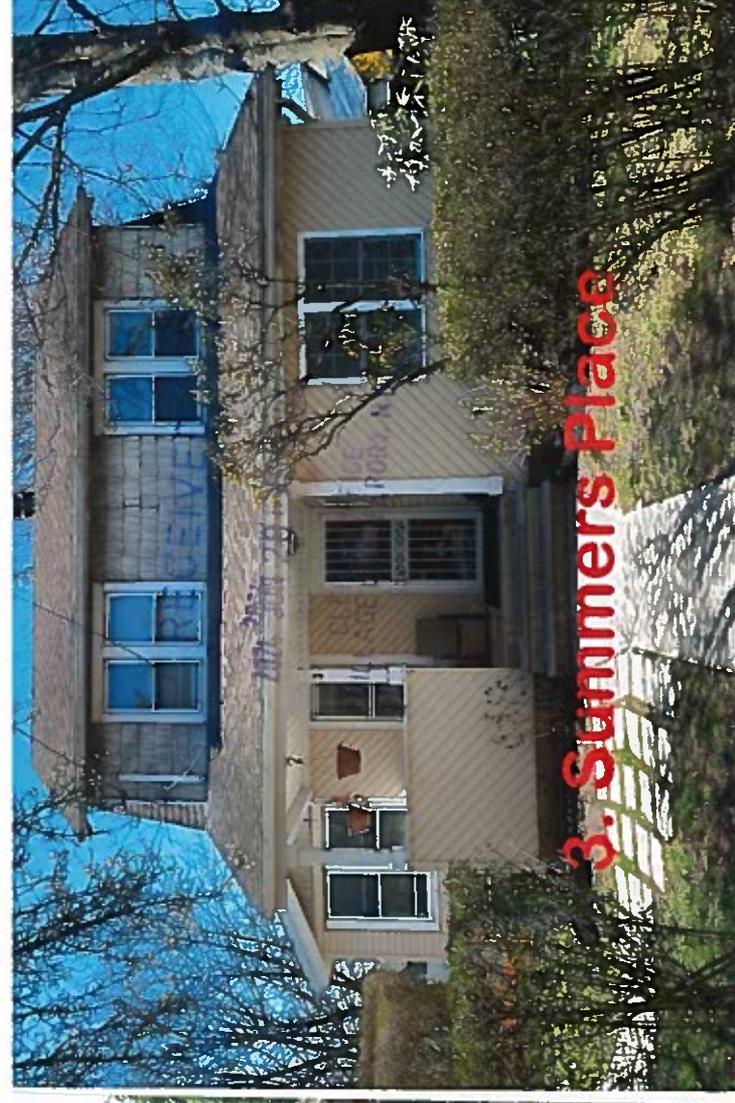
2x10 DF-LFI RAFTERS
@ 16" O.C. MAX. TYP.
PROVIDE SIMPSON H1
ANCHOR AT WALL.

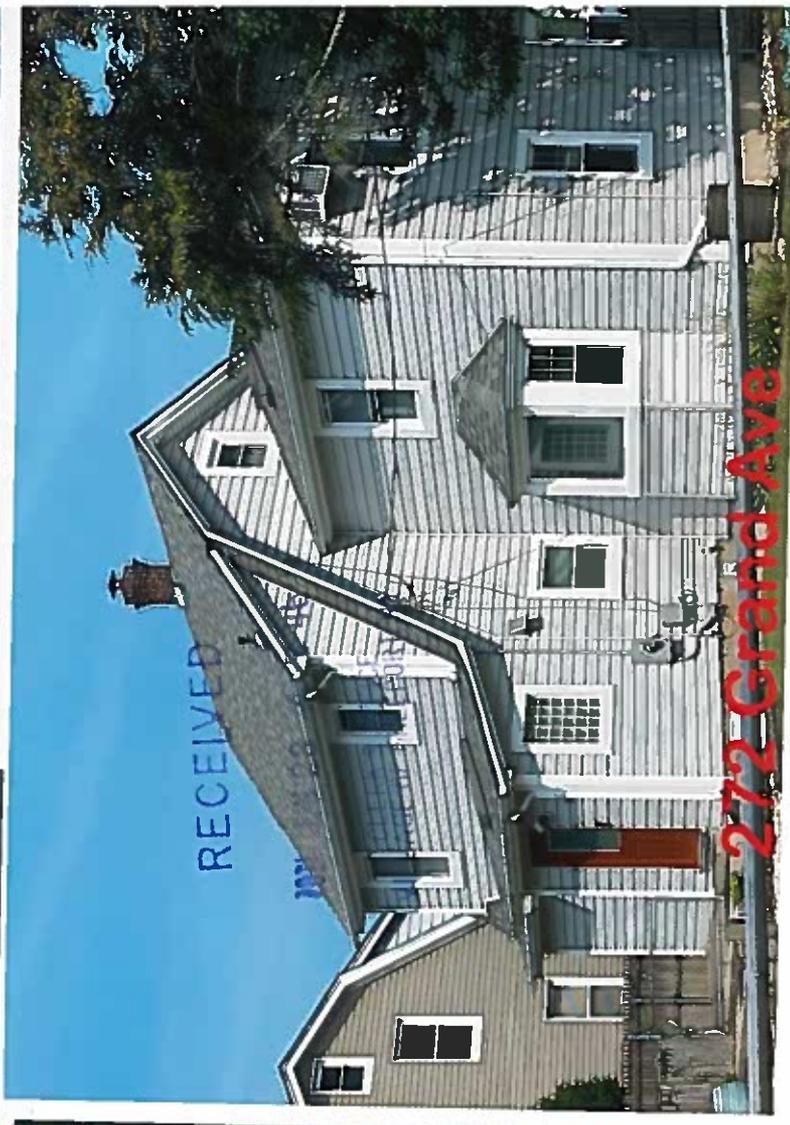
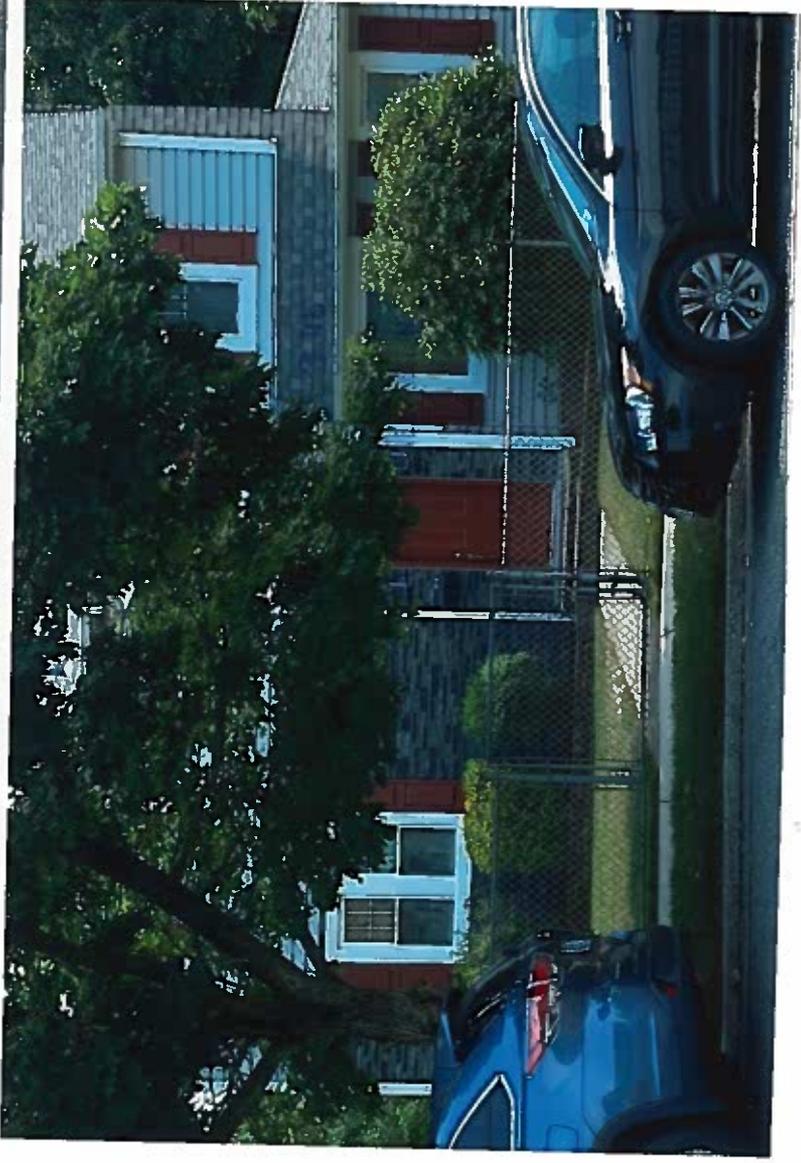
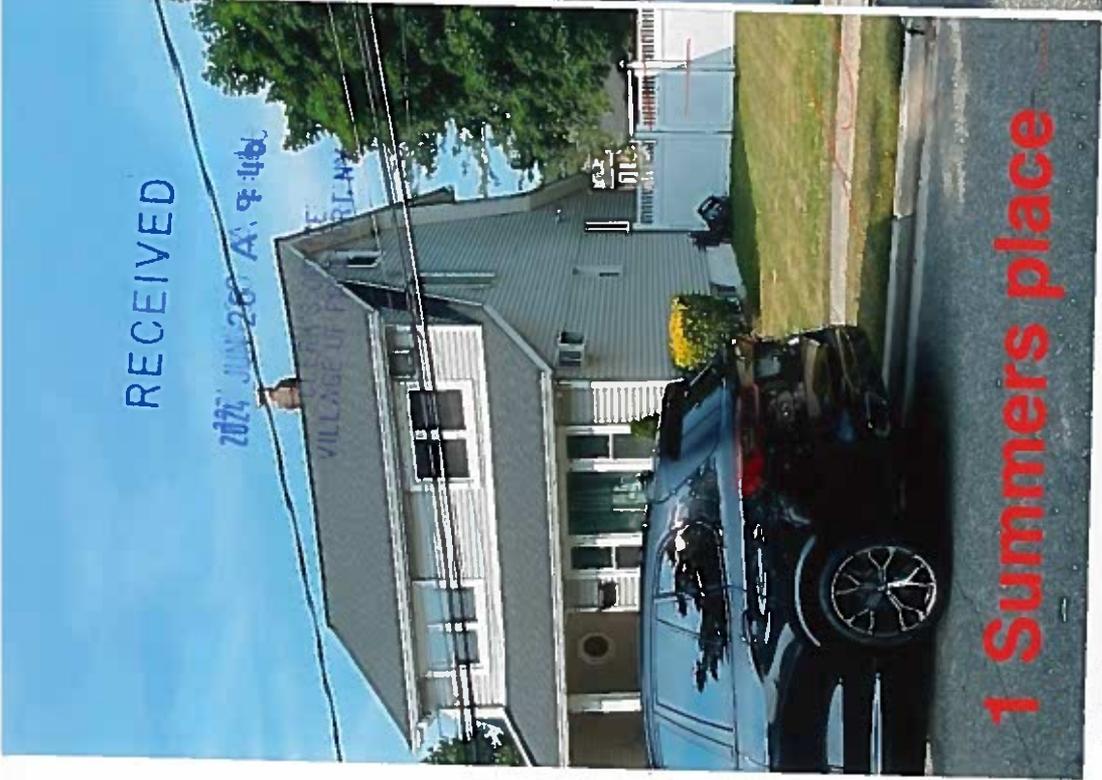
4x4 POST TO CEILING TYP.

B/S-107

PROJECT: 3 SUMMERS PL. FREDPORT, NY 11829	
CLIENT: THERESA WOOD & CURTIS ASSOCIATES	
	
ARCHITECT: STUDIO/TEMA DESIGN, LLC 88 JAY STREET, SUITE 412 BROOKLYN, NY 11201 TEL: 718-524-8888 FAX: 718-524-4888	
ENGINEER: LISA WIPPLINGER 199528 WHITMAN PL, N SHORELINE, WA 98133 TEL: 425-344-4444	
REVISIONS: NUMBER DATE DESCRIPTION	
NOTES: RECEIVED 2024 JUN 28 A 9:45 CLERK'S OFFICE VILLAGE OF FREDPORT, NY	
DRAWING NAME: ROOF FRAMING PLAN	
JOB NUMBER: TBD SCALE: 1/8" = 1'-0" DATE: 05/01/2024 DRAWN BY: AH CHECKED BY: VJK	
DRAWING NUMBER: S-105.00	
SHEET 29 OF 31	







Application Date: 7/9/24
Fees Paid: \$225.00

SP# 3755

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 82 N. Bayview Ave ZONING DISTRICT Residence A
SECTION 54 BLOCK 067 LOT 1 LOT SIZE: _____

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	<input type="checkbox"/> PROPERTY OWNER
Name: <u>Steve + Alecia Mahabier</u>			Name: <u>Steve + Alecia Mahabier</u>
Address: <u>82 N. Bayview Ave</u> <u>Freeport NY 11520</u>			Address: <u>82 N. Bayview Ave</u> <u>Freeport NY 11520</u>
Telephone #: <u>718-551-4761</u>			Telephone #: <u>718-551-4761</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: Proposed new 1st fl. 129 SF, 2nd fl 578 SF
and porcho 51 SF

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
 YES _____ NO

[Signature]
APPLICANT'S SIGNATURE
Sworn to before me this 28th
day of June, 2024.

Tara Colletti
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01C06309284
Qualified in Nassau County
Commission Expires 10/14/2026

6/28/2024
DATE

[Signature]
Notary Public

Property Owner's Consent:
I, Steve Mahabier am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 28th
day of June, 2024.

Tara Colletti
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01C06309284
Qualified in Nassau County
Commission Expires 10/14/2026

6/28/2024
DATE

[Signature]
Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____

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VILLAGE OF FREEPORT, NY

NEW YORK 6/28/2024
DATE

NEW YORK
01C06309284
Nassau County
10/14/2026



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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER

June 24, 2024

Steve & Alecia Mahabier
82 N Bayview Ave
Freeport, NY 11520

RE: 82 N Bayview Ave Freeport, NY
Zoning District – Residence A Sec. 54 Blk. 067, Lot 1
Building Permit Application #20243678
Description: Proposed new 1st floor 129 SF, 2nd floor 578 SF and portico 51 SF.

Dear Ms.

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-3632.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez
cc: Village Clerk

ZBA Approval Needed: NO

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

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Notice

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VILLAGE OF FREEPORT, NY

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

Building Permit App. 20243678

Location: 82 N Bayview Ave, Freeport NY 11520

Applicant: Steve & Alecia Mahabier

Description: Proposed new 1st floor 129 SF, 2nd floor 578 SF and portico 51 SF.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: June 12, 2023

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

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Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: MANABLER RENOVATION			
Project Location (describe, and attach a location map): 82 n. Bayview ave Freeport ny 11520			
Brief Description of Proposed Action: extension and damel renovation, as per plans			
Name of Applicant or Sponsor: BEN JACKSON		Telephone: 516-623-2945	
		E-Mail: office @ B6CCorp.com	
Address: 19 Suffolk St			
City/PO: Free Port		State: ny	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

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	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing, built or natural landscape? <i>VILLAGE OF FREEPORT, NY</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: <i>meets</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>Ben Jackson</u> Date: <u>5/22/2024</u> Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

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VILLAGE OF FINE COUNTRY

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

Front of 82 N Bayview ave



Across from 82 N Bayview

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East side of 82 N Bayview



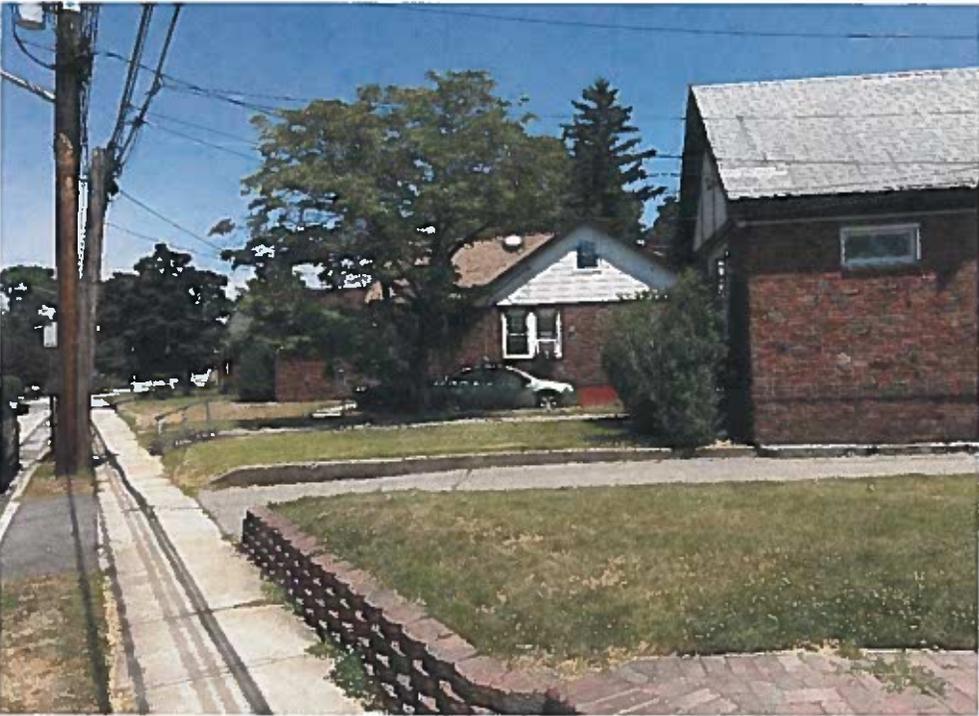
West side of house

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Front of house, facing east



Front of house, facing West

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North side of house



South side of house

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Facing North



Facing south

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Roofing and Siding to Match House

Roofing: Timberline HD- Barkwood

Siding: Beige vinyl siding

All trim: White



Brick to remain on right hand side, Vinyl Siding on Left

Stoop Stone

Face of stoop in stone

Mountain Ledge Charleston



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Windows

White Andersen 400 Series Casement Windows



COLUMNS

8" Round HB& G Columns



KITCHEN

Kitchen Cabinets and Backsplash

Countertops

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Table R403.1

TABLE R403.1	TABLE R403.1
CONCRETE	1
STEEL	2
WOOD	3
GLASS	4
MECHANICAL	5
ELECTRICAL	6
PLUMBING	7
HEATING	8
Cooling	9
Other	10

Table 3.3A **Roof and/or Ceiling Joist to Top Flange Lateral and Slender Connection Requirements**
(Project Form A1-5, Table 3.3A)

Roof and/or Ceiling Joist to Top Flange Lateral and Slender Connection Requirements	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20
1. Lateral Resistance	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
2. Slender Connection	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0

Table 3.3B **Roof and/or Ceiling Joist to Top Flange Lateral and Slender Connection Requirements**
(Project Form A1-5, Table 3.3B)

Roof and/or Ceiling Joist to Top Flange Lateral and Slender Connection Requirements	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20
1. Lateral Resistance	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
2. Slender Connection	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0

Table 3.3C **Roof and/or Ceiling Joist to Top Flange Lateral and Slender Connection Requirements**
(Project Form A1-5, Table 3.3C)

Roof and/or Ceiling Joist to Top Flange Lateral and Slender Connection Requirements	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20
1. Lateral Resistance	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
2. Slender Connection	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0

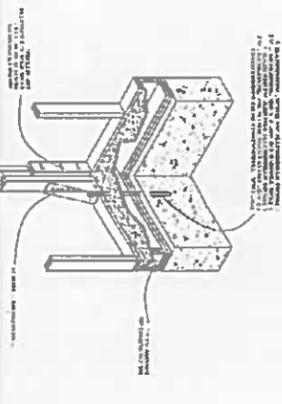


Table 3.3D **Roof and/or Ceiling Joist to Top Flange Lateral and Slender Connection Requirements**
(Project Form A1-5, Table 3.3D)

Roof and/or Ceiling Joist to Top Flange Lateral and Slender Connection Requirements	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20
1. Lateral Resistance	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
2. Slender Connection	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0

Table 3.3E **Roof and/or Ceiling Joist to Top Flange Lateral and Slender Connection Requirements**
(Project Form A1-5, Table 3.3E)

Roof and/or Ceiling Joist to Top Flange Lateral and Slender Connection Requirements	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20
1. Lateral Resistance	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
2. Slender Connection	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0

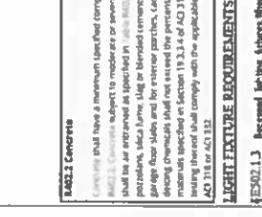
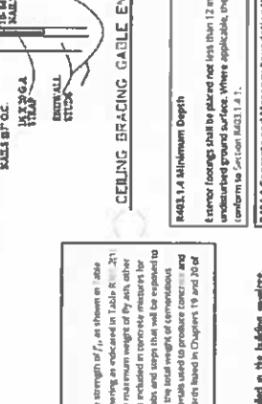
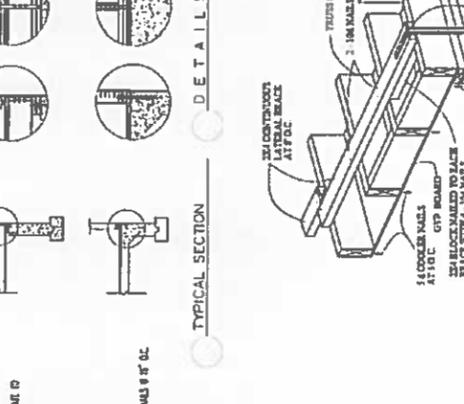
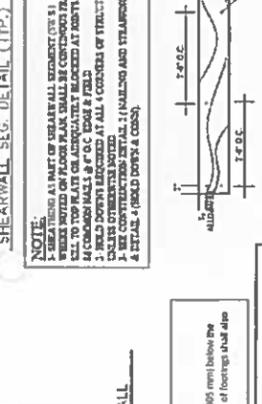
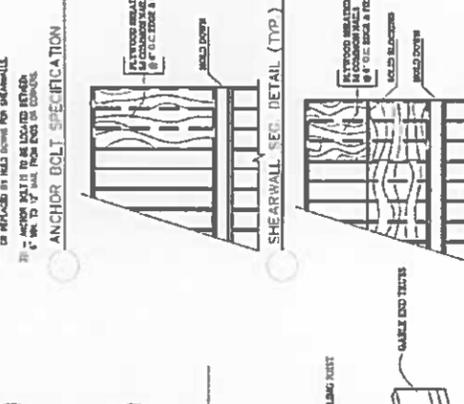
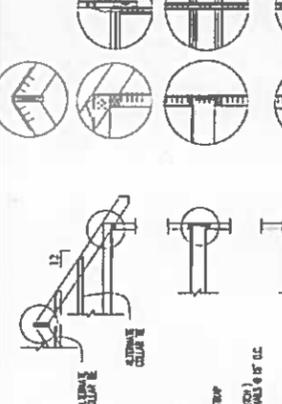
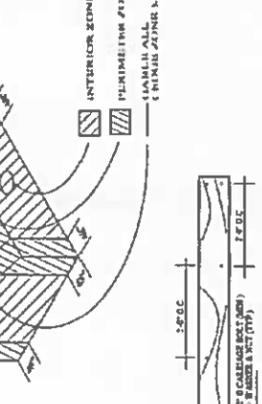
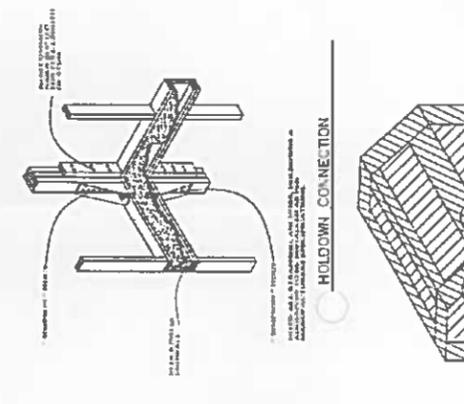
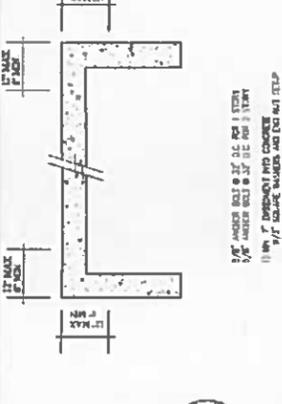
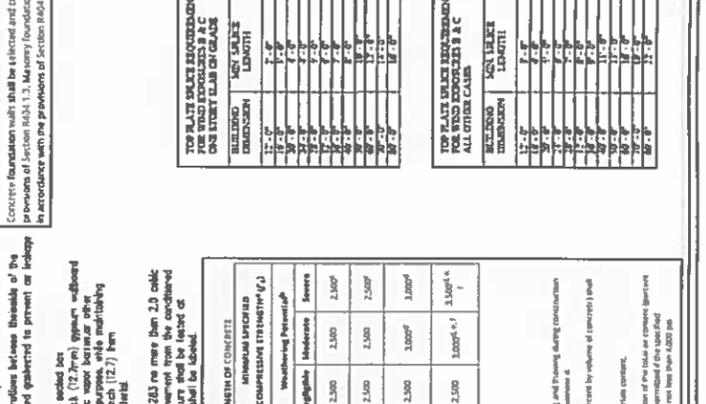
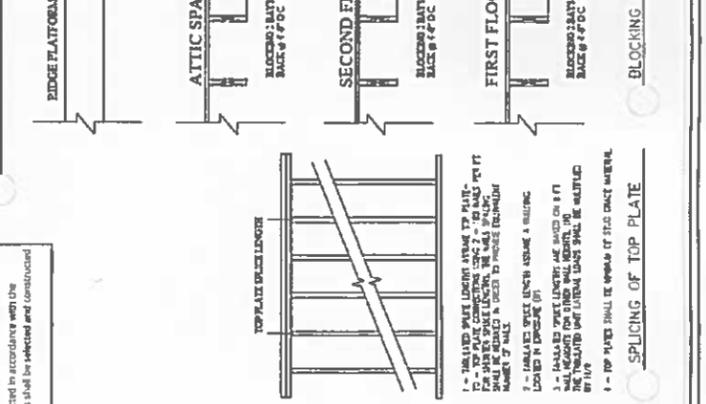
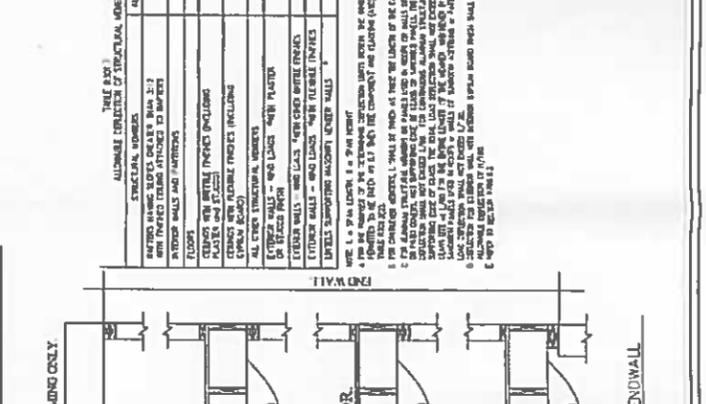


Table 3.3F **Roof and/or Ceiling Joist to Top Flange Lateral and Slender Connection Requirements**
(Project Form A1-5, Table 3.3F)

Roof and/or Ceiling Joist to Top Flange Lateral and Slender Connection Requirements	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20
1. Lateral Resistance	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
2. Slender Connection	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0

Table 3.3G **Roof and/or Ceiling Joist to Top Flange Lateral and Slender Connection Requirements**
(Project Form A1-5, Table 3.3G)

Roof and/or Ceiling Joist to Top Flange Lateral and Slender Connection Requirements	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20
1. Lateral Resistance	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
2. Slender Connection	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0



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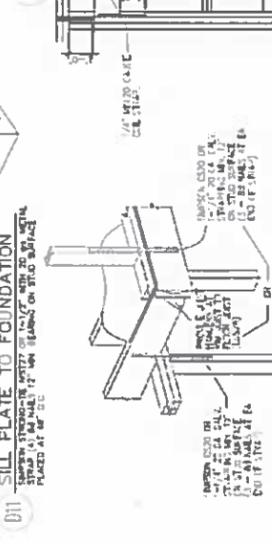
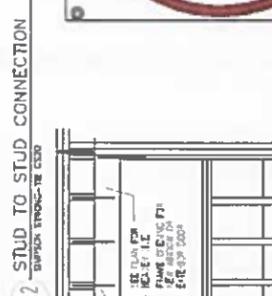
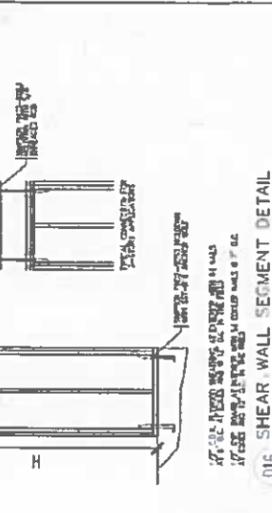
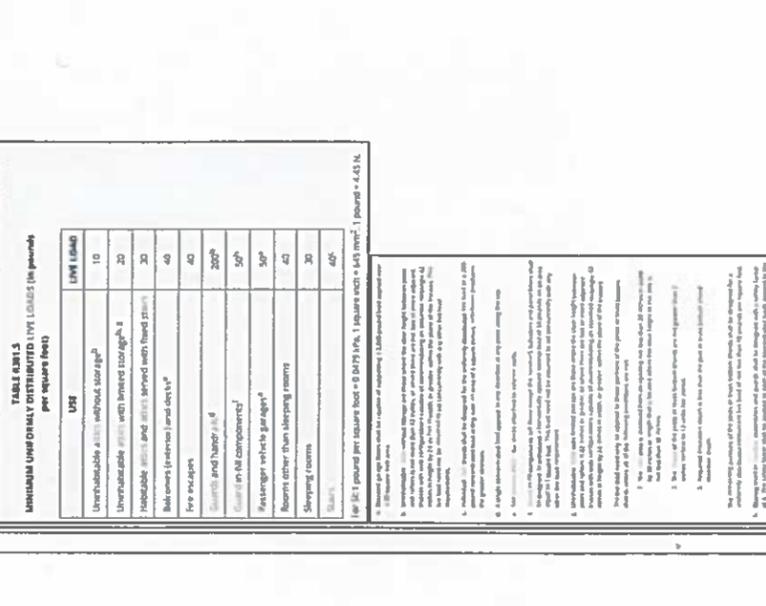
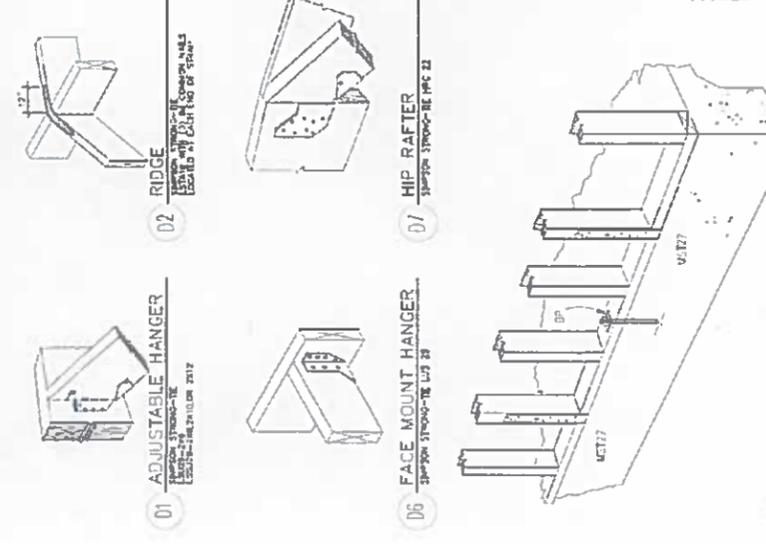
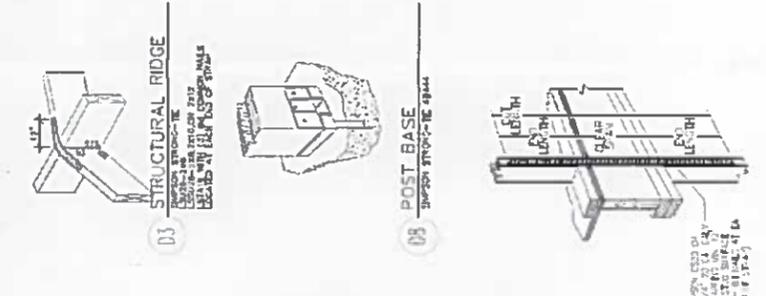
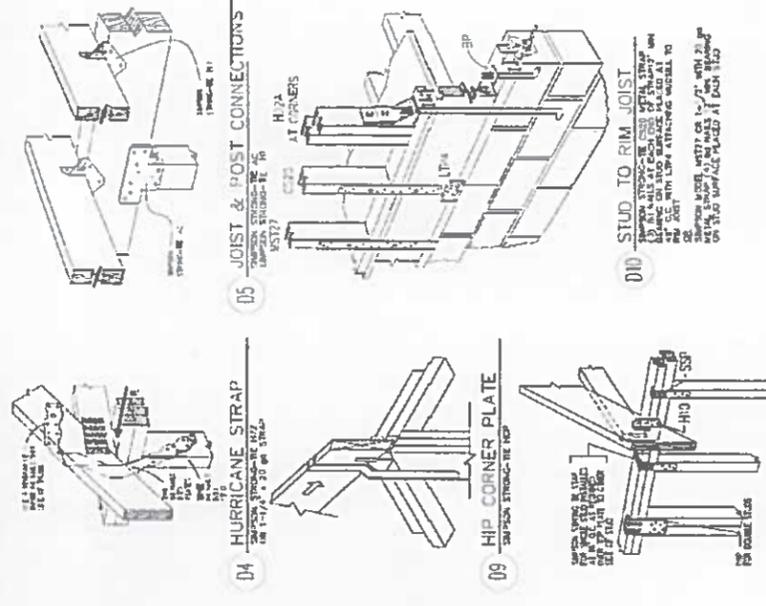
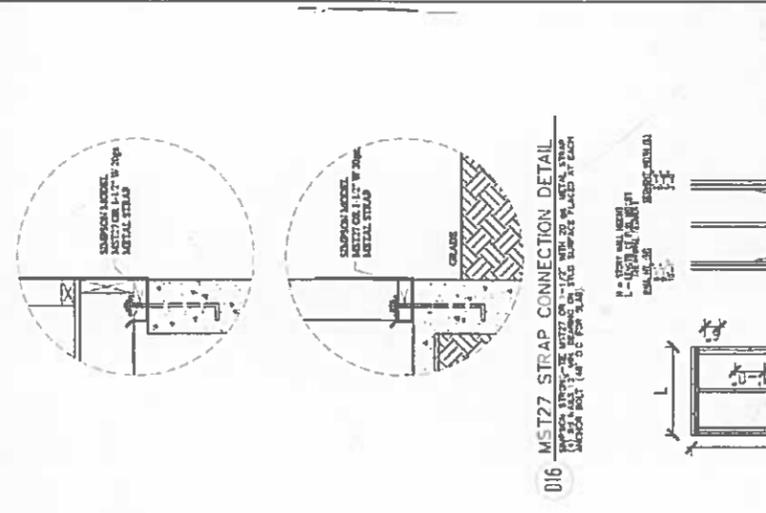


Table 3.10 Roof Sheathing Attachment Requirements for Wind Loads

Roofing Location	Fastener Spacing (in)		Fastener Length (in)	Fastener Spacing (ft)
	Parallel to Slope	Perpendicular to Slope		
Interior Areas	12	12	1 1/2	12
	18	18	1 1/2	18
Perimeter Edge Areas	12	12	1 1/2	12
	18	18	1 1/2	18

Table 3.11 Wall Sheathing and Cladding Attachment Requirements for Wind Loads

Sheathing Location	Fastener Spacing (in)		Fastener Length (in)	Fastener Spacing (ft)
	Parallel to Slope	Perpendicular to Slope		
Interior Areas	12	12	1 1/2	12
	18	18	1 1/2	18
Perimeter Edge Areas	12	12	1 1/2	12
	18	18	1 1/2	18

Table 3.12 Minimum Vent Area

Minimum Net Free Ventilation Area (sq ft)	Minimum Net Free Ventilation Area (sq ft)	Minimum Net Free Ventilation Area (sq ft)
100	100	100
200	200	200
300	300	300
400	400	400
500	500	500
600	600	600
700	700	700
800	800	800
900	900	900
1000	1000	1000

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Table 3.13 Exposure B

Table 3.14 Exposure B

Table 3.15 Exposure B

Table 3.16 Exposure B

Table 3.17 Exposure B

Table 3.18 Exposure B

Table 3.19 Exposure B

Table 3.20 Exposure B

Table 3.21 Exposure B

Table 3.22 Exposure B

Table 3.23 Exposure B

Table 3.24 Exposure B

Table 3.25 Exposure B

Table 3.26 Exposure B

Table 3.27 Exposure B

Table 3.28 Exposure B

Table 3.29 Exposure B

Table 3.30 Exposure B

Table 3.31 Exposure B

Table 3.32 Exposure B

Table 3.33 Exposure B

Table 3.34 Exposure B

Table 3.35 Exposure B

Table 3.36 Exposure B

Table 3.37 Exposure B

Table 3.38 Exposure B

Table 3.39 Exposure B

Table 3.40 Exposure B

Table 3.41 Exposure B

Table 3.42 Exposure B

Table 3.43 Exposure B

Table 3.44 Exposure B

Table 3.45 Exposure B

Table 3.46 Exposure B

Table 3.47 Exposure B

Table 3.48 Exposure B

Table 3.49 Exposure B

Table 3.50 Exposure B

Table 3.51 Exposure B

Table 3.52 Exposure B

Table 3.53 Exposure B

Table 3.54 Exposure B

Table 3.55 Exposure B

Table 3.56 Exposure B

Table 3.57 Exposure B

Table 3.58 Exposure B

Table 3.59 Exposure B

Table 3.60 Exposure B

Table 3.61 Exposure B

Table 3.62 Exposure B

Table 3.63 Exposure B

Table 3.64 Exposure B

Table 3.65 Exposure B

Table 3.66 Exposure B

Table 3.67 Exposure B

Table 3.68 Exposure B

Table 3.69 Exposure B

Table 3.70 Exposure B

Table 3.71 Exposure B

Table 3.72 Exposure B

Table 3.73 Exposure B

Table 3.74 Exposure B

Table 3.75 Exposure B

Table 3.76 Exposure B

Table 3.77 Exposure B

Table 3.78 Exposure B

Table 3.79 Exposure B

Table 3.80 Exposure B

Table 3.81 Exposure B

Table 3.82 Exposure B

Table 3.83 Exposure B

Table 3.84 Exposure B

Table 3.85 Exposure B

Table 3.86 Exposure B

Table 3.87 Exposure B

Table 3.88 Exposure B

Table 3.89 Exposure B

Table 3.90 Exposure B

Table 3.91 Exposure B

Table 3.92 Exposure B

Table 3.93 Exposure B

Table 3.94 Exposure B

Table 3.95 Exposure B

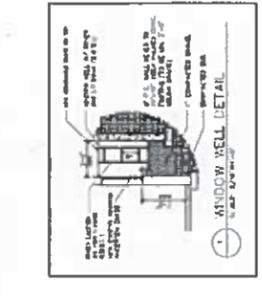
Table 3.96 Exposure B

Table 3.97 Exposure B

Table 3.98 Exposure B

Table 3.99 Exposure B

Table 3.100 Exposure B



String Design® SD CONNECTOR Screw

Joint Notching and Drilling Guidelines

Joist Size	Maximum Hole	Maximum Notch Depth	Maximum End Notch
2x4	None	None	None
2x6	1 1/2"	7/8"	1 3/8"
2x8	2 3/8"	1 1/4"	1 7/8"
2x10	3"	1 1/2"	2 3/8"
2x12	3 3/4"	1 7/8"	2 7/8"

Splice holes and notches not recommended.

Max. length = 4D_g

Max. at ends = 2" min.

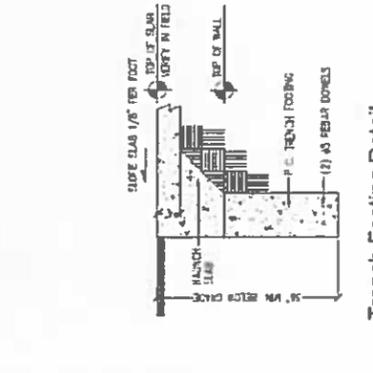
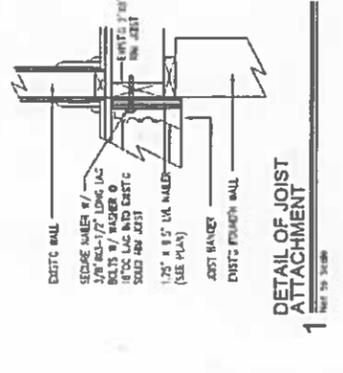
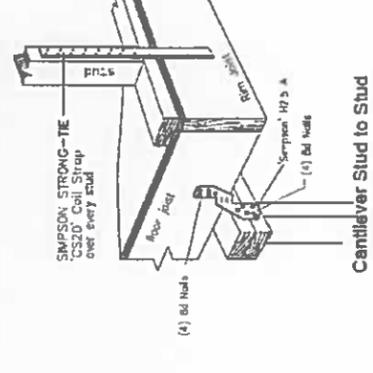
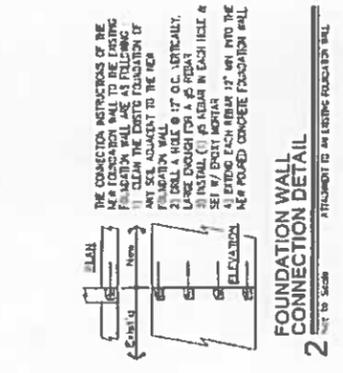
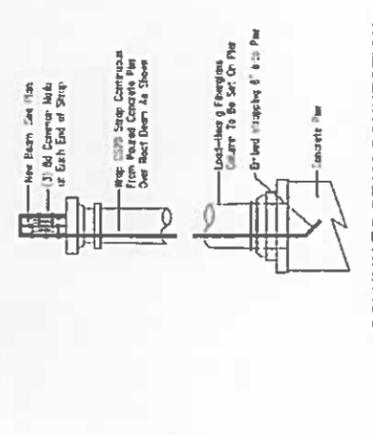
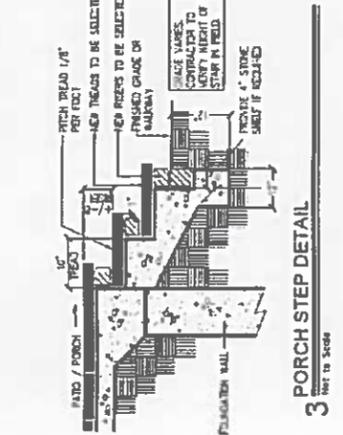
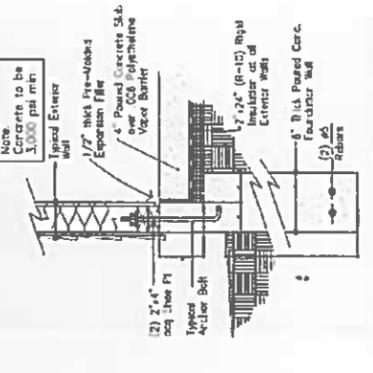
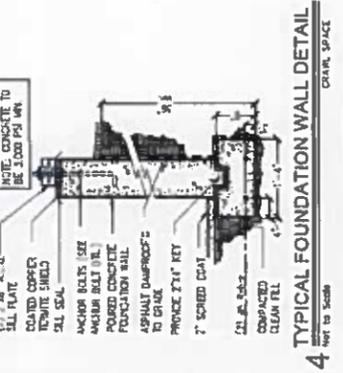
Outer 1/3 of span: Middle 1/3 of span: Outer 1/3 of span

recessing not permitted

For buildings where the monthly mean temperature of the building is maintained at or below 64°F (18°C), loadings are not required to exceed those for Type I or II as prescribed in Table 1601.2.1(1) and Table 1601.2.1(2). For buildings where the monthly mean temperature is maintained above 64°F (18°C), loadings are not required to exceed those for Type III as prescribed in Table 1601.2.1(3) and Table 1601.2.1(4). For buildings where the monthly mean temperature is maintained above 64°F (18°C) and the building is used for residential purposes, loadings are not required to exceed those for Type III as prescribed in Table 1601.2.1(3) and Table 1601.2.1(4). For buildings where the monthly mean temperature is maintained above 64°F (18°C) and the building is used for residential purposes, loadings are not required to exceed those for Type III as prescribed in Table 1601.2.1(3) and Table 1601.2.1(4).

Multiple L.V.L. Nailing Schedule

- Min. of 2 Rows of 16d (3 1/2") nails at 12" o.c.
- for 14", 16" and 18" beams
- Min. of 3 Rows of 16d (3 1/2") nails at 12" o.c.



Joint Notching and Drilling Guidelines

Joist Size	Maximum Hole	Maximum Notch Depth	Maximum End Notch
2x4	None	None	None
2x6	1 1/2"	7/8"	1 3/8"
2x8	2 3/8"	1 1/4"	1 7/8"
2x10	3"	1 1/2"	2 3/8"
2x12	3 3/4"	1 7/8"	2 7/8"

Splice holes and notches not recommended.

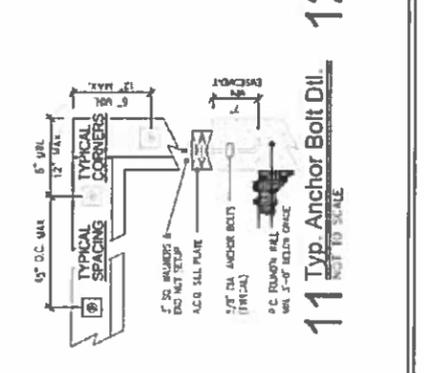
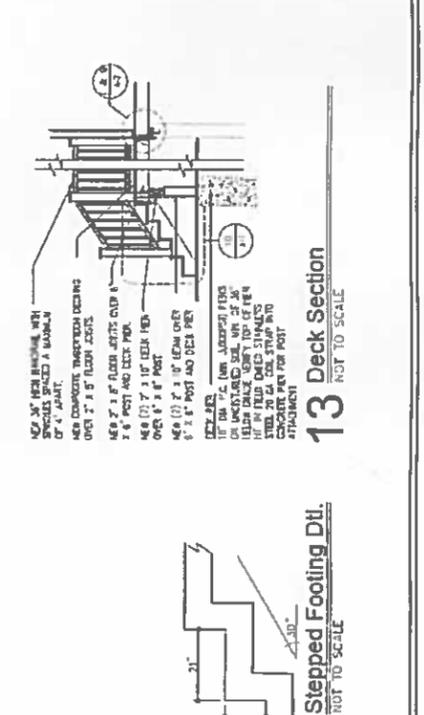
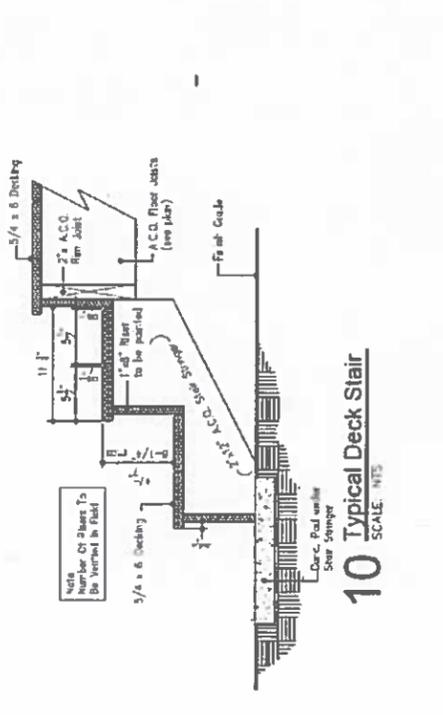
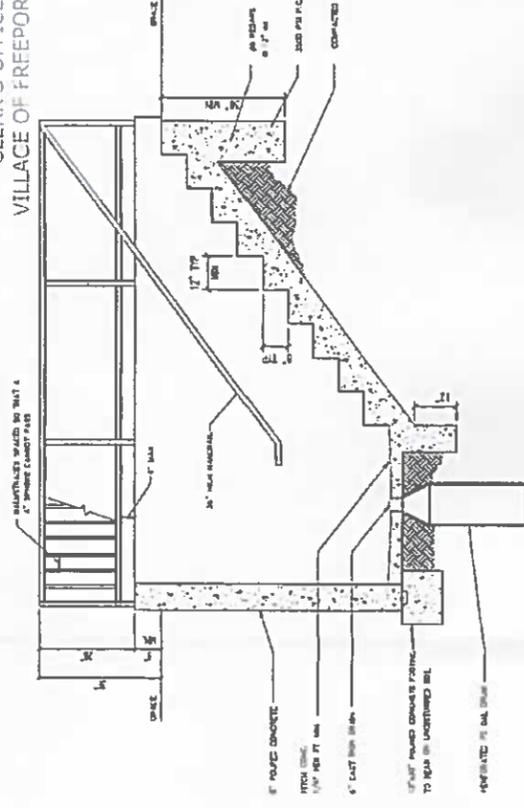
Max. length = 4D_g

Max. at ends = 2" min.

Outer 1/3 of span: Middle 1/3 of span: Outer 1/3 of span

recessing not permitted

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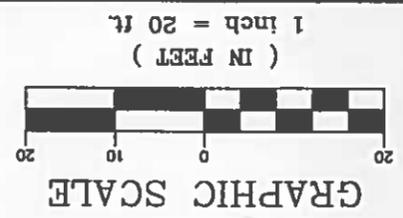


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 FREEPORT, NEW YORK 11520
 SITUATE
 FREEPORT, TOWN OF HEMPSTEAD
 NASSAU COUNTY, NEW YORK

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 DATE SURVEYED: 03/28/2024 JOB NO. N24-1417
 TAX MAP NO. 54-67-1

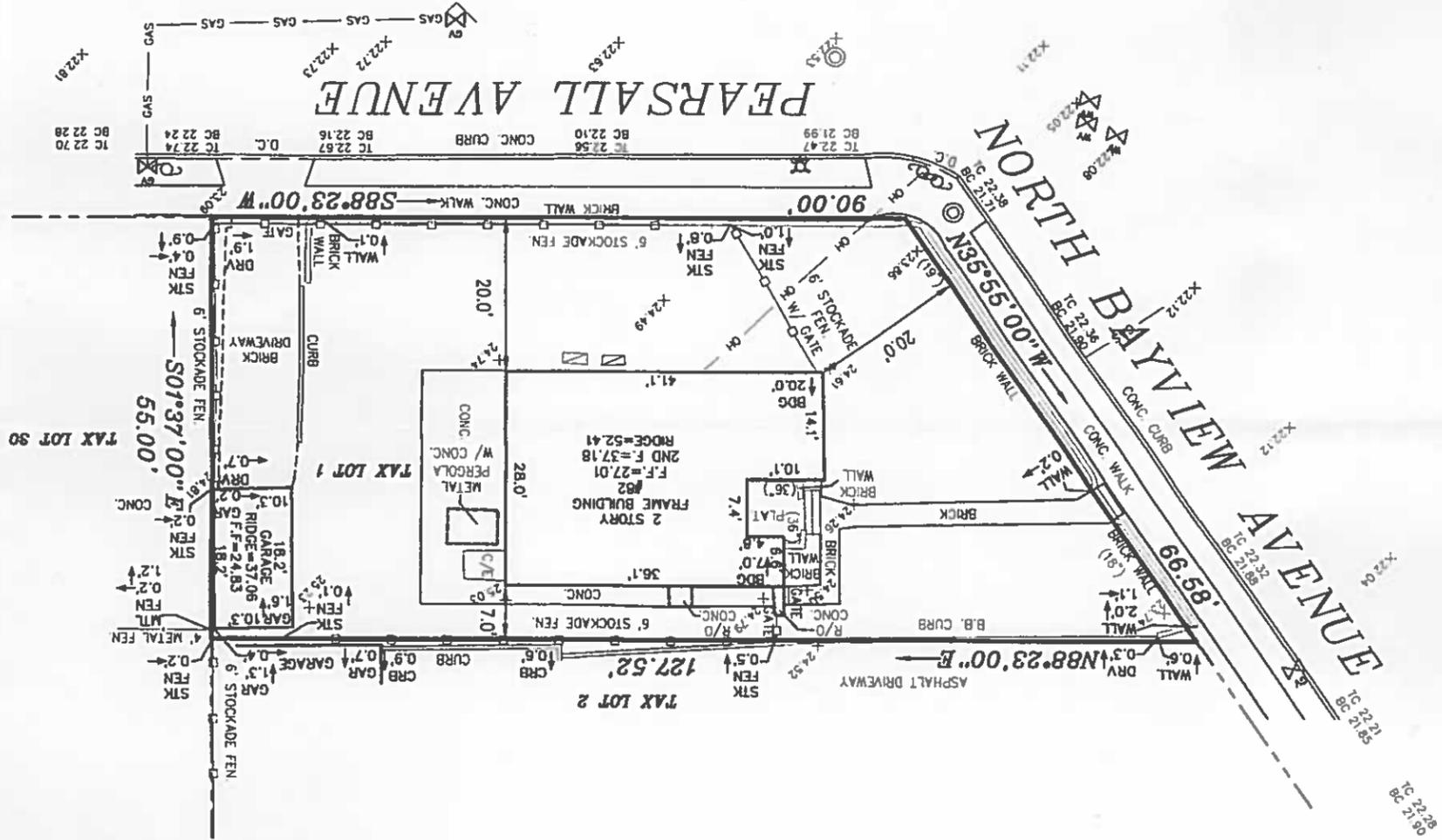
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MONUMENT FND	MANHOLE	MONUMENT FND	MANHOLE
IP / LB. FND	"A"-INLET	IP / LB. FND	"A"-INLET
IP / LB. SET	"B"-INLET	IP / LB. SET	"B"-INLET
SPOT ELEVATIONS	YARD INLET	SPOT ELEVATIONS	YARD INLET
UTILITY POLE	YARD INLET	UTILITY POLE	YARD INLET
GUY WIRE	UTILITY POLE	GUY WIRE	UTILITY POLE
UTILITY POLE W/LIGHT	GAS METER	UTILITY POLE W/LIGHT	GAS METER
WATER METER	ELECTRIC METER	WATER METER	ELECTRIC METER
MAS. MASONRY	PLAT PLATFORM	MAS. MASONRY	PLAT PLATFORM
W/W WINDOW WELL	B/W BAY WINDOW	W/W WINDOW WELL	B/W BAY WINDOW
C/E CELLAR ENTRANCE	A/C UNIT	C/E CELLAR ENTRANCE	A/C UNIT
STAKE	STAKE	STAKE	STAKE
TEST HOLE	TEST HOLE	TEST HOLE	TEST HOLE
TREE	TREE	TREE	TREE
SHRUB	SHRUB	SHRUB	SHRUB
BOLLARD	BOLLARD	BOLLARD	BOLLARD
WETLAND FLAG	WETLAND FLAG	WETLAND FLAG	WETLAND FLAG
CANT. CANTILEVER	CANT. CANTILEVER	CANT. CANTILEVER	CANT. CANTILEVER
FE. FENCE	FE. FENCE	FE. FENCE	FE. FENCE
PLAT PLATFORM	PLAT PLATFORM	PLAT PLATFORM	PLAT PLATFORM
GAS VALVE	GAS VALVE	GAS VALVE	GAS VALVE
WATER VALVE	WATER VALVE	WATER VALVE	WATER VALVE
STOCKADE FENCE (STK)	STOCKADE FENCE (STK)	STOCKADE FENCE (STK)	STOCKADE FENCE (STK)
CHAIN LINK FENCE (CLF)			
R/O ROOF OVER	R/O ROOF OVER	R/O ROOF OVER	R/O ROOF OVER
D.C. DEPRESSED CURB	D.C. DEPRESSED CURB	D.C. DEPRESSED CURB	D.C. DEPRESSED CURB
FIRE HYDRANT	FIRE HYDRANT	FIRE HYDRANT	FIRE HYDRANT
CROSS CUT	CROSS CUT	CROSS CUT	CROSS CUT
ON LINE	ON LINE	ON LINE	ON LINE

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